

Prepared by:



On behalf of:



04.12.2022

RARITAN ESTATES REDEVELOPMENT

SINGLE-FAMILY ATTACHED HOMES

ZONE MAP AMENDMENT & PUD WRITTEN EXPLANATION

ADAMS COUNTY, COLORADO

PROJECT INTENT

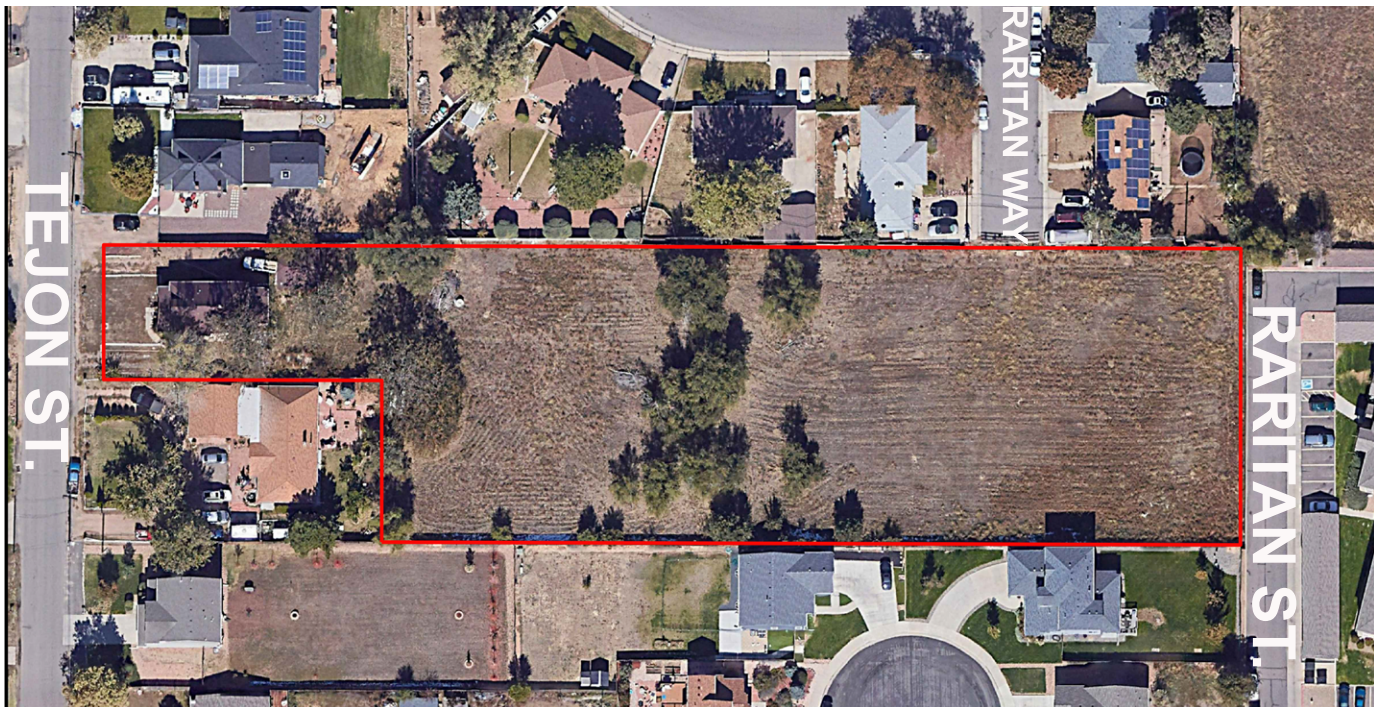
On behalf of Urban Cottages, LLC, PCS Group is submitting an application for a Rezoning Map Amendment and PUD application for an approximately 1.81 acre site of vacant land located at 5350 Tejon Street. The site currently consists of undeveloped parcels and right of way. The project proposes the construction of a maximum of 12 single-family attached/ paired homes each with an ADU. Homes consist of four two-story plans that range in size from 890 to 1,850 s.f. The total project density will be approximately 6.6 du/ac.

The site design approach focuses on creating modestly sized homes on smaller lots. These 'missing middle' design features allow walkable, medium density, infill housing near public transportation and amenities. Missing middle housing caters to households usually overlooked in home design and planning, including seniors, singles, and young families.



Context Map





Site Location

CURRENT ZONING & USE:

The property is generally bounded by Tejon St. to the west, Raritan St. on the east, existing homes on Raritan Way. To the south and existing homes on Shoshone St on the north. The parcels requested for rezoning are as follows:

1. Parcel #: 0182516215009
2. Parcel #: 0182516215010
3. Parcel #: 0182516216011
4. Parcel #: 0182516216012
5. Parcel #: 0182516216013
6. Parcel #: 0182516216014
7. Parcel #: 018.82516216015



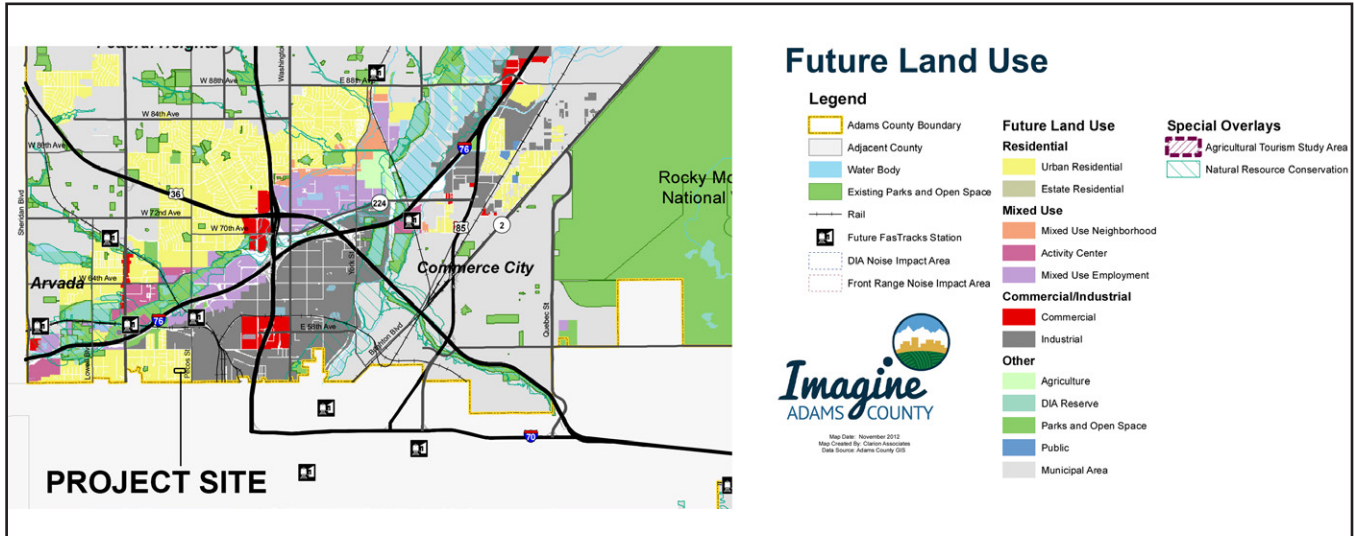
Conceptual Site Elements

Additionally, an existing, undeveloped portion of Raritan Way right of way is to be vacated.

Parcels 2 – 7 listed above are currently platted with 5 large home sites of about 8,700 square feet on a cul-de-sac right of way extended from Raritan Way. The parcels are vacant land bounded by existing fencing. Parcel 1 includes an existing single-family detached residence. The residential parcels are currently zoned R-1-C. An existing multi-family development, zoned R-3, is located directly east of the site. Residential properties are located on the north, south and western perimeters of the site and are zoned R-1-C.

PROPOSED USE:

The proposed use is for a maximum of 12 single-family attached/paired homes each with an ADU. The current zoning and plat encourage large homes on large lots, like those recently built to the north at Berkeley Pointe by Del-West. That form, if built here, will result in new home closing prices approaching \$1 million. The plan proposes smaller lot sizes and home sizes with an increased overall project density. The resulting single-family attached homes will target a value closer to half that of the what the current plat would produce.



FUTURE LAND USE & PROJECT LOCATION

The site design approach focuses on creating modestly sized attached homes on smaller lots. These ‘missing middle’ design features allow walkable, medium density, infill housing near public transportation and amenities. ‘Missing middle’ housing caters to households usually overlooked in home design and planning, including seniors, singles, and young families.

ZONE CHANGE REQUEST

The proposed product type on an associated lot size is not permitted within the current zoning. Therefore, an application for a Zone Map Amendment request is being provided to the county.

COMPREHENSIVE PLAN COMPLIANCE

The project site is located with the Southwest Area Framework Plan as described in Policy 14 of the Comprehensive Plan. This portion of the county has been identified as an area of opportunity for future growth including development of unimproved enclaves, redevelopment of former industrial sites, development of commercial areas and improvement of commercial corridors. The project will be in compliance with Policy 14.5 of the Comprehensive Plan as outlined below:

Policy 14.5: Maintain and Enhance the Quality of Existing Residential Neighborhoods

14.5.a. Southwest Area Plan—County land use decisions will be consistent with the southwest Adams County Framework Plan.

Response: A residential project of this type at this location is similar in use with adjacent residential properties and is consistent with the policies and plans for growth per the Southwest Area Framework Plan.



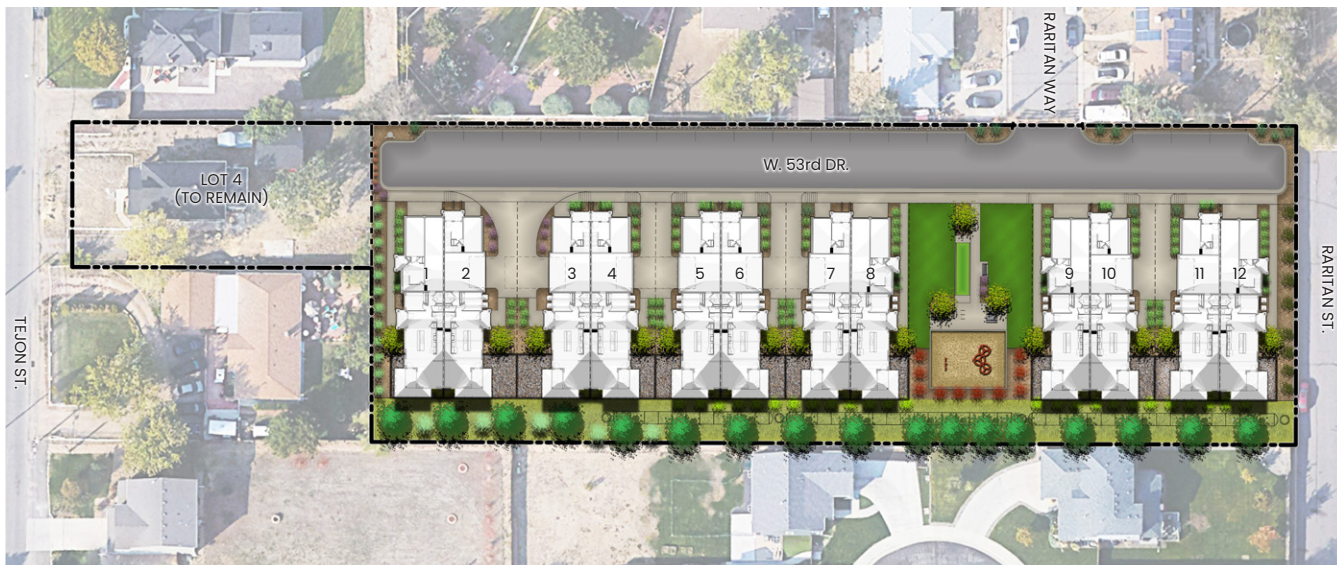
14.5.b. Public Infrastructure Improvements—Continue to make public infrastructure improvements— such as installing curbs and gutters, improving roadways, pedestrian/ trail connections, and park facilities—to enhance the image of established residential neighborhoods and improve the health and quality of life of area residents.

Response: The project will develop a missing portion of the adjacent neighborhood by providing new access points to adjacent streets, sidewalks and include manicured landscape areas with active and passive open space.

SITE DESIGN

Traffic & Vehicular Access

Primary vehicular access into the site will occur at one location coming off of Raritan Way to W. 53rd Drive. Raritan Way currently dead ends against the north project boundary. Homes will include two-car garages accessed from alleys intersecting the proposed private drive. In addition to the two-car garages for each home, there is a separate garage space for the ADU and there will be an additional 17 parallel parking spots at the north end of the site



Pedestrian Access & Circulation

Homes will front the internal vehicular and pedestrian circulation network with access to the internal open space amenity area coming from a network of internal walks.

Utilities

Water service will be provided by North Lincoln Water and Sanitation District. A water mainline connection will be made to existing lines located in Raritan Way and Tejon St. The new water main associated with this project will complete a system loop desired by the District. A sanitary service connection will tie into a mainline in Raritan Way. Electric and gas will be provided by Xcel Energy.

Grading & Drainage

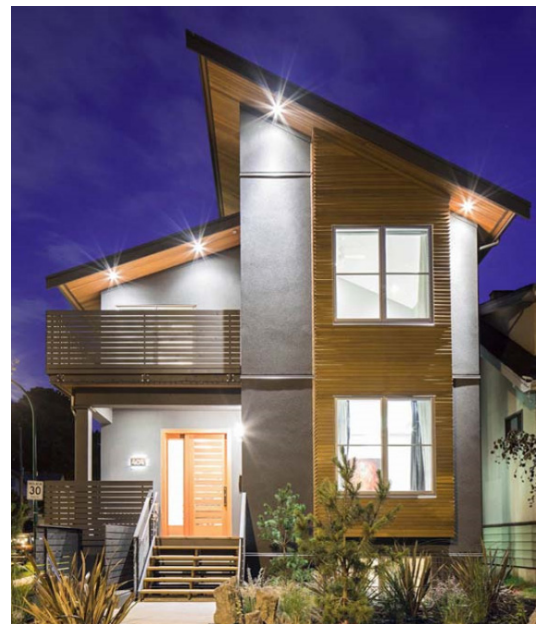
The site generally drains west to east with approximately 10 feet of grade differential. An underground detention basin will be located at the south boundary of the property. A storm line connection will be made to an existing line located in Raritan St. along the eastern property line.

Landscaping & Open Space

Landscape and open areas will be provided in accordance with development plan requirements. A minimum of 30% of open space will be required on site and 25% of the required open space will be used for active use. Open landscape areas will include areas of sod, shrubs, trees and planting beds as well as amenities such as a corn hole court, play area, and passive seating areas. Maintenance of these landscape areas will be provided by an HOA.

Architecture

These homes consist of four two-story plans that range in size from 890 to 1,850 square feet and boast contemporary and mountain modern elevation styles. The homes are designed as alley load and side loaded product that feature full front porches and open floor plans. With alley and side loaded garages, the front elevations are more attractive and open up to a green space. With larger covered front porches and small covered side porches, the outdoor living is maximized on these smaller lots. Buyers can choose to have a larger front porch to add even more outdoor living.



Conceptual Site Elements

WAIVER REQUESTS

- 1. Relevant code section: 5-03-02-02-01**
Request a waiver permitting two new sf. residential homes to be constructed closer than the required 30' buffer adjacent to existing sf. development.

JUSTIFICATION: An existing sf residential structure is located within the 30' residential buffer to the south. This existing structure is to be removed and replaced with two new homes which will also be within the 30' buffer. the existing and proposed conditions will not be substantially different.

**2. Relevant code section: 5-03-03-10
Request waiver permitting the platting and construction of private drives (Raritan Way & Alleys)**

JUSTIFICATION: Proposed alley and private drive network meets fire/life/safety requirements. The proposed road network provides vehicular connectivity with a smaller section than a full right of way.

**3. 9-01-11-03-03 (Underground Detention)
Request waiver from underground detention.**

JUSTIFICATION: Infill projects are challenged from numerous standard requirements imposed from a new project perspective and the proven innovation with this proposed solution provides a viable solution that will be maintained by the owner and not the County that will provide for an additional 2-4 attainable units providing additional housing within Adams County. Additionally this innovative solution provides for a better buffer, removal of unsightly drainage elements and a cohesive surface from the front of the units to the property line for more usable space.

PROJECT TIMEFRAME

The project is expected to be completed in a single phase beginning in the fourth quarter of 2023.



URBAN COTTAGES TEJON

LOTS 1-6 AND TRACT A, RARITAN ESTATES SUBDIVISION
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 68
 WEST, 6TH PRINCIPAL MERIDIAN
 COUNTY OF ADAMS, STATE OF COLORADO

PRELIMINARY ENGINEERING PLAN

LEGAL DESCRIPTION

LEGAL DESCRIPTION PER ALTA COMMITMENT ORDER NO. K70729405-2:
 LOTS 1, 2, 3, 5, 6 AND TRACT A,
 RARITAN ESTATES SUBDIVISION
 COUNTY OF ADAMS, STATE OF COLORADO.

BASIS OF BEARINGS

BEARINGS SHOWN HEREON ARE ASSUMED AND ARE BASED UPON THE
 NORTHERLY LINE OF RARITAN ESTATES SUBDIVISION WHICH BEARS NORTH
 89°48'50" WEST, BETWEEN THE MONUMENTS SHOWN HEREIN.

BENCHMARK

PROJECT BENCHMARK: #5 REBAR & 1-1/2" RED PLASTIC CAP, *PLS 27269*
 NORTHEAST CORNER OF TRACT A, RARITAN ESTATES SUBDIVISION,
 ELEVATION = 5293.43 (NAVD88).

BOARD OF COUNTY COMMISSIONS APPROVAL

APPROVED BY THE ADAMS COUNTY BOARD OF COMMISSIONERS _____ DAY OF _____ 20__

BY: _____
 CHAIR

PLANNING COMMISSION APPROVAL

APPROVED BY ADAMS COUNTY PLANNING COMMISSION THIS _____ DAY OF _____ 20__

BY: _____
 CHAIR



VICINITY MAP

SCALE: 1" = 2000'

Sheet List Table		
Sheet Number	Sheet Title	Sheet Description
1	COVER SHEET	CS1
2	EXISTING CONDITIONS & DEMOLITION PLAN	DM1
3	SITE PLAN	SP1
4	OVERALL UTILITY PLAN	OU1
5	OVERALL GRADING PLAN	GR1
6	EROSION & SEDIMENT CONTROL PLAN	EC1
7	CONSTRUCTION DETAILS - EROSION CONTROL	DT1
8	CONSTRUCTION DETAILS - EROSION CONTROL	DT2

OWNER:

URBAN COTTAGES, LLC
 19507 E. 83rd AVENUE
 ENGLEWOOD, CO 80111
 PHONE: 717.875.3961
 CHASE STILLMAN

ENGINEER:

CAGE CIVIL ENGINEERING
 999 18TH ST. SUITE 2110
 DENVER, CO 80202
 PHONE: 720.256.8625
 ERIC PEARSON

LANDSCAPE ARCHITECT:

PCS GROUP
 200 KALAMATH STREET
 DENVER, CO 80223
 PHONE: 303.531.4905
 ALAN CUNNINGHAM

SURVEYOR:

EMK CONSULTANTS, INC.
 7006 SOUTH ALTON WAY, BLDG. F
 CENTENNIAL, CO 80112
 PHONE: 303.894.1520
 STEPHEN HARDING

FIRE FLOW DATA

THE MINIMUM FIRE-FLOW RATE THAT MUST BE PROVIDED BY THE WATER DISTRIBUTION SYSTEM IS
 1000 GALLONS PER MINUTE WITH A 1 HR DURATION PER THE 2009 IFC, SECTION B105.1 OF APPENDIX
 B FOR THE PROPOSED SINGLE FAMILY HOMES.

SITE DATA TABLE	
NUMBER OF LOTS	12
MINIMUM LOT SIZE	3,051 S.F.
MINIMUM LOT WIDTH	30.0'
NUMBER OF DWELLING UNITS	24
ACREAGE OF AREA TO BE SUBDIVIDED	1.81 AC.
ACREAGE OF PUBLIC RIGHT-OF-WAY	0.00 AC.
ACREAGE OF PUBLIC AREAS	0.00 AC.
ACREAGE OF COMMON AREA TRACTS	0.84 AC.



UNCC
 CALL BEFORE
 YOU DIG
811
 OR

1-800-922-1987
 UTILITY NOTIFICATION
 CENTER OF COLORADO



REV. NO.	DESCRIPTION	DATE

URBAN COTTAGES, LLC
URBAN COTTAGES - TEJON
 COVER SHEET
 RARITAN WAY
 ADAMS COUNTY, CO

PROJ NO. 210206
 ENG. EAP
 DATE: 04/12/2023

SHEET NUMBER
CS1
 1 OF 8

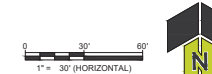
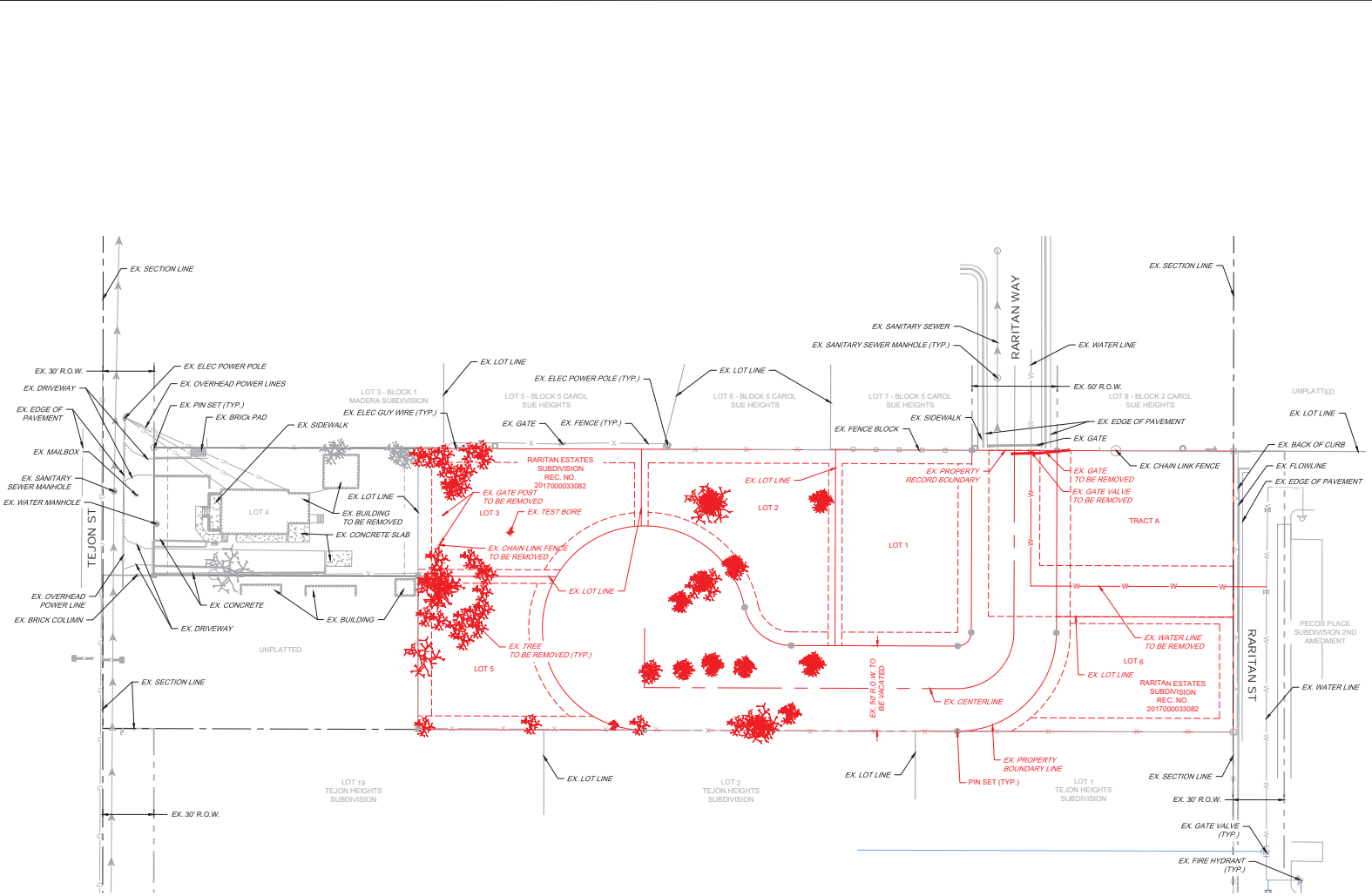
REV. NO.	DESCRIPTION

URBAN COTTAGES, LLC
URBAN COTTAGES - TEJON
 EXISTING CONDITIONS & DEMOLITION PLAN
 RARITAN WAY
 ADAMS COUNTY, CO

PROJ. NO. 210206
ENG. EAP
DATE: 04/12/2023

SHEET NUMBER
DM1
2 OF 8

- LEGEND:**
- EX. INFRASTRUCTURE TO BE REMOVED
 - EX. WATER MAIN
 - EX. SANITARY SEWER
 - EX. OVERHEAD ELECTRIC
 - EX. UTILITY EASEMENT
 - EX. SANITARY MANHOLE
 - EX. WATER MANHOLE
 - EX. WATER VALVE
 - EX. FIRE HYDRANT
 - EX. ELECTRIC GUY WIRE
 - EX. ELECTRIC POWER POLE

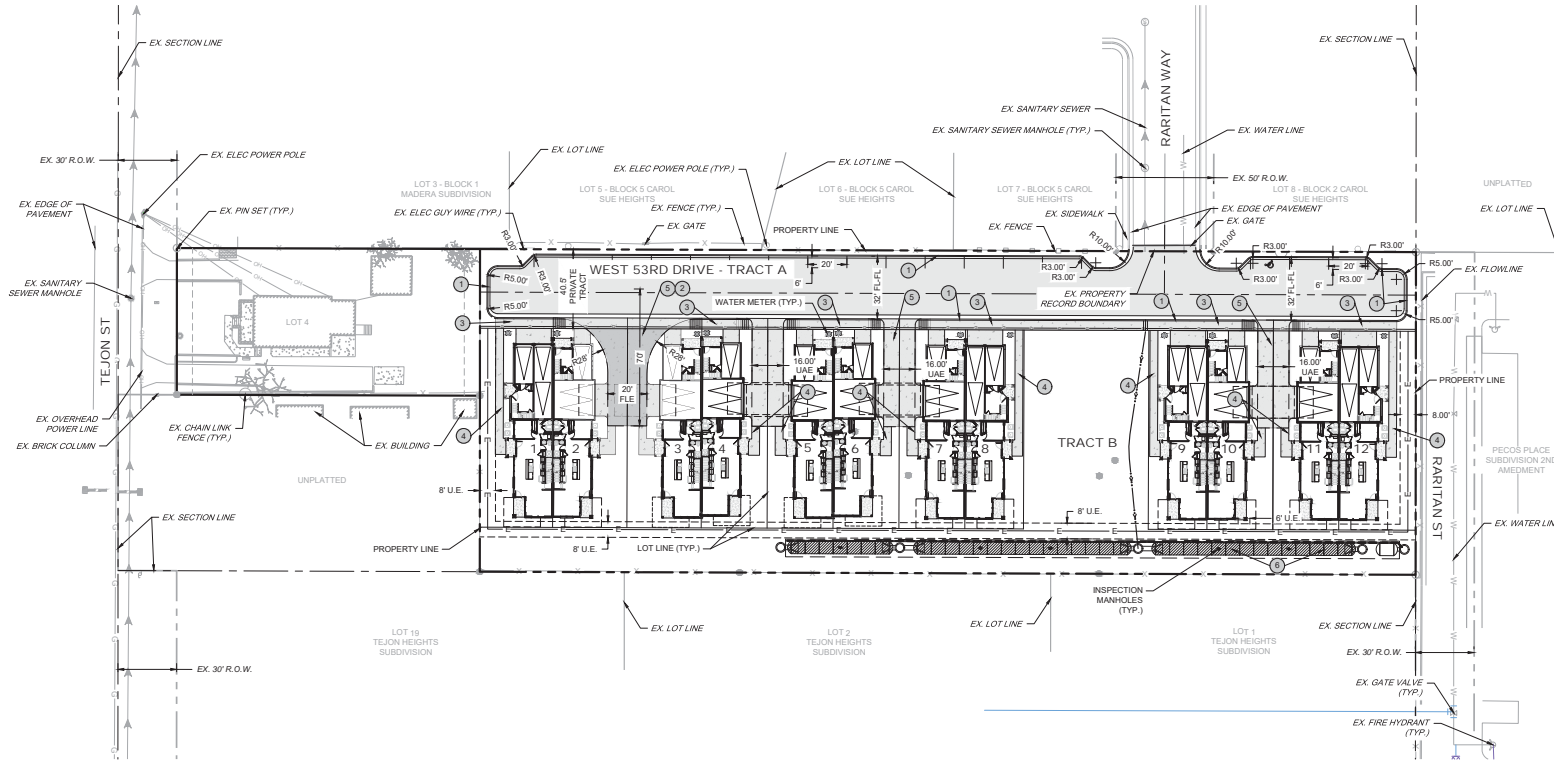


811
 CALL BEFORE YOU DIG
 811
 OR
 1-800-922-1987
 UTILITY NOTIFICATION
 CENTER OF COLORADO



- KEYNOTES & LEGEND:**
- ① 6" VERTICAL CURB AND GUTTER
 - ② FIRE TRUCK TURN AROUND
 - ③ 5' SIDEWALK
 - ④ 4' SIDEWALK
 - ⑤ DRIVEWAY
 - ⑥ UNDERGROUND WATER QUALITY & DETENTION BASIN

- ACCESSIBLE PARKING SPACE
- UTILITY EASEMENT (UE)
- UTILITY & ACCESS EASEMENT (UAE)
- FIRE LANE EASEMENT (FLE)
- PROPOSED CONCRETE
- PROPOSED ASPHALT PAVEMENT



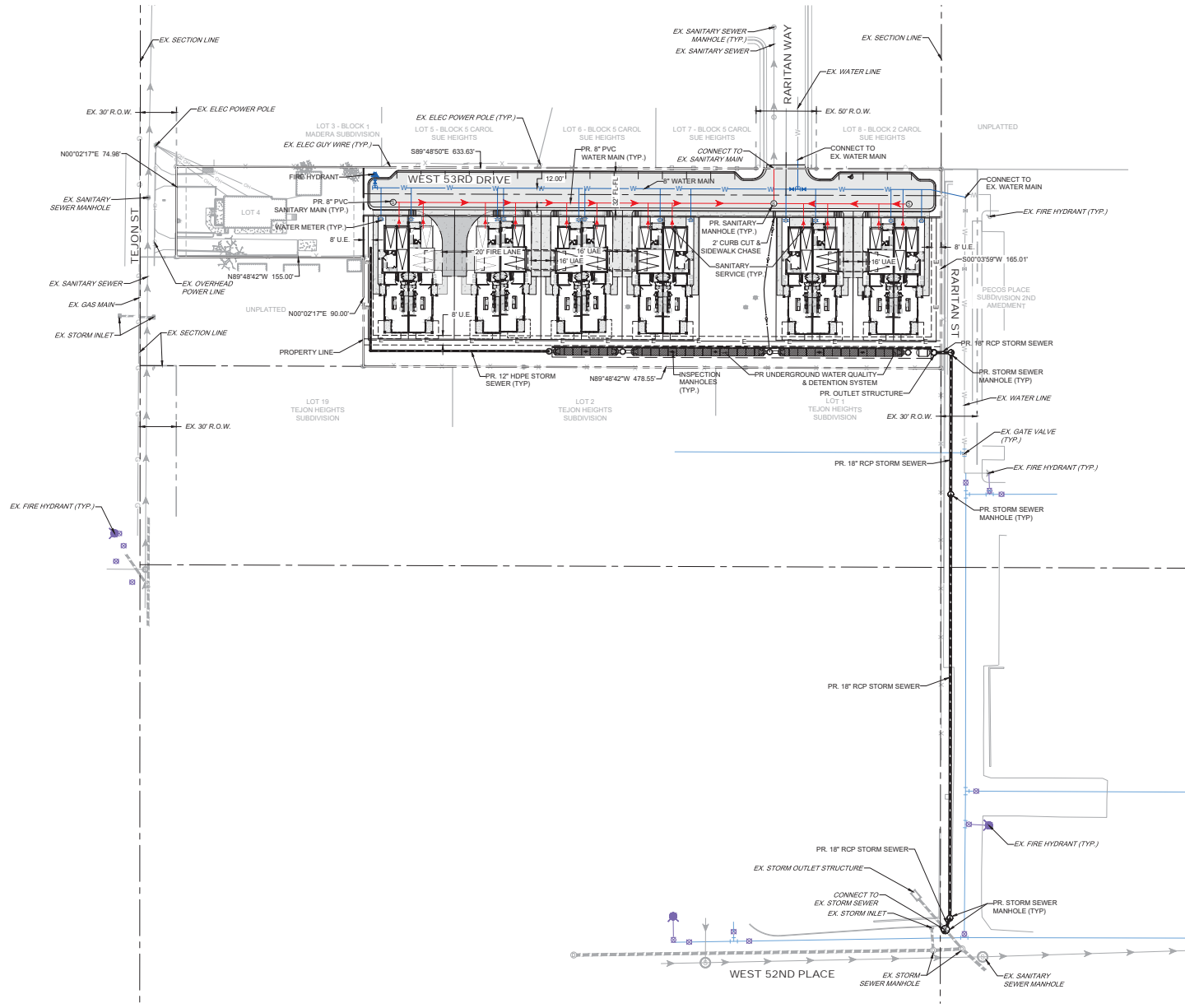
DATE	
REV. NO.	DESCRIPTION

URBAN COTTAGES - TEJON
 SITE PLAN
 RARITAN WAY
 ADAMS COUNTY, CO

PROJ. NO.	210206
ENG.	EAP
DATE	04/12/2023

SHEET NUMBER	

SP1
 3 OF 8



LEGEND:

---	EX. UTILITY EASEMENT (EX. UE)
---	UTILITY EASEMENT (UE)
---	UTILITY & ACCESS EASEMENT (UAE)
	EX. WATER MAIN
	EX. WATER VALVE
	EX. FIRE HYDRANT
	PR. WATER MAIN
	PR. WATER SERVICE LINE
	PR. WATER METER
	EX. SANITARY SEWER
	EX. SANITARY MANHOLE
	PR. SANITARY SEWER
	PR. SANITARY SEWER SERVICE
	EX. OVERHEAD POWER LINE
	EX. ELECTRIC GUY WIRE
	EX. ELECTRIC POWER POLE

- UTILITY NOTES:**
1. WATER SOURCE FOR THIS DEVELOPMENT IS NORTH LINCOLN WATER AND SANITATION DISTRICT.
 2. SANITARY SEWER FOR THIS DEVELOPMENT IS SERVICED BY NORTH LINCOLN WATER AND SANITATION DISTRICT.

Scale: 1" = 40' (HORIZONTAL)

811 CALL BEFORE YOU DIG 811 OR 1-800-922-1987 UTILITY NOTIFICATION CENTER OF COLORADO

CAGE CIVIL, ENVIRONMENTAL

pcs group

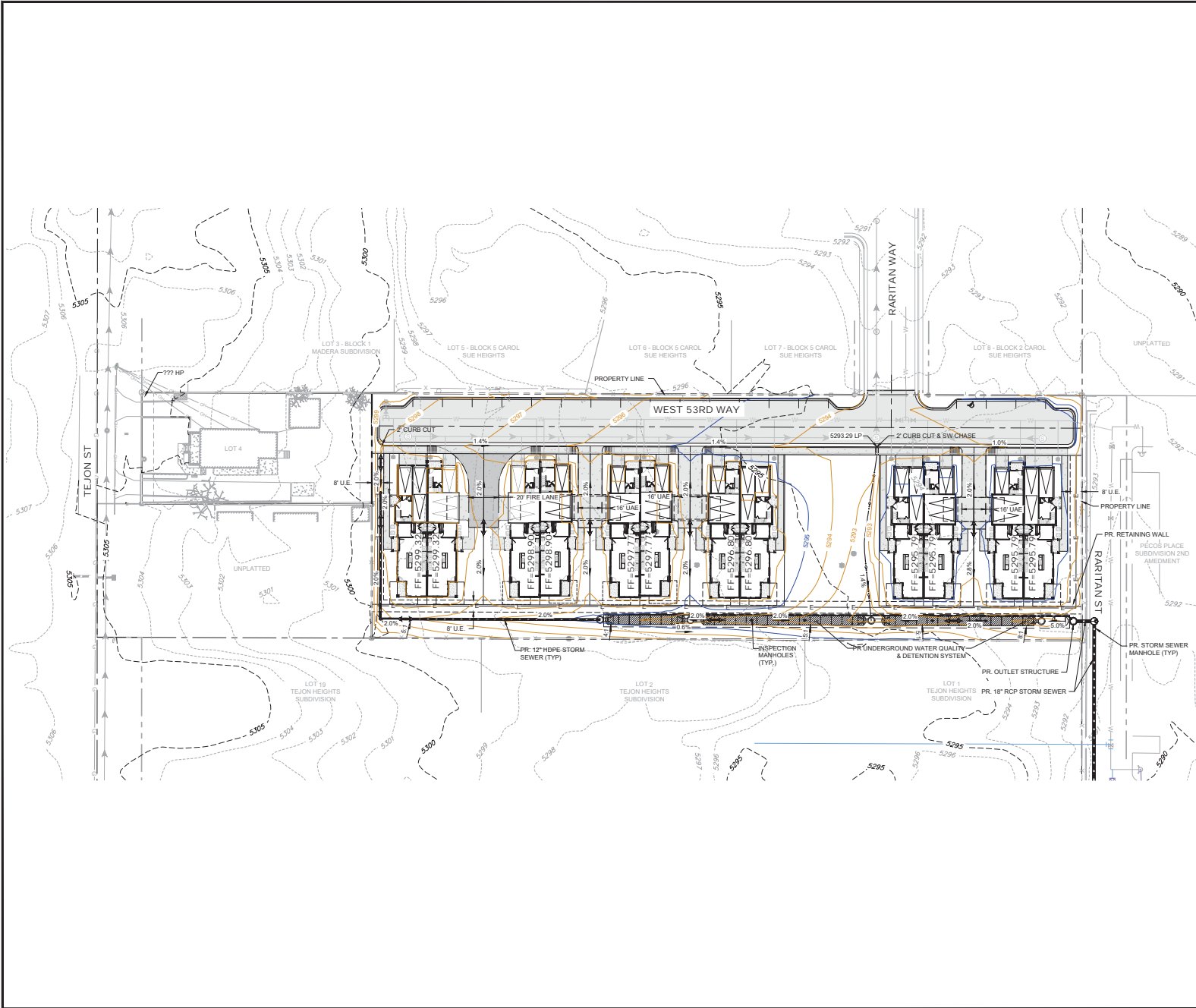
DATE: _____

REV. NO. DESCRIPTION

URBAN COTTAGES, LLC
URBAN COTTAGES - TEJON
 OVERALL UTILITY PLAN
 RARITAN WAY
 ADAMS COUNTY, CO

PROJ. NO. 210206
 ENG. EAP
 DATE: 04/12/2023

SHEET NUMBER
OU1
 4 OF 8



- LEGEND.**
- SPOT ELEVATION
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - DRAINAGE FLOW ARROW

- GRADING ABBREVIATIONS**
- HP HIGH POINT
 - LP LOW POINT

0 30' 60'
1" = 30' (HORIZONTAL)

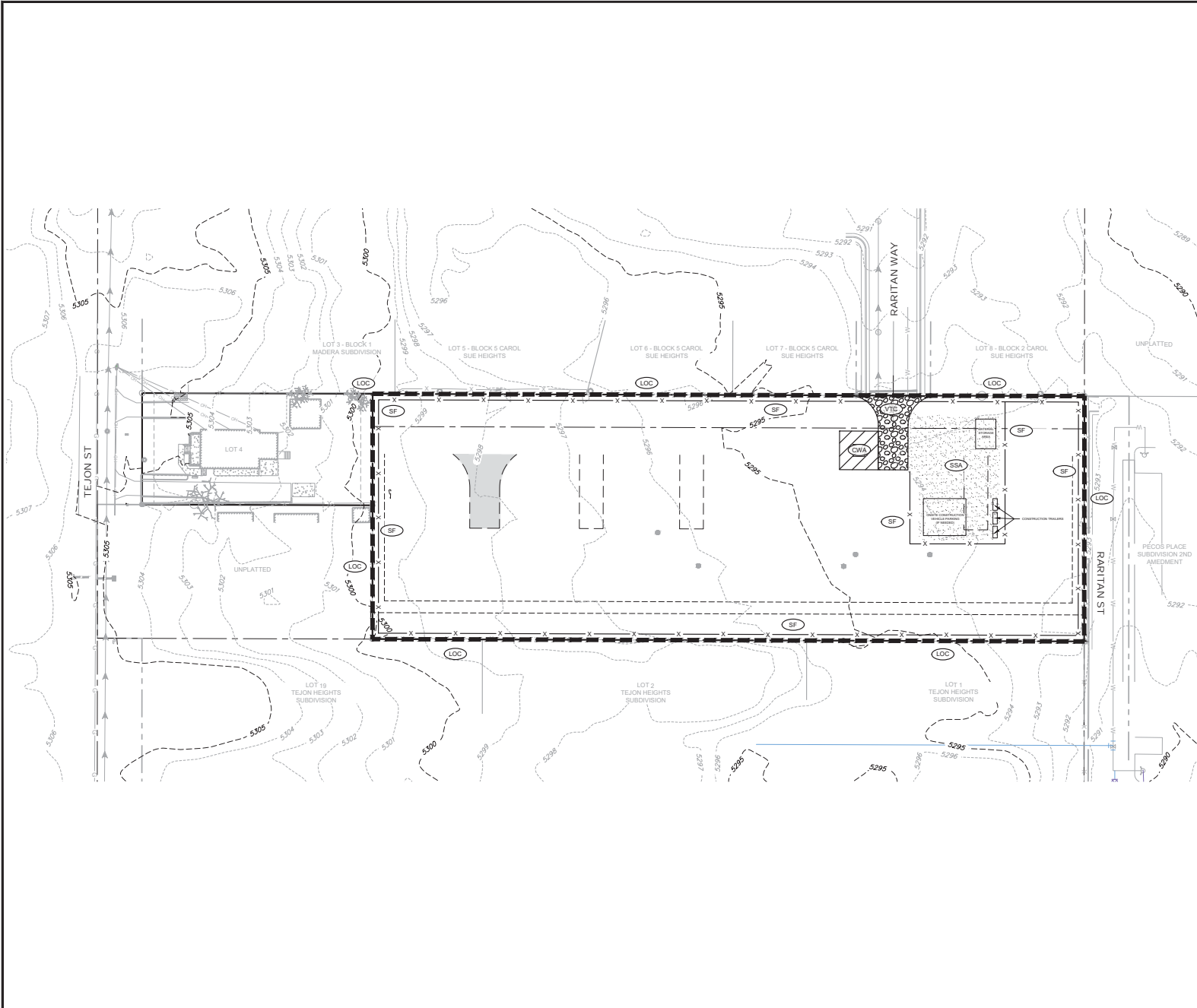
811
CALL BEFORE YOU DIG
811
OR
1-800-922-1987
UTILITY NOTIFICATION
CENTER OF COLORADO

DATE	DESCRIPTION	REV. NO.

URBAN COTTAGES, LLC
URBAN COTTAGES - TEJON
 OVERALL GRADING PLAN
 RARITAN WAY
 ADAMS COUNTY, CO

PROJ NO. 210206
 ENG. EAP
 DATE: 04/12/2023

SHEET NUMBER
GR1
 5 OF 8



- LEGEND:**
- CWA CONCRETE WASHOUT AREA
 - SF SILT FENCE
 - SSA STABILIZED STAGING AREA
 - VTC VEHICLE TRACKING CONTROL
 - LOC LIMITS OF CONSTRUCTION/DISTURBANCE

0 30' 60'
1" = 30' (HORIZONTAL)

CALL BEFORE YOU DIG
811
OR
1-800-922-1987
UTILITY NOTIFICATION
CENTER OF COLORADO

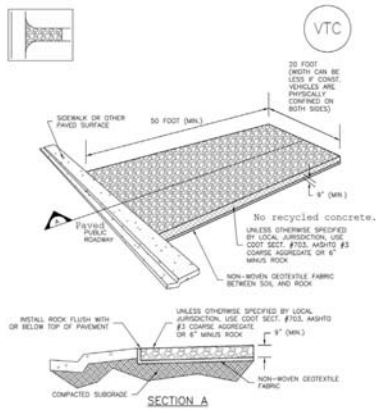
REV. NO.	DESCRIPTION	DATE

URBAN COTTAGES, LLC
URBAN COTTAGES - TEJON
 EROSION & SEDIMENT CONTROL PLAN
 RARITAN WAY
 ADAMS COUNTY, CO

PROJ NO. 210206
ENG. EAP
DATE: 04/12/2023

Vehicle Tracking Control (VTC)

SM-4



VTC-1. AGGREGATE VEHICLE TRACKING CONTROL

November 2010 Urban Drainage and Flood Control District VTC-3
Rev. 3/12/12 Urban Storm Drainage Criteria Manual Volume 3

SM-4 Vehicle Tracking Control (VTC)

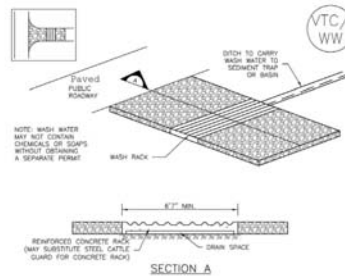
STABILIZED CONSTRUCTION ENTRANCE/EXIT INSTALLATION NOTES

1. SEE PLAN VIEW FOR:
-LOCATION OF CONSTRUCTION ENTRANCE(S)/EXIT(S)
-TYPE OF CONSTRUCTION ENTRANCE(S)/EXIT(S) (WITH/WITHOUT WHEEL WASH, CONSTRUCTION MAT OR TRM)
2. CONSTRUCTION MAT OR TRM STABILIZED CONSTRUCTION ENTRANCES ARE ONLY TO BE USED ON SHORT DURATION PROJECTS (TYPICALLY RANGING FROM A WEEK TO A MONTH) WHERE THERE WILL BE LIMITED VEHICULAR ACCESS.
3. A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE LOCATED AT ALL ACCESS POINTS WHERE VEHICLES ACCESS THE CONSTRUCTION SITE FROM PAVED ROADS/WAYS.
4. STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
5. A NON-WOVEN GEOTEXTILE FABRIC SHALL BE PLACED UNDER THE STABILIZED CONSTRUCTION ENTRANCE/EXIT PRIOR TO THE PLACEMENT OF ROCK.
6. UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, #419 OR #3 COMBINE AGGREGATE OR 4" (MINUS) ROCK. RECYCLED CONCRETE IS NOT ALLOWED.

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION AND PERFORM NECESSARY MAINTENANCE.
 2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
 4. ROCK SHALL BE REPLACED OR REGRADED AS NECESSARY TO THE STABILIZED ENTRANCE/EXIT TO MAINTAIN A CONSISTENT DEPTH.
 5. SEEDMENT TRACKED ONTO PAVED ROADS IS TO BE REMOVED THROUGHOUT THE DAY AND AT THE END OF THE DAY BY BRUSHING OR BEEPING. SEEDMENT MAY NOT BE WASHED DOWN STORM SEWER DRAINS.
- NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM LISTED STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAILS SHOULD BE USED WHEN DIFFERENCES ARE NOTED.
- (DETAILS ADAPTED FROM CITY OF CHICAGO'S, COURTESY, NOT AVAILABLE IN AUTOCAD)

November 2010 Urban Drainage and Flood Control District VTC-6
Rev. 3/12/12 Urban Storm Drainage Criteria Manual Volume 3

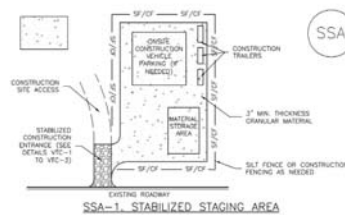
SM-4 Vehicle Tracking Control (VTC)



VTC-2. AGGREGATE VEHICLE TRACKING CONTROL WITH WASH RACK

November 2010 Urban Drainage and Flood Control District VTC-4
Rev. 3/12/12 Urban Storm Drainage Criteria Manual Volume 3

SM-6 Stabilized Staging Area (SSA)



SSA-1. STABILIZED STAGING AREA

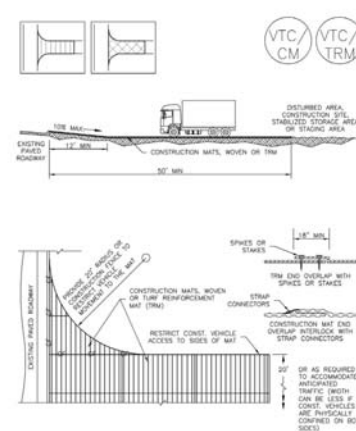
1. SEE PLAN VIEW FOR:
-LOCATION OF STAGING AREAS
-CONSTRUCTION MAT ADJUST LOCATION AND SIZE OF STAGING AREA WITH APPROVAL FROM THE LOCAL JURISDICTION
2. STABILIZED STAGING AREA SHOULD BE APPROPRIATE FOR THE NEEDS OF THE SITE. CORRECTING RESULTS IN A LARGER AREA TO STABILIZE FOLLOWING CONSTRUCTION.
3. STAGING AREA SHALL BE STABILIZED PRIOR TO OTHER OPERATIONS ON THE SITE.
4. THE STABILIZED STAGING AREA SHALL CONSIST OF A MINIMUM 3" THICK GRANULAR MATERIAL.
5. UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, #419 OR #3 COMBINE AGGREGATE OR 4" (MINUS) ROCK.
6. ADDITIONAL PERIMETER BMPs MAY BE REQUIRED INCLUDING BUT NOT LIMITED TO SILT FENCE AND CONSTRUCTION FENCING.

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. ROCK SHALL BE REPLACED OR REGRADED AS NECESSARY IF RUTTING OCCURS OR UNDERLYING SUBGRADE BECOMES EXPOSED.

November 2010 Urban Drainage and Flood Control District SSA-3
Rev. 3/12/12 Urban Storm Drainage Criteria Manual Volume 3

Vehicle Tracking Control (VTC)

SM-4



VTC-3. VEHICLE TRACKING CONTROL W/ CONSTRUCTION MAT OR TURF REINFORCEMENT MAT (TRM)

November 2010 Urban Drainage and Flood Control District VTC-5
Rev. 3/12/12 Urban Storm Drainage Criteria Manual Volume 3

SM-6 Stabilized Staging Area (SSA)

STABILIZED STAGING AREA MAINTENANCE NOTES

1. SEE PLAN VIEW FOR:
-LOCATION OF STAGING AREAS
-CONSTRUCTION MAT ADJUST LOCATION AND SIZE OF STAGING AREA WITH APPROVAL FROM THE LOCAL JURISDICTION
 2. STABILIZED STAGING AREA SHOULD BE APPROPRIATE FOR THE NEEDS OF THE SITE. CORRECTING RESULTS IN A LARGER AREA TO STABILIZE FOLLOWING CONSTRUCTION.
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 6. ADDITIONAL PERIMETER BMPs MAY BE REQUIRED INCLUDING BUT NOT LIMITED TO SILT FENCE AND CONSTRUCTION FENCING.
- NOTE: MANY MUNICIPALITIES PROHIBIT THE USE OF RECYCLED CONCRETE AS GRANULAR MATERIAL FOR STABILIZED STAGING AREAS DUE TO DIFFICULTIES WITH RE-ESTABLISHMENT OF VEGETATION IN AREAS WHERE RECYCLED CONCRETE WAS PLACED.
- NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM LISTED STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAILS SHOULD BE USED WHEN DIFFERENCES ARE NOTED.
- (DETAILS ADAPTED FROM CHICAGO COUNTY, COURTESY, NOT AVAILABLE IN AUTOCAD)

November 2010 Urban Drainage and Flood Control District SSA-4
Rev. 3/12/12 Urban Storm Drainage Criteria Manual Volume 3



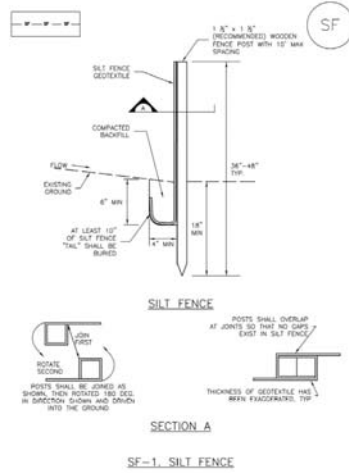
REV. NO.	DESCRIPTION	DATE

URBAN COTTAGES, LLC
URBAN COTTAGES - TEJON
CONSTRUCTION DETAILS - EROSION CONTROL
BARBENTON WAY
ADAMS COUNTY, CO

PROJ. NO. 210206
ENG. EAP
DATE: 04/12/2023

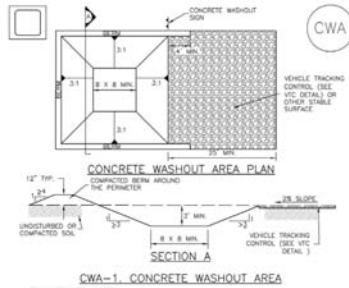
SHEET NUMBER
DT1
7 OF 8

Silt Fence (SF) SC-1



November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 SF-3

Concrete Washout Area (CWA) MM-1



- CWA-1. CONCRETE WASHOUT AREA**
- CWA INSTALLATION NOTES**
- SEE PLAN VIEW FOR CWA INSTALLATION LOCATION.
 - DO NOT LOCATE AN UNLINED CWA WITHIN 400' OF ANY NATURAL DRAINAGE PATHWAY OR WATERBODY. DO NOT LOCATE WITHIN 100' OF ANY WELLS OR DRINKING WATER SOURCES IF SITE CONSTRAINTS MAKE THIS UNAVOIDABLE, OR IF HIGHLY PERMEABLE SOILS EXIST ON SITE. THE CWA MUST BE INSTALLED WITH AN IMPERMEABLE LINER (1.5 MIL MIN. THICKNESS) OR SURFACE STORAGE ALTERNATIVE USING IMPERMEABILIZED CONCRETE WASHOUT DEVICES OF A LIQUID RESIN, GRADING STORAGE ARE SHOULD BE USED.
 - THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
 - CWA SHALL INCLUDE A FLAT SURFACE FIT THAT IS AT LEAST 8' BY 8' SLOPED LEADING OUT OF THE SUBSURFACE FIT SHALL BE 3:1 (OR FLATTER) AND FIT SHALL BE AT LEAST 2' DEEP.
 - BEDS SURROUNDING SIDES AND BACK OF THE CWA SHALL HAVE MINIMUM HEIGHT OF 1'.
 - VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARD THE CWA.
 - SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE AT THE CWA AND (DEPENDENT AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CWA TO OPERATORS OF CONCRETE TRUCKS AND PUMP TRUCKS).
 - USE ENCAUSTED MATERIAL FOR PERIMETER BERM CONSTRUCTION.

November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 CWA-3

Silt Fence (SF) SC-1

- SILT FENCE INSTALLATION NOTES**
- SILT FENCE MUST BE PLACED AWAY FROM THE TOE OF THE SLOPE TO ALLOW FOR WATER PONDING. SILT FENCE AT THE TOE OF A SLOPE SHOULD BE INSTALLED IN A FLAT LOCATION AT LEAST SEVERAL FEET (2-5 FT) FROM THE TOE OF THE SLOPE TO ALLOW ROOM FOR PONDING AND SEDIMENTATION.
 - A UNIFORM 4\"/>
- SILT FENCE MAINTENANCE NOTES**
- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
 - FREQUENT OPERATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 - WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
 - SEDIMENT ACCUMULATED UPSTREAM OF THE SILT FENCE SHALL BE REMOVED AS NEEDED TO MAINTAIN THE FUNCTIONALITY OF THE BMP. TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 6\"/>
- DETAIL ADAPTED FROM FORMS, COLORADO AND CITY OF AUSTIN, NOT AVAILABLE IN AUSTIN.
- NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM LISTED STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

SF-4 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 November 2010

Concrete Washout Area (CWA) MM-1

- CWA MAINTENANCE NOTES**
- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
 - FREQUENT OPERATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 - WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
 - THE CWA SHALL BE REPAIRED, CLEANED, OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE. WASTE CONCRETE MATERIALS ACCUMULATED IN PIT, SHALL BE REMOVED ONCE THE MATERIALS HAVE REACHED A DEPTH OF 2\"/>
- DETAIL ADAPTED FROM SINGLAS COUNTY, COLORADO AND THE CITY OF DENVER, COLORADO, NOT AVAILABLE IN AUSTIN.
- NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM LISTED STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

CWA-4 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 November 2010



REV. NO.	DESCRIPTION	DATE

URBAN COTTAGES, LLC
URBAN COTTAGES - TEJON
 CONSTRUCTION DETAILS - EROSION CONTROL
 RAEBTAN WAY
 ADAMS COUNTY, CO

PROJ. NO. 210206
 ENG. EAP
 DATE: 04/12/2023

SHEET NUMBER
DT2
 8 OF 8

RARITAN ESTATES SUBDIVISION AMENDMENT NO. 1 PRELIMINARY PLAT

CASE NO. PRC2022-00008

LOCATED IN THE NORTHWEST QUARTER OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 68 WEST, 6TH
PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 1 OF 2

PURPOSE:

THE PURPOSE OF THIS PLAT IS TO RESUBDIVIDE LOT 1, LOT 2, LOT 3, LOT 5 TRACT A, AND RARITAN WAY RIGHT-OF-WAY OF RARITAN ESTATES SUBDIVISION RECORDED AT RECEPTION NO. 2017000033082.

DEDICATION AND OWNERSHIP CERTIFICATION:

KNOW ALL MEN BY THESE PRESENTS THAT OWNER/UC TEJON, LLC. BEING THE SOLE OWNER OF THE FOLLOWING DESCRIBED TRACT OF LAND SHOWN HEREIN, SITUATED IN THE NORTHWEST QUARTER OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 68 WEST, 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LOTS 1, 2, 3, 5, 6 AND TRACT A, RARITAN ESTATES SUBDIVISION, COUNTY OF ADAMS, STATE OF COLORADO.

CONTAINS 78,965 SQUARE FEET OR 1.813 ACRES, MORE OR LESS.

HAVE BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO 12 LOTS, 1 BLOCK, AND 2 TRACTS AND EASEMENTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF RARITAN ESTATES SUBDIVISION AMENDMENT NO. 1, AND DO HEREBY GRANT TO THE COUNTY OF ADAMS, STATE OF COLORADO, FOR THE USE OF THE PUBLIC, THE EASEMENTS AS SHOWN FOR PUBLIC UTILITIES, CABLE TV AND DETENTION POND AREAS, FLOODWAY AND FLOODPLAIN LIMITS, DRAINAGE AND OTHER PUBLIC PURPOSES AS DETERMINED BY THE COUNTY OF ADAMS.

THE UNDERSIGNED DOES HEREBY DEDICATE, GRANT AND CONVEY TO ADAMS COUNTY THOSE PUBLIC EASEMENTS (AND TRACTS) AS SHOWN ON THE PLAT; AND FURTHER RESTRICTS THE USE OF ALL PUBLIC EASEMENTS TO ADAMS COUNTY AND/OR ITS ASSIGNS, PROVIDED HOWEVER, THAT THE SOLE RIGHT AND AUTHORITY TO RELEASE OR QUITCLAIM ALL OR ANY SUCH PUBLIC EASEMENTS SHALL REMAIN EXCLUSIVELY VESTED IN ADAMS COUNTY.

EXECUTED THIS _____ DAY OF _____, 2023 A.D.

OWNER:
UC TEJON, LLC

CHASE STILLMAN

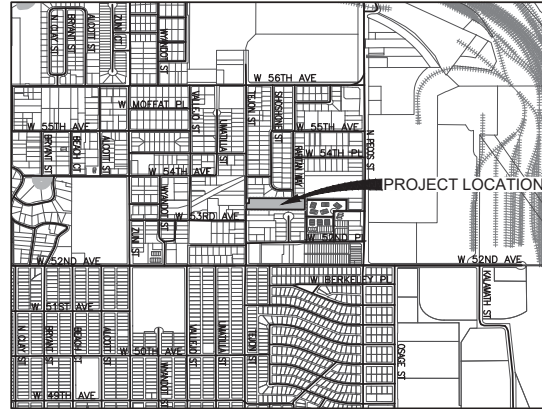
ACKNOWLEDGMENT

STATE OF COLORADO }
COUNTY OF _____ }SS

THE FOREGOING DEDICATION WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2023, BY CHASE STILLMAN AS MANAGER OF UC TEJON, LLC, a/k/a URBAN COTTAGES TEJON, LLC.

NOTARY PUBLIC _____

MY COMMISSION EXPIRES _____



VICINITY MAP

SCALE:1"=1000'

GENERAL NOTES

- NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE (3) YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN (10) YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
- BASIS OF BEARINGS: BEARINGS SHOWN HEREON ARE BASED UPON THE NORTHERLY LINE OF RARITAN ESTATES SUBDIVISION WHICH BEARS NORTH 89°48'50" WEST, SAID LINE IS MONUMENTED AS SHOWN HEREIN.
- THE LINEAL UNITS OF MEASURE SHOWN ON THIS SURVEY ARE BASED UPON THE U.S. SURVEY FOOT.
- THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY EMK CONSULTANTS, INC. TO DETERMINE RECORD TITLE, EASEMENTS OR RIGHTS-OF-WAY. OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, ORDER NUMBER: IN70763176, DATED FEBRUARY 4, 2022 AT 5:00 P.M. WERE RELIED UPON FOR ALL INFORMATION REGARDING RECORD TITLE, EASEMENTS OF RECORD AND RIGHTS-OF-WAY.
- THIS PLAT OF RARITAN ESTATES SUBDIVISION AMENDMENT NO.1 HEREBY VACATES ALL RIGHTS-OF-WAY AND EASEMENTS AS DEDICATED TO THE PUBLIC ON THE RARITAN ESTATES SUBDIVISION FINAL PLAT AS RECORDED AT RECEPTION NO.: 2017000033082, ON APRIL 17, 2017, IN THE PUBLIC RECORDS OF ADAMS COUNTY, COLORADO. THE 30 FOOT NORTH LINCOLN WATER AND SANITATION EASEMENT RECORDED AT RECEPTION NO. 2017000064286 AS SHOWN HEREON WILL BE VACATED BY SEPARATE DOCUMENT.
- THE PRIVATE ACCESS DRIVE SHOWN HEREON AS TRACT A WILL BE MAINTAINED BY THE SUBDIVIDER, ITS (OR HIS) SUCCESSORS OR ASSIGNS, UNTIL SUCH TIME AS MAINTENANCE OF THE PRIVATE ACCESS DRIVES IS ASSUMED BY THE HOMEOWNERS ASSOCIATION. THE HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR KEEPING THE PRIVATE ACCESS DRIVE PASSABLE AT ALL TIMES. THE PRIVATE ACCESS DRIVES SHALL NOT BE ACCEPTED FOR OWNERSHIP NOR MAINTENANCE BY ADAMS COUNTY IN THE FUTURE. WITH THE SALE OF EACH LOT, THE OWNER SHALL PROVIDE THE PURCHASER(S) A NONEXCLUSIVE PERPETUAL ACCESS EASEMENT OVER, THROUGH AND ACROSS THE PRIVATE ACCESS DRIVES, AND ACROSS ANY OFFSITE PRIVATE ROADS THAT CONNECT THIS SUBDIVISION TO A PUBLIC ROAD.

CONTINUED ON NEXT SHEET

SURVEYOR'S CERTIFICATE

I, STEPHEN H. HARDING, A PROFESSIONAL LAND SURVEYOR LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THERE ARE NO ROADS, PIPELINES, IRRIGATION DITCHES OR OTHER EASEMENTS IN EVIDENCE OR KNOWN BY ME TO EXIST ON OR ACROSS THE HEREINBEFORE DESCRIBED PROPERTY, EXCEPT AS SHOWN ON THIS PLAT. I FURTHER CERTIFY THE THE SURVEY WAS PERFORMED UNDER MY DIRECT RESPONSIBILITY, SUPERVISION AND CHECKING, AND THAT THIS PLAT ACCURATELY REPRESENTS SAID SURVEY, AND THAT ALL MONUMENTS EXIST AS SHOWN HEREON.

STEPHEN H. HARDING, PLS 29040
COLORADO LICENSED PROFESSIONAL LAND SURVEYOR
FOR AND ON BEHALF OF EMK CONSULTANTS, INC.

PLANNING COMMISSION APPROVAL

RECOMMENDED FOR APPROVAL BY THE ADAMS COUNTY PLANNING COMMISSION THIS _____ DAY OF _____, A.D. 2023.

CHAIR

BOARD OF COUNTY COMMISSIONERS APPROVAL

APPROVED BY ADAMS COUNTY PLANNING COMMISSION THIS _____ DAY OF _____, 2023.

BY: _____
CHAIR

ADAMS COUNTY ATTORNEY'S OFFICE

APPROVED AS TO FORM

PREPARED BY



EMK CONSULTANTS, INC.
LAND DEVELOPMENT
ENGINEERING & SURVEYING
7006 SOUTH ALTON WAY, BLDG. F
CENTENNIAL, COLORADO 80112-2019
(303)694-1520 www.EMKC.com

JOB NO. 13297

RARITAN ESTATES SUBDIVISION

AMENDMENT NO. 1

DATE PREPARED: APRIL 3, 2023

PREPARED FOR:

UC TEJON, LLC
3465 SOUTH GAYLORD COURT, A304
ENGLEWOOD, COLORADO 80113
ATTN: TODD JOHNSON P.E.

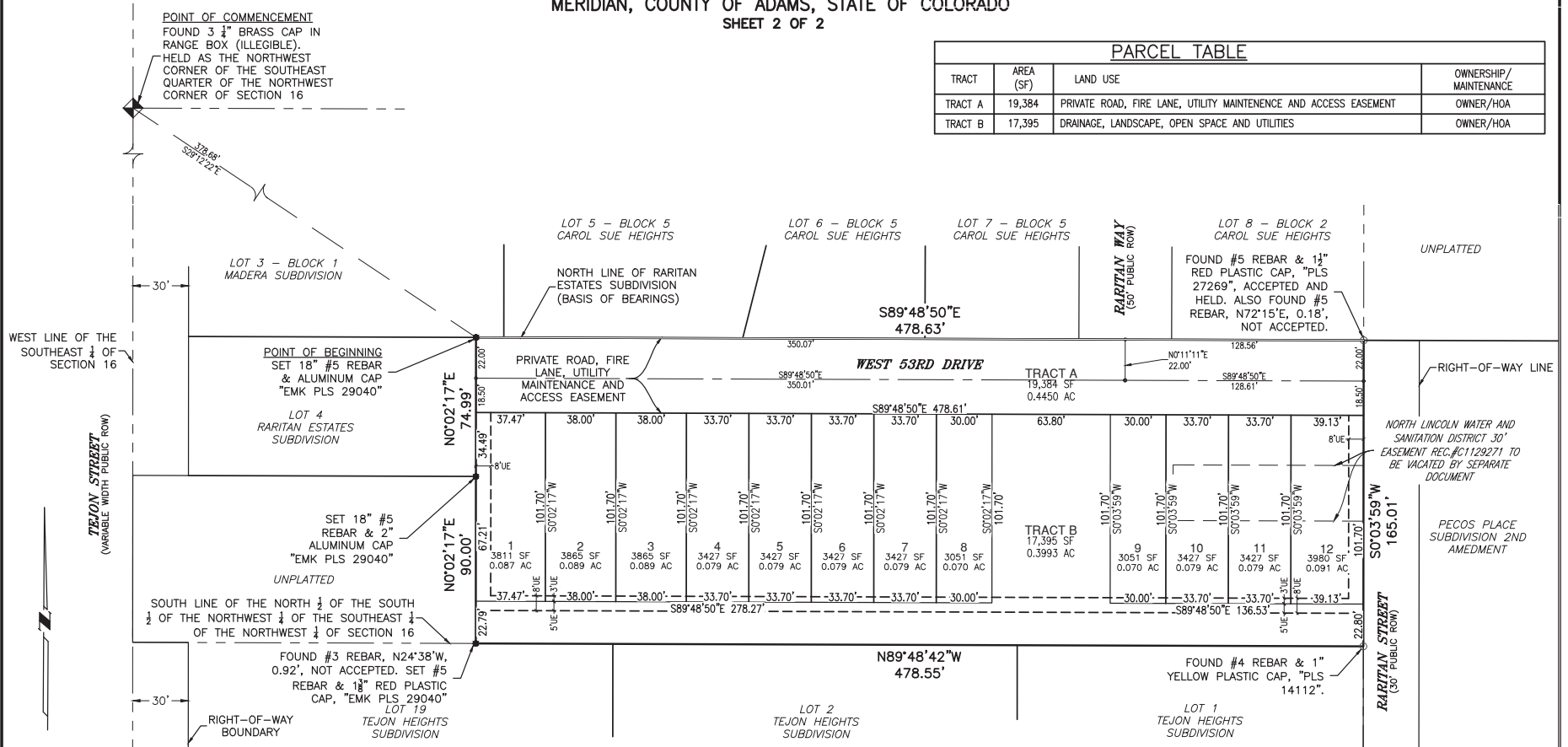
SHEET 1 OF 2

RARITAN ESTATES SUBDIVISION AMENDMENT NO. 1 PRELIMINARY PLAT

CASE NO. PRC2022-00008

LOCATED IN THE NORTHWEST QUARTER OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 68 WEST, 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO
SHEET 2 OF 2

PARCEL TABLE			
TRACT	AREA (SF)	LAND USE	OWNERSHIP/ MAINTENANCE
TRACT A	19,384	PRIVATE ROAD, FIRE LANE, UTILITY MAINTENANCE AND ACCESS EASEMENT	OWNER/HOA
TRACT B	17,395	DRAINAGE, LANDSCAPE, OPEN SPACE AND UTILITIES	OWNER/HOA



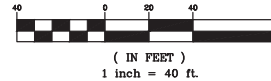
GENERAL NOTES CONTINUED

- STORM DRAINAGE FACILITIES STATEMENT: THE POLICY OF THE COUNTY REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY THE SUBDIVISION DEVELOPMENT AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE COUNTY SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE SOLE PURPOSE OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNERS.
- EASEMENTS SHOWN HEREIN ARE DEDICATED TO ADAMS COUNTY FOR THE BENEFIT OF THE APPLICABLE UTILITY PROVIDERS FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF ELECTRIC, GAS, TELEVISION, CABLE, AND TELECOMMUNICATIONS FACILITIES (DRY UTILITIES). UTILITY EASEMENTS SHALL BE GRANTED WITHIN ANY ACCESS EASEMENTS AND PRIVATE STREETS IN THE SUBDIVISION, PERMANENT STRUCTURES, IMPROVEMENTS, OBJECTS, BUILDINGS, WELLS, AND OTHER OBJECTS THAT MAY INTERFERE WITH THE UTILITY FACILITIES OR USE THEREOF (INTERFERING OBJECTS) SHALL NOT BE PERMITTED WITHIN SAID UTILITY EASEMENTS AND THE UTILITY PROVIDERS, AS GRANTEEES, MAY REMOVE ANY INTERFERING OBJECTS AT NO COST TO SUCH GRANTEEES, INCLUDING VEGETATION. PUBLIC SERVICE COMPANY OF COLORADO (PSCO) AND ITS SUCCESSORS RESERVE THE RIGHT TO REQUIRE ADDITIONAL EASEMENTS AND TO REQUIRE THE PROPERTY OWNER TO GRANT PSCO AN EASEMENT ON ITS STANDARD FORM. WET UTILITIES (WATER, SANITARY SEWER, AND/OR STORM SEWER) SHALL CROSS DRY UTILITY EASEMENTS AT NEAR RIGHT ANGLES.
- WEST 53RD DRIVE IS TO BE PRIVATELY OWNED AND MAINTAINED BY UC TEJON, LLC. AND THE HOME OWNER'S ASSOCIATION.

LEGEND

- UE UTILITY EASEMENT
- EXISTING EASEMENT
- RIGHT-OF-WAY
- SECTIONAL LINE
- CENTERLINE WITH TERMINUS MARKS
- MONUMENT SET AS DESCRIBED
- MONUMENT FOUND AS DESCRIBED

GRAPHIC SCALE



PREPARED BY

EMK CONSULTANTS, INC.
LAND DEVELOPMENT
ENGINEERING & SURVEYING
7006 SOUTH ALTON WAY, BLDG. F
CENTENNIAL, COLORADO 80112-2018
(303)694-1520 www.EMKC.com
JOB NO. 13297

RARITAN ESTATES SUBDIVISION
AMENDMENT NO. 1
DATE PREPARED: APRIL 3, 2023
PREPARED FOR:
UC TEJON, LLC
3465 SOUTH GAYLORD COURT, A304
ENGLEWOOD, COLORADO 80113
ATTN: TODD JOHNSON P.E.

SHEET 2 OF 2

RARITAN ESTATES REDEVELOPMENT

CASE NO. PUD2022-00008

A REPLAT OF LOTS 1-6 AND TRACT A, RARITAN ESTATES SUBDIVISION
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 68 WEST,
 6TH PRINCIPAL MERIDIAN COUNTY OF ADAMS, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN

Prepared For
URBAN COTTAGES
 Contact: Chase Stillman
 chase.stillman@oreadcapital.com

Land Planning


www.pcsgroupco.com
 p.o. box 18287
 denver, co 80218
 t 303.531.4905 f 303.531.4908

Civil Engineering


 999 18th Street, Suite 2110
 Denver, CO



Godden|Sudik
 ARCHITECTS
 SEE WHAT COULD BE
 303.455.4437
 www.goddensudik.com
 5975 S. Quebec Street, Suite 250
 Centennial, CO 80111

RARITAN ESTATES REDEVELOPMENT
 PLANNED UNIT DEVELOPMENT /
 PRELIMINARY DEVELOPMENT PLAN

ADAMS COUNTY, COLORADO

VICINITY MAP



NOT TO SCALE

LEGAL DESCRIPTION

PARCEL A:
 LOT 4, RARITAN ESTATES SUBDIVISION, COUNTY OF ADAMS, STATE OF COLORADO.
 PARCEL B:
 LOTS 1, 2, 3, 5, 6 AND TRACT A, RARITAN ESTATES SUBDIVISION, COUNTY OF ADAMS, STATE OF COLORADO.

CERTIFICATE OF OWNERSHIP

KNOW ALL MEN BY THESE PRESENTS THAT UC TEJON, LLC BEING THE SOLE OWNER OF THE FOLLOWING DESCRIBED TRACT OF LAND SHOWN HEREIN, SITUATED IN THE NORTHWEST QUARTER OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 68 WEST 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LOTS 1, 2, 3, 4, 5, 6 AND TRACT A, RARITAN ESTATES SUBDIVISION, COUNTY OF ADAMS, STATE OF COLORADO.

CONTAINS 78,965 SQUARE FEET OR 1.813 ACRES, MORE OR LESS.

HAVE BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO 12 LOTS, 1 BLOCK, AND 2 TRACTS AND EASEMENTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF RARITAN ESTATES SUBDIVISION AMENDMENT NO. 1, AND DO HEREBY GRANT TO THE COUNTY OF ADAMS, STATE OF COLORADO, FOR THE USE OF THE PUBLIC, THE EASEMENTS AS SHOWN FOR PUBLIC UTILITIES, CABLE TV, AND DETENTION POND AREAS, FLOODWAY AND FLOODPLAIN LIMITS, DRAINAGE, AND OTHER PUBLIC PURPOSES AS DETERMINED BY THE COUNTY OF ADAMS.

THE UNDERSIGNED DOES HEREBY DEDICATE, GRANT AND CONVEY TO ADAMS COUNTY THOSE PUBLIC EASEMENTS (AND TRACTS) AS SHOWN ON THE PLAT; AND FURTHER RESTRICTS THE USE OF ALL PUBLIC EASEMENTS TO ADAMS COUNTY AND/ OR ITS ASSIGNS, PROVIDED HOWEVER, THAT THE SOLE RIGHT AND AUTHORITY TO RELEASE OR QUITCALM ALL OR ANY SUCH PUBLIC EASEMENTS SHALL REMAIN EXCLUSIVELY VESTED IN ADAMS COUNTY.

EXECUTED THIS _____ DAY OF _____, 2023 A.D.

BY
 CHASE STILLMAN

PLANNING COMMISSION APPROVAL

RECOMMENDED FOR APPROVAL BY THE ADAMS COUNTY PLANNING COMMISSION THIS _____ DAY OF _____ A.D. 202____
 CHAIR

BOARD OF COUNTY COMMISSIONS APPROVAL

APPROVED BY THE ADAMS COUNTY BOARD OF COUNTY COMMISSIONERS THIS _____ DAY OF _____ A.D. 202____
 CHAIR

ADAMS COUNTY ATTORNEY'S OFFICE

APPROVED AS TO FORM

SHEET INDEX	
Sheet Number	Sheet Title
1	COVER SHEET
2	NARRATIVE & STANDARDS
3	SITE PLAN
4	LOT TYPICAL & STREET SECTIONS
5	PRELIMINARY LANDSCAPE, CIRCULATION & FENCING
6	OPEN SPACE DIAGRAM
7	ILLUSTRATIVE SITE PLAN
8	ARCHITECTURAL ELEVATIONS
9	ARCHITECTURAL ELEVATIONS
10	ARCHITECTURAL ELEVATIONS
11	ARCHITECTURAL ELEVATIONS

DEVELOPER

URBAN COTTAGES, LLC
 10657 E IDA AVENUE
 ENGLEWOOD, CO 80111
 PHONE: 717.875.3961
 CHASE STILLMAN

PLANNER/LANDSCAPE ARCHITECT

PCS GROUP, INC.
 PO BOX 18287
 DENVER, CO 80126
 PHONE: 303.531.4985
 ALAN CUNNINGHAM

CIVIL ENGINEER

CAGE CIVIL ENGINEERING
 999 18TH ST, SUITE 2110
 DENVER, CO 80202
 PHONE: 720.206.6625
 ERIC PEARSON

SURVEYOR

EMK CONSULTANTS, INC.
 7006 SOUTH ALTON WAY, BLDG. F
 CENTENNIAL, CO 80112
 PHONE: 303.694.1520
 STEPHEN HARDING

ARCHITECT

GODDEN SUDIK
 5975 S. QUEBEC ST.
 CENTENNIAL, CO 80111
 303.455.4437
 ALEX JEWETT

Issue Date: 04/12/2023

REVISIONS:	DATE:
1	XX/XX/XX
2	
3	

NOT FOR CONSTRUCTION

Sheet Name
COVER SHEET

Sheet Number

NARRATIVE & DEVELOPMENT STANDARDS

CASE NO. PUD2022-00008

Prepared For

 Contact: Chase Stillman
 chase.stillman@oreadcapital.com

Land Planning


www.pcsgroupco.com
 p.o. box 18287
 denver, co 80218
 t 303.531.4905 f 303.531.4908

Civil Engineering



999 18th Street, Suite 2110
 Denver, CO



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RARITAN ESTATES REDEVELOPMENT
 PLANNED UNIT DEVELOPMENT /
 PRELIMINARY DEVELOPMENT PLAN

ADAMS COUNTY, COLORADO

Issue Date: 04/12/2023

REVISIONS:	DATE:
1	XX/XX/XX
2	
3	

NOT FOR CONSTRUCTION

Sheet Name
NARRATIVE & STANDARDS

Sheet Number

2 of 11

A. EXPLANATION OF THE CHARACTERISTICS OF THE PUD

THE PUD-PDP PROPOSES THE DEVELOPMENT OF 12 SINGLE FAMILY ATTACHED/ PAIRED WITH ADU RESIDENTIAL HOMES LOCATED ON SEVERAL PARCELS TOTALING APPROXIMATELY 1.81 ACRES. THE SITE CONSISTS OF PREDOMINANTLY VACANT, UNDEVELOPED LAND. PROPOSED RESIDENTIAL LOTS WILL BE A MIN. OF 2,960 SF. IN AREA. THE PROJECT WILL INCLUDE PASSIVE AND ACTIVE LANDSCAPED AREAS AND PRIVATE DRIVES. PRIMARY SITE ACCESS WILL BE PROVIDED WITH PROPOSED PRIVATE DRIVE CONNECTIONS TO RARITAN WAY. HOMES WILL BE REAR-LOADED WITH GARAGE ACCESS TO ALLEYS. HOMES WILL FRONT THE MAIN INTERNAL DRIVE (W. 53RD DR). INTERNAL WALKS WILL PROVIDED PEDESTRIAN MOVEMENT TO FRONT DOORS, ACTIVE OPEN SPACE AND ADJACENT PUBLIC STREETS.

THE ABUTTING NEIGHBORHOODS TO THE NORTH, WEST AND SOUTH ARE ZONED R-1-C. THE NEIGHBORHOOD TO THE EAST IS ZONED R-3.

B. POTENTIAL IMPACT ON THE SURROUNDING AREA

THE PROPOSED DEVELOPMENT IS CONSISTENT WITH THE ADAMS COUNTY 2012 UPDATE TO THE COMPREHENSIVE PLAN. PROPOSED HOME MASSING, HEIGHT LIMITS AND EXTERIOR ARCHITECTURE WILL BE COMPLIMENTARY TO EXISTING ADJACENT RESIDENCES. PEDESTRIAN CONNECTIONS WILL PROVIDE GREATER ACCESS TO THE REST OF THE COMMUNITY. EXISTING UTILITY AND INFRASTRUCTURE HAS CAPACITY TO ACCOMMODATE THE DEVELOPMENT.

C. CONTEMPLATED DENSITIES AND LAND COVERAGE

THIS PDP-PUD CONSISTS OF 12 DWELLING UNITS WHICH A PROVIDE A DENSITY OF 6.6 DU/AC. RESIDENTIAL LOTS WILL ACCOUNT FOR 53% OF THE SITE. OPEN AREAS SUCH AS ALLEYS, ACCESS DRIVES AND COMMON OPEN SPACE AREAS WILL MAKE UP 47% OF THE SITE.

D. CIRCULATION AND ROAD PATTERNS

A 24' PRIVATE DRIVE (W. 53RD DR) WILL PROVIDE INTERNAL ACCESS. THIS DRIVE WILL DEAD END AT THE WESTERN/ EASTERN EDGES OF THE PROPERTY. ALLEYS WILL BE 16' IN WIDTH AND PROVIDE GARAGE ACCESS TO MAJORITY OF UNITS WITH SIDE ACCESS. SOME UNITS WILL ACCESS FROM THE MAIN DRIVE (W. 53RD DR).

E. OWNERSHIP AND MAINTENANCE OF COMMON AREAS

THE HOA IS RESPONSIBLE FOR THE ENFORCEMENT OF LANDSCAPE MAINTENANCE REQUIREMENTS ASSOCIATED WITH PRIVATE OPEN SPACE TRACTS, COMMON AREAS AND MAINTENANCE OF ALL PRIVATE DRIVES. HOA RESPONSIBILITIES WITHIN THE PRIVATE DRIVES INCLUDE MAINTENANCE OF THE PAVEMENT AND CURB AND GUTTER, INCLUDING BUT NOT LIMITED TO THE REMOVAL OF GRAFFITI, SNOW, ICE, SLEET, DEBRIS OR OTHER OBSTRUCTIONS WITHIN SAID CURB LIMITS.

F. LOCATION AND TYPES OF LANDSCAPE MAINTENANCE PROVISIONS

THE PROJECT WILL INCLUDE PRIVATE DRIVES & ALLEYS, PRIVATE OPEN SPACE TRACTS WITH ACTIVE & PASSIVE USE AND ON-LOT RESIDENTIAL LANDSCAPE AREAS. INSTALLATION OF LANDSCAPE TRACTS AND THEIR AMMENITIES SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/HOME BUILDER. MAINTENANCE OF THE TRACTS AND AMMENITIES SHALL BE THE RESPONSIBILITY OF THE HOA. THIS SHALL INCLUDE TRASH COLLECTION AND SNOW REMOVAL. FRONT YARD LANDSCAPING OF RESIDENCES SHALL BE INSTALLED BY THE DEVELOPER/HOME BUILDER. RESIDENTIAL FRONT YARDS WILL FRONT THE MAIN INTERNAL DRIVE. RESIDENTIAL LOTS WILL ALSO INCLUDE PRIVATE, FENCED SIDE YARDS. SHARED USE AREAS WILL BE PROVIDED WITHIN THE MAJORITY LOTS ALLOWING ADDITIONAL OUTDOOR USABLE AREAS IN SIDE YARDS. LANDSCAPE INSTALLATION AND MAINTENANCE OF FRONT YARD LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE HOME/BUILDER DEVELOPER. RESIDENTIAL FRONT YARD TYPICALS ARE INCLUDED WITH THIS PDP/PUD. RESIDENTIAL SIDE YARDS AND LANDSCAPE ADJACENT TO ALLEYS SHALL BE INSTALLED AND MAINTAINED BY THE HOMEOWNER.

G. SERVICE PROVIDERS

- NORTH LINCOLN WATER AND SANITATION DISTRICT
- XCEL ENERGY GAS & ELECTRIC SERVICE
- COMCAST/XFINITY
- ADAMS COUNTY FIRE RESCUE

H. COVENANTS TO BE IMPOSED ON THE PUD

COVENANTS, CONDITIONS AND RESTRICTIONS (CC&RS) SHALL BE IMPOSED ON THIS PUD AND WILL BE ENFORCED BY AN HOA ESTABLISHED WITH THIS DEVELOPMENT.

I. ARCHITECTURE

THESE HOMES CONSIST OF FOUR TWO-STORY PLANS THAT RANGE IN SIZE FROM 890 TO 1,850 SQUARE FEET AND BOAST CONTEMPORARY AND MOUNTAIN MODERN ELEVATION STYLES. THE HOMES ARE DESIGNED AS ALLEY LOAD AND SIDE LOADED PRODUCT THAT FEATURE FULL FRONT PORCHES AND OPEN FLOOR PLANS, WITH ALLEY AND SIDE LOADED GARAGES. THE FRONT ELEVATIONS ARE MORE ATTRACTIVE AND OPEN UP TO A GREEN SPACE, WITH LARGER COVERED FRONT PORCHES AND SMALL COVERED SIDE PORCHES. THE OUTDOOR LIVING IS MAXIMIZED ON THESE SMALLER LOTS. BUYERS CAN CHOOSE TO HAVE A LARGER FRONT PORCH TO ADD EVEN MORE OUTDOOR LIVING.

J. ADDITIONAL CONTROLS SUCH AS ARCHITECTURAL CONTROL COMMITTEE OF A HOMEOWNERS ASSOCIATION

NONE AT THIS TIME

K. SIGNAGE

NONE AT THIS TIME

L. ACCESSORY STRUCTURES

ACCESSORY STRUCTURES ARE NOT PERMITTED.

M. FENCING

FENCING SHALL BE PERMITTED BETWEEN LOTS AS DEPICTED IN THIS DOCUMENT. FENCING LOCATIONS AND TYPES HAVE BEEN PROVIDED WITH THIS PUD-PDP. FINAL LOCATIONS SHALL BE PROVIDED WITH FDP.

N. ESTIMATED TIMETABLE FOR CONSTRUCTION & PHASING

THE PROJECT SHALL BE COMPLETED IN A SINGLE PHASE WITH AN ESTIMATED TIME OF CONSTRUCTION COMMENCING IN 2023.

O. DEFINITIONS

ALLEY LOADED GARAGE: A GARAGE WITH THE VEHICULAR DOOR ACCESS LOCATED ONTO AN ALLEY LOCATED AT THE SIDE (OR SOMETIMES FRONT) OF THE LOT.

EASEMENT GRANTOR: THE LOT OWNER GRANTING SIDE YARD AREA TO ADJACENT LOT OWNER FOR USE.

EASEMENT GRANTEE: THE LOT OWNER GAINING SIDE YARD AREA FROM ADJACENT LOT OWNER FOR USE.

P. PROVISIONS FOR PARKING

A MINIMUM OF TWO OFF-STREET RESIDENTIAL GARAGE PARKING SPACES WILL BE PROVIDED WITHIN EACH HOME. PARALLEL SPACES ARE PROVIDED ALONG RARITAN WAY. PARKING WILL NOT BE PERMITTED WITHIN THE ALLEYS AND SHALL BE SIGNED AS SUCH. A MINIMUM 35% (6 SPOTS) OF THE PROPOSED 17 PARALLEL PARKING SPOTS WILL BE DESIGNATED TOWARDS VISITOR PARKING.

Q. BULK & DIMENSION STANDARDS

MIN. LOT SIZE	2,400 SF.
MIN. LOT WIDTH	32'

MAX. BUILDING HEIGHT (2-STORIES)	35'
----------------------------------	-----

MINIMUM SETBACKS	
BUILDING TO FRONT LOT LINE	5'-0"
BUILDING TO ALLEY FLOW LINE	5'-0"
BUILDING SIDE TO ALLEY/PRIVATE DRIVE FLOWLINE	10'-0"
BUILDING SIDE TO LOT LINE	5'-0"
BUILDING TO BUILDING	10'-0"

NOTE: SETBACKS ARE MEASURED FROM BUILDING FOUNDATIONS

PERMITTED SETBACK ENCROACHMENTS

EAVES, OVERHANGS, BAY WINDOWS	1'-0"
WINDOW WELLS, COUNTERFORTS	2'-0"
EXTERIOR SIDING, VENEER, BRICK, STONE	0'-4"

UNIT COUNT

UNITS	12 UNITS
-------	----------

PARKING SUMMARY

GARAGE PARKING (2 SPACES PER UNIT)	36 SPACES
GUEST SPACES (PARALLEL SPACES)	17 SPACES
TOTAL	53 SPACES

R. LANDSCAPING

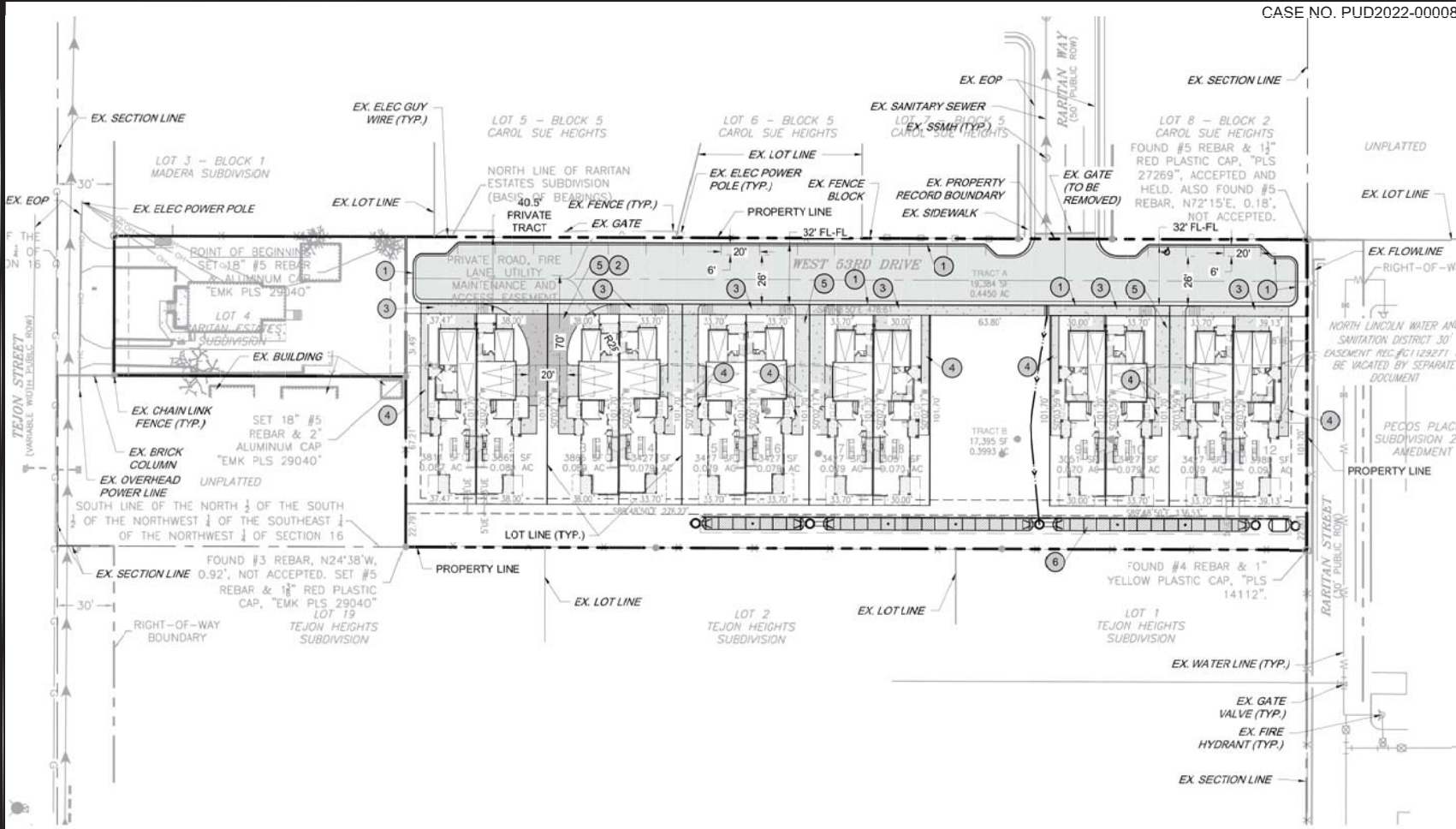
RIGHT OF WAY AND OPEN SPACE LANDSCAPING SHALL BE PROVIDED IN ACCORDANCE WITH COUNTY ZONING DISTRICT REGULATIONS. ON-LOT RESIDENTIAL LANDSCAPING SHALL BE PROVIDED AS NOTED BELOW.

SINGLE FAMILY, ATTACHED RESIDENTIAL LANDSCAPE STANDARDS		
LOCATION	MIN. TREES	**MIN. SHRUBS
FRONT SETBACK	N/A	2
FRONT SETBACK (FRONT FACING GARAGE)	N/A	N/A***
REAR SETBACK	N/A	2
SIDE SETBACK (INTERNAL LOTS)	1	11'
SIDE SEBACK (FRONT FACING GARAGES)	N/A	11'
NOTES:		
* 1 TREE MAY BE SUBSTITUTED FOR 5 SHRUBS AT A RATE OF 5 SHRUBS PER 1 REQUIRED TREE.		
** SHRUBS MAY BE SUBSTITUTED WITH ORNAMENTAL GRASSES AT A RATE OF 3 GRASSES PER REQUIRED SHRUB		
*** WITH FRONT FACING GARAGE LOTS, SHRUBS WILL NOT BE PROVIDED WITHIN FRONT SETBACK DUE TO DRIVEWAY ACCESS.		
1. PLANT SIZES, TYPES AND SPECIES SHALL CONFORM TO COUNTY PERFORMANCE STANDARDS		
2. A MINIMUM 30% OF THE REQUIRED FRONT AND SIDE LANDSCAPE ARE MUST BE COVERED BY LIVING GROUND MATERIAL PER COUNTY ZONING DISTRICT REGULATIONS.		



**RARITAN ESTATES REDEVELOPMENT
 PLANNED UNIT DEVELOPMENT /
 PRELIMINARY DEVELOPMENT PLAN**

ADAMS COUNTY, COLORADO



NOTES:

- SITE PLAN IS SHOWN AS CONCEPTUAL AND MAY CHANGE AT TIME OF FINAL DEVELOPMENT PLAN.
- ACTIVE LAND USES, LANDSCAPE AREAS, AND AMENITIES ARE CONCEPTUAL AND SUBJECT TO CHANGE WITH THE FINAL DEVELOPMENT PLAN.
- SIGNAGE LOCATIONS ARE CONCEPTUAL AND SUBJECT TO CHANGE AT TIME OF FINAL DEVELOPMENT PLAN.

LAND USE SUMMARY

LAND USE	ACREAGE	% TOTAL	UNITS	DENSITY
BUILDING AREAS				
BUILDING AREA	0.53	29%	12	
OPEN AREAS				
PAVEMENT	0.35	19%		
CONCRETE	0.21	12%		
LANDSCAPE AREAS	0.72	40%		
OPEN AREAS SUBTOTAL	1.28	71%		
TOTAL	1.81	100%	12	6.6 DU/AC

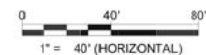
KEYNOTES & LEGEND:

- ① 6" VERTICAL CURB AND GUTTER
- ② FIRE TRUCK TURN AROUND
- ③ 5' SIDEWALK
- ④ 4' SIDEWALK
- ⑤ DRIVEWAY
- ⑥ UNDERGROUND WATER QUALITY AND DETENTION BASIN

- EOP EDGE OF PAVEMENT
- BOC BACK OF CURB
- SSMH SANITARY SEWER MANHOLE
- & ACCESSIBLE PARKING SPACE
- UTILITY EASEMENT (UE)
- UTILITY AND ACCESS EASEMENT (UAE)
- FIRE LANE EASEMENT (FLE)
- PROPOSED CONCRETE PAVEMENT
- PROPOSED ASPHALT PAVEMENT

PARKING SUMMARY

TOTAL UNITS (EACH UNIT HAS AN ADU)	12
GARAGE SPACES	36
PARALLEL GUEST SPACES (INCLUDES 1 HC SPACE)	17
TOTAL PARKING SPACES	53



Issue Date: 04/12/2023

REVISIONS:	DATE:
1	XX/XX/XX
2	
3	

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Sheet Name

SITE PLAN

Sheet Number

RARITAN ESTATES REDEVELOPMENT
 PLANNED UNIT DEVELOPMENT /
 PRELIMINARY DEVELOPMENT PLAN

ADAMS COUNTY, COLORADO

Issue Date: 04/12/2023

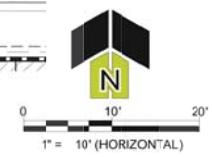
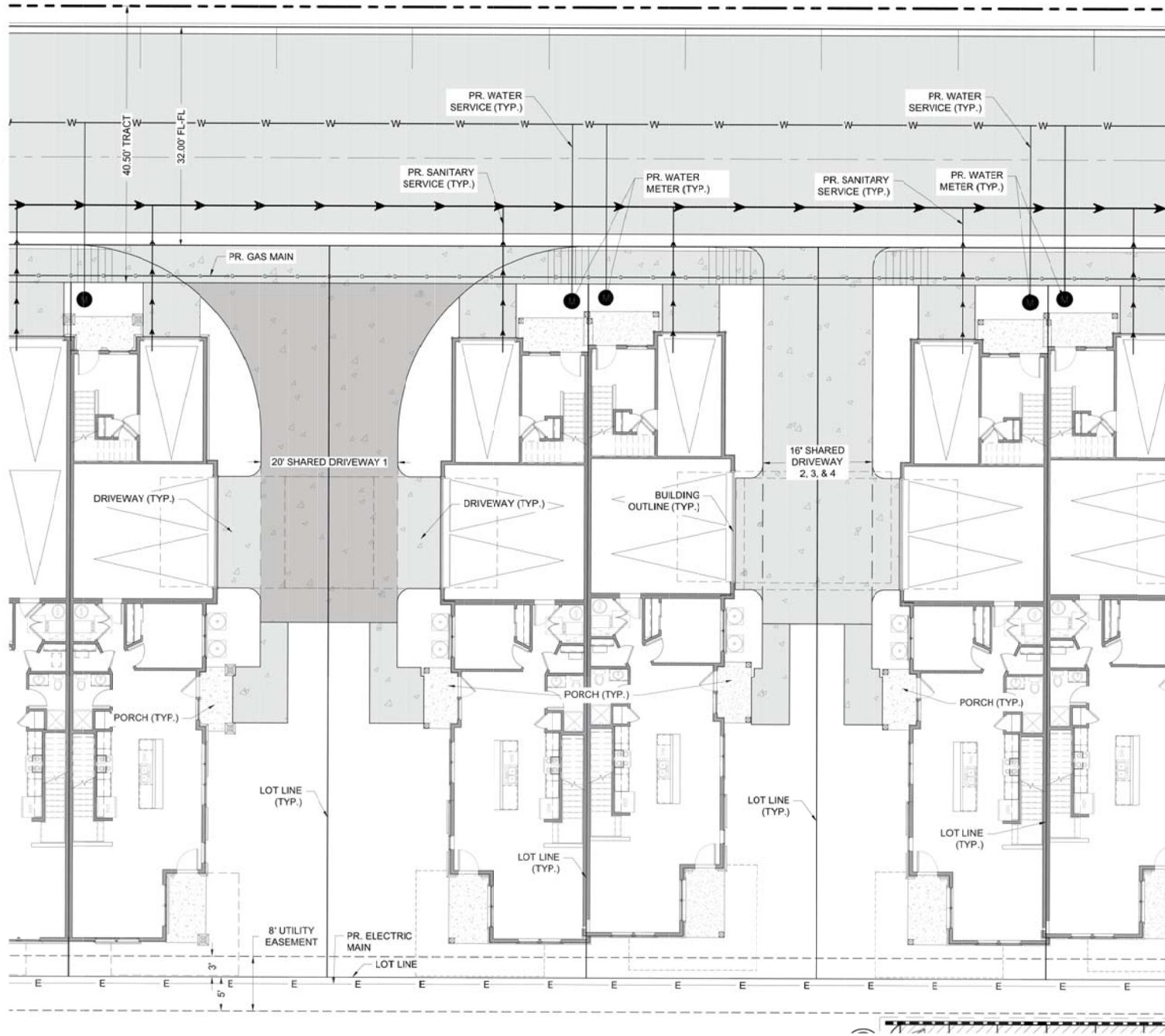
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1	XX/XX/XX
2	
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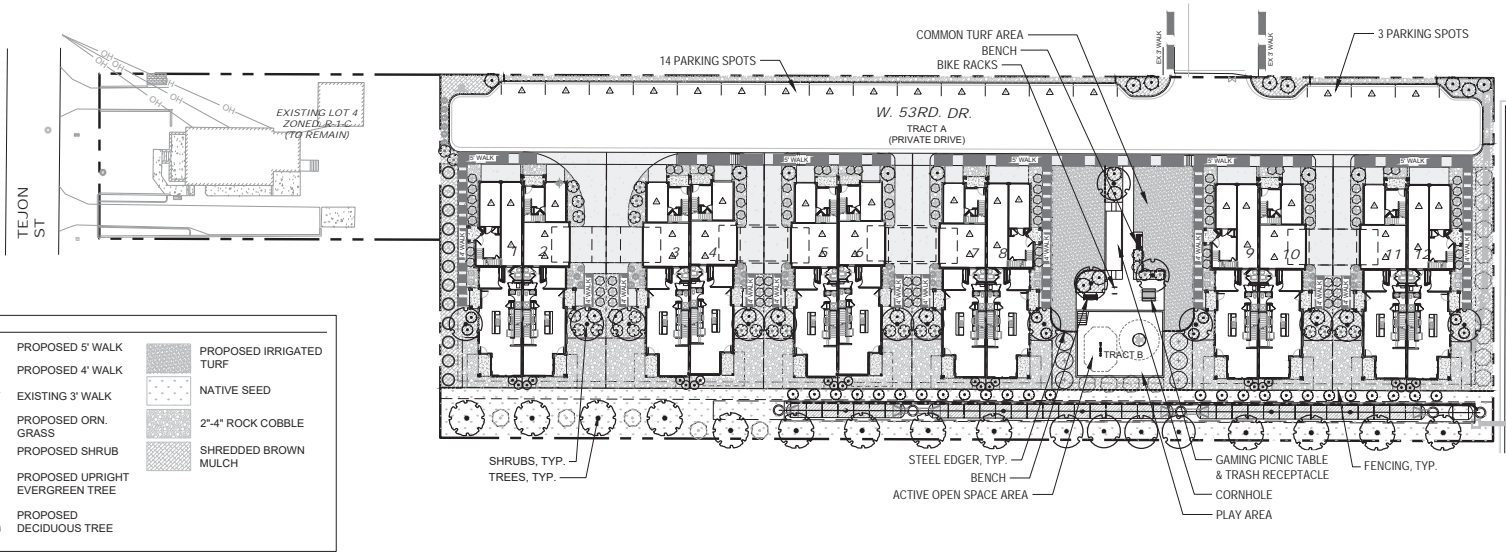
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Sheet Name

LOT TYPICAL

Sheet Number





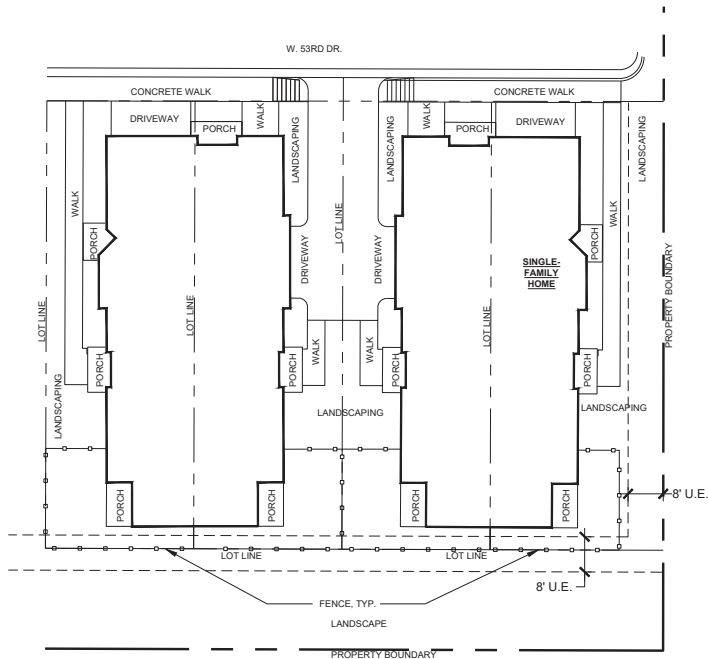
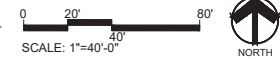
LEGEND

- PROPOSED 5" WALK
- PROPOSED 4" WALK
- EXISTING 3" WALK
- PROPOSED ORN. GRASS
- PROPOSED SHRUB
- PROPOSED UPRIGHT EVERGREEN TREE
- PROPOSED DECIDUOUS TREE
- PROPOSED IRRIGATED TURF
- NATIVE SEED
- 2"-4" ROCK COBBLE
- SHREDDED BROWN MULCH

NOTE:
1. LANDSCAPING IS PRELIMINARY AND WILL BE FINALIZED WITH PUD/FDP SUBMITTAL.

1 PRELIMINARY LANDSCAPE & CIRCULATION PLAN

Scale: 1" = 40'-0"



2 PRELIMINARY ON-LOT FENCING AND LANDSCAPE DIAGRAM

Scale: 1" = 20'-0"

Issue Date: 04/12/2023

REVISIONS:	DATE:
1	XX/XX/XX
2	
3	

NOT FOR CONSTRUCTION
Sheet Name
PRELIMINARY LANDSCAPE, CIRCULATION & FENCING
Sheet Number



Issue Date: 04/12/2023

REVISIONS:	DATE:
1	XX/XX/XX
2	
3	

NOT FOR CONSTRUCTION

Sheet Name
OPEN SPACE
DIAGRAM

Sheet Number
6 of **11**

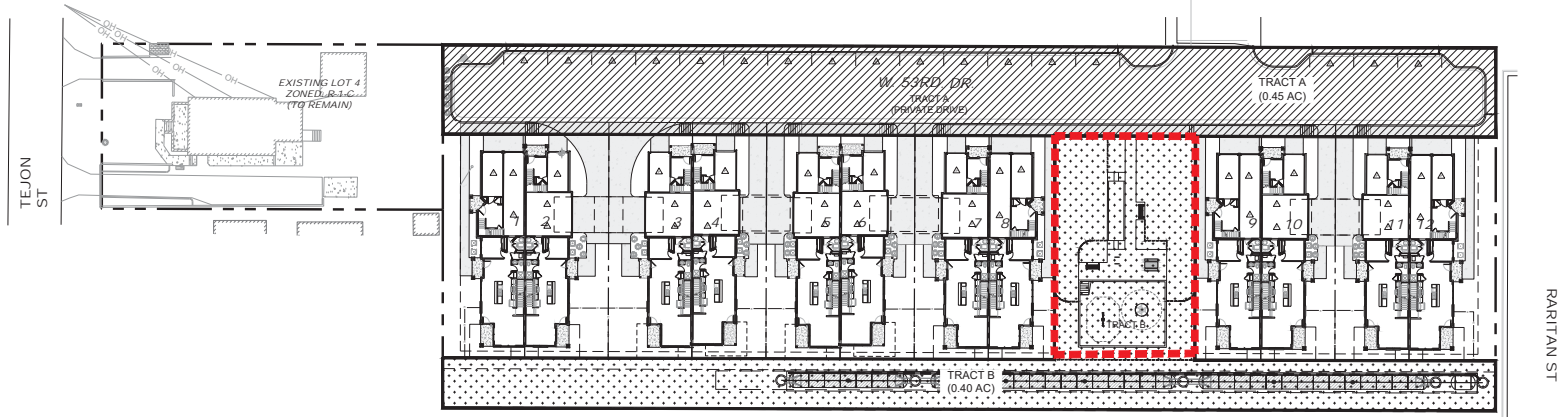
LAND USE SUMMARY

PROPOSED AREA TAKEOFFS				
LAND USE	ACRE AGE	% TOTAL	UNITS	DENSITY (DU/AC)
BUILDING AREAS				
RESIDENTIAL LOTS	0.53	29%	12	6.6
OPEN AREAS				
TRACT A	0.45	25%		
TRACT B	0.40	22%		
RESIDENTIAL LOTS	0.43	24%		
OPEN AREAS SUBTOTAL	1.28	71%		
TOTAL	1.81	100%	12	6.6

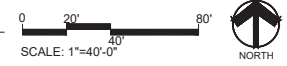
OPEN SPACE TABULATIONS

SITE AREA (AC.)		1.81			
SYMBOL	OPEN AREA TRACTS	AREA (AC.)	TOTAL REQUIRED OPEN SPACE (MIN 30%)	TOTAL PROVIDED OPEN SPACE (MIN. 30%)	
	TRACT A (PRIVATE ROAD, FIRE LANE, UTIL/MAINT/ACCESS ESMT.)	0.45			
	TRACT B (DRAINAGE, LANDSCAPE, OPEN SPACE AND UTILITIES)	0.40			
	SUBTOTAL	0.85	1.81 AC X 30% = 0.54 AC	0.85 AC / 1.81 AC = 47%	
SYMBOL		ACTIVE OPEN SPACE USE AREAS	ACTIVE USE AREA (AC.)	TOTAL REQUIRED ACTIVE OPEN SPACE (25% OF THE REQUIRED OPEN SPACE)	TOTAL PROVIDED ACTIVE OPEN SPACE (NO MORE THAN 50% OF PROVIDED OPEN SPACE)
		PLAY AREA, CORNHOLE COURTS, PICNIC AREA & EXERCISE EQUIPMENT STATIONS	0.15	0.54 AC X 25% = 0.14 AC	0.15 AC

NOTE: OPEN SPACE CALCULATIONS ARE BASED UPON COUNTY REQUIREMENT STATED IN: 3-30-03-05-08 CALCULATION OF OPEN SPACE AREA: THE CALCULATION OF OPEN SPACE AREA SHALL INCLUDE ALL COMMON PUBLIC OR PRIVATELY HELD OPEN SPACE AREAS, ALL PROVISIONS FOR THE RIGHT-OF-WAY FOR PUBLIC ROADS AND THE EASEMENT WIDTH FOR PRIVATE ROADS, STORM WATER FACILITIES, RECREATIONAL AREAS, TRAILS AND GREENWAYS. INDIVIDUAL PRIVATE RESIDENTIAL OR COMMERCIAL LOT AREAS SHALL NOT BE INCLUDED IN THE OPEN SPACE CALCULATION UNLESS THE OPEN SPACE AREAS LOCATED ON PRIVATE LOTS ARE SUBJECT TO OPEN SPACE EASEMENTS AND RESTRICTIONS.



1 ACTIVE AND OPEN SPACE PLAN
 Scale: 1"=40'-0"

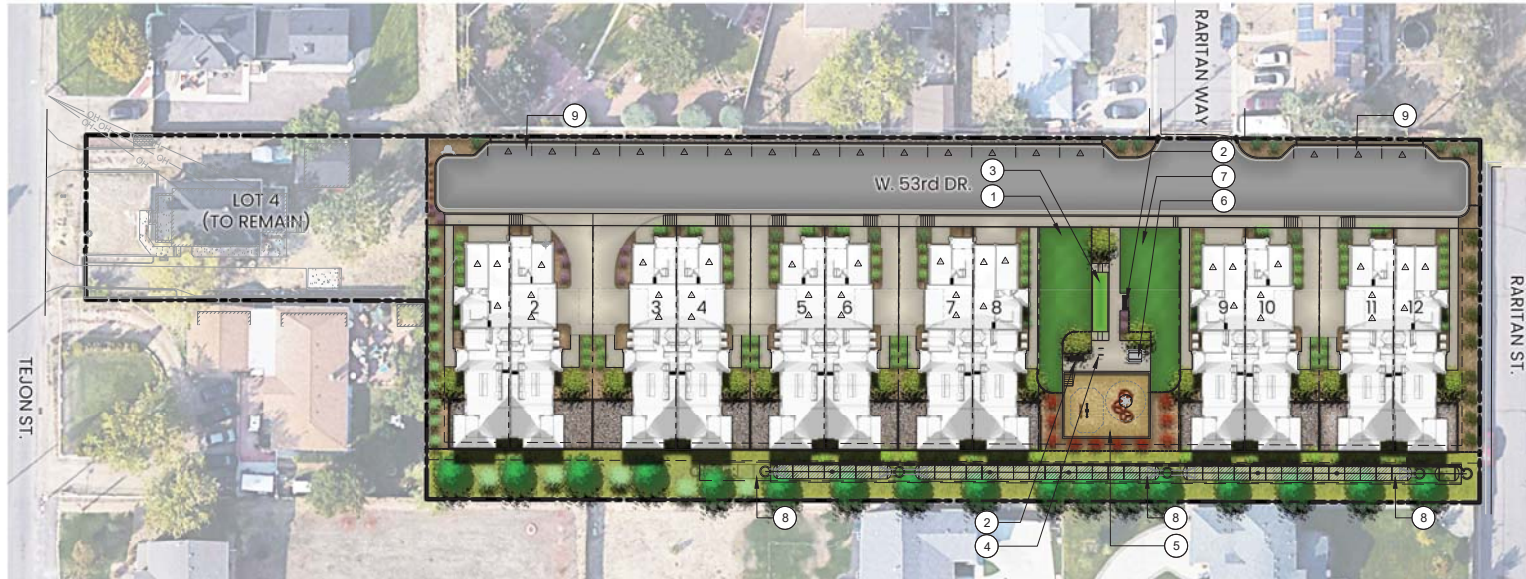




SITE PLAN LEGEND

- 1 MAIL KIOSK
- 2 BENCH
- 3 CORNHOLE COURT
- 4 BIKE RACKS
- 5 PLAY AREA
- 6 PICNIC TABLE & TRASH RECEPTACLE
- 7 MULTI-USE TURF AREA
- 8 UNDERGROUND DETENTION
- 9 PARALLEL PARKING STALLS (17 STALLS)

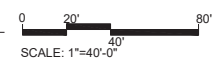
NOTE:
 SITE PLAN IS PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL DEVELOPMENT PLAN.



RARITAN ESTATES REDEVELOPMENT
 PLANNED UNIT DEVELOPMENT /
 PRELIMINARY DEVELOPMENT PLAN

ADAMS COUNTY, COLORADO

1 ILLUSTRATIVE SITE PLAN
 Scale: 1"=40'-0"



Issue Date: 04/12/2023

REVISIONS:	DATE:
1	XX/XX/XX
2	
3	

NOT FOR CONSTRUCTION

Sheet Name
ILLUSTRATIVE SITE PLAN

Sheet Number



ELEVATION A MATERIAL LEGEND*

1	4" LAP SIDING AND TRIM: MANUF. SHERWIN WILLIAMS, OR SIM. COLOR: SAGE GREEN LIGHT (SW 2851)
2	8" LAP SIDING AND TRIM/FASCIA: MANUF. SHERWIN WILLIAMS, OR SIM. COLOR: OAT MILK (SW 9501)
3	FRONT DOOR: MANUF. SHERWIN WILLIAMS, OR SIM. COLOR: KENDAL GREEN (SW 6497)
4	ROOF (SHINGLE): MANUF. GAF, OR SIM. COLOR: TIMBERLINE CHARCOAL
5	STONE: MANUF. CULTURED STONE, OR SIM. COLOR: COBBLEFIELD - GRAY

*ALL COLOR INFORMATION IS APPROXIMATE, MANUFACTURER AND FINAL TINT SUBJECT TO CHANGE



UNIT 1

4 1-2 RIGHT ELEVATION A
 1/8" = 1'-0"



UNIT 1

UNIT 2

3 1-2 REAR ELEVATION A
 1/8" = 1'-0"



UNIT 2

UNIT 1

2 1-2 FRONT ELEVATION A
 1/8" = 1'-0"



UNIT 2

1 1-2 LEFT ELEVATION A
 1/8" = 1'-0"

RARITAN ESTATES REDEVELOPMENT
 PLANNED UNIT DEVELOPMENT /
 PRELIMINARY DEVELOPMENT PLAN

ADAMS COUNTY, COLORADO

Issue Date: 04/12/2023

REVISIONS:	DATE:
1	XX/XX/XX
2	
3	

NOT FOR CONSTRUCTION

Sheet Name
 1-2 A ELEVATIONS

Sheet Number



RARITAN ESTATES REDEVELOPMENT
 PLANNED UNIT DEVELOPMENT /
 PRELIMINARY DEVELOPMENT PLAN

ADAMS COUNTY, COLORADO

Issue Date: 04/12/2023

REVISIONS:	DATE:
1	XX/XX/XX
2	
3	

NOT FOR CONSTRUCTION

Sheet Name
 1-2 B ELEVATIONS

Sheet Number

ELEVATION B MATERIAL LEGEND*

1	VERTICAL SIDING AND TRIM/FASCIA: MANUF. SHERWIN WILLIAMS OR SIM. COLOR: CYBERSPACE (SW 7076)
2	8" LAP SIDING AND TRIM: MANUF. SHERWIN WILLIAMS OR SIM. COLOR: GRAY SCREEN (SW 7071)
3	FRONT DOOR: MANUF. SHERWIN WILLIAMS OR SIM. COLOR: LEAP FROG (SW 6431)
4	ROOF (SHINGLE): MANUF. GAF OR SIM. COLOR: TIMBERLINE CHARCOAL
5	STONE: MANUF. CULTURED STONE OR SIM. COLOR: COUNTRY LEDGESTONE - WHEATON

*ALL COLOR INFORMATION IS APPROXIMATE MANUFACTURER AND FINAL TINT SUBJECT TO CHANGE



4 1-2 RIGHT ELEVATION B
 1/8" = 1'-0"



3 1-2 REAR ELEVATION B
 1/8" = 1'-0"



2 1-2 FRONT ELEVATION B
 1/8" = 1'-0"



1 1-2 LEFT ELEVATION B
 1/8" = 1'-0"



ELEVATION A MATERIAL LEGEND*

1	4" LAP SIDING AND TRIM: MANUF: SHERWIN WILLIAMS, OR SIM COLOR: SAGE GREEN LIGHT (SW 2851)
2	8" LAP SIDING AND TRIM/FASCIA: MANUF: SHERWIN WILLIAMS, OR SIM COLOR: OATMILK (SW 9501)
3	FRONT DOOR: MANUF: SHERWIN WILLIAMS, OR SIM COLOR: KENDAL GREEN (SW 6467)
4	ROOF (SHINGLE): MANUF: GAF, OR SIM COLOR: TIMBERLINE CHARCOAL
5	STONE: MANUF: CULTURED STONE, OR SIM COLOR: COBBLEFIELD - GRAY

*ALL COLOR INFORMATION IS APPROXIMATE. MANUFACTURER AND FINAL TINT SUBJECT TO CHANGE



UNIT 1

4 1-1 RIGHT ELEVATION A
 1/8" = 1'-0"



UNIT 1

UNIT 1

3 1-1 REAR ELEVATION A
 1/8" = 1'-0"



UNIT 1

UNIT 1

1 1-1 FRONT ELEVATION A
 1/8" = 1'-0"



UNIT 1

2 1-1 LEFT ELEVATION A
 1/8" = 1'-0"

Issue Date: 04/12/2023

REVISIONS:	DATE:
1	XX/XX/XX
2	
3	

NOT FOR CONSTRUCTION

Sheet Name

1-1 A ELEVATIONS

Sheet Number



Issue Date: 04/12/2023

REVISIONS:	DATE:
1	XX/XX/XX
2	
3	

NOT FOR CONSTRUCTION

Sheet Name

1-1 B ELEVATIONS

Sheet Number

ELEVATION B MATERIAL LEGEND*

- 1 VERTICAL SIDING AND TRIM/FASCIA:
MANUF: SHERWIN WILLIAMS, OR SIM.
COLOR: CYBERSPACE (SW 7376)
- 2 8" LAP SIDING AND TRIM:
MANUF: SHERWIN WILLIAMS, OR SIM.
COLOR: GRAY SCREEN (SW 1071)
- 3 FRONT DOOR:
MANUF: SHERWIN WILLIAMS, OR SIM.
COLOR: LEAF FROG (SW 6431)
- 4 ROOF (SHINGLE):
MANUF: GAF, OR SIM.
COLOR: TIMBERLINE CHARCOAL
- 5 STONE:
MANUF: CULTURED STONE, OR SIM.
COLOR: COUNTRY LEDGESTONE - WHEATON

*ALL COLOR INFORMATION IS APPROXIMATE.
 MANUFACTURER AND FINAL TINT SUBJECT TO
 CHANGE



UNIT 1

4 1-1 RIGHT ELEVATION B
 1/8" = 1'-0"



UNIT 1

UNIT 1

3 1-1 REAR ELEVATION B
 1/8" = 1'-0"



UNIT 1

UNIT 1

2 1-1 FRONT ELEVATION B
 1/8" = 1'-0"



UNIT 1

1 1-1 LEFT ELEVATION B
 1/8" = 1'-0"

RARITAN ESTATES REDEVELOPMENT

PROJECT NO. PRC2022-0008

A REPLAT OF LOTS 1-6 AND TRACT A, RARITAN ESTATES SUBDIVISION
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 68
 WEST, 6TH PRINCIPAL MERIDIAN
 COUNTY OF ADAMS, STATE OF COLORADO
 ZONE MAP AMENDMENT

Prepared For
URBAIN COTTAGES
 Contact: Chase Stillman
 chase.stillman@oreadcapital.com

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pcs group

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 p.o. box 18287
 denver, co 80218
 t 303.531.4905 f 303.531.4908

Civil Engineering

CAGE
 CIVIL ENGINEERING
 999 18th Street, Suite 2110
 Denver, CO

RARITAN ESTATES REDEVELOPMENT
 ZONE MAP AMENDMENT

ADAMS COUNTY, COLORADO

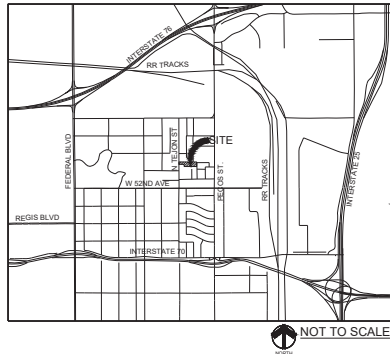
Issue Date:
 04/12/2023
 Issue For:
 3RD SUBMITTAL

REVISIONS:	DATE:
1	
2	
3	
4	

Sheet Name
REZONING MAP AMENDMENT

Sheet Number

VICINITY MAP



NOT TO SCALE

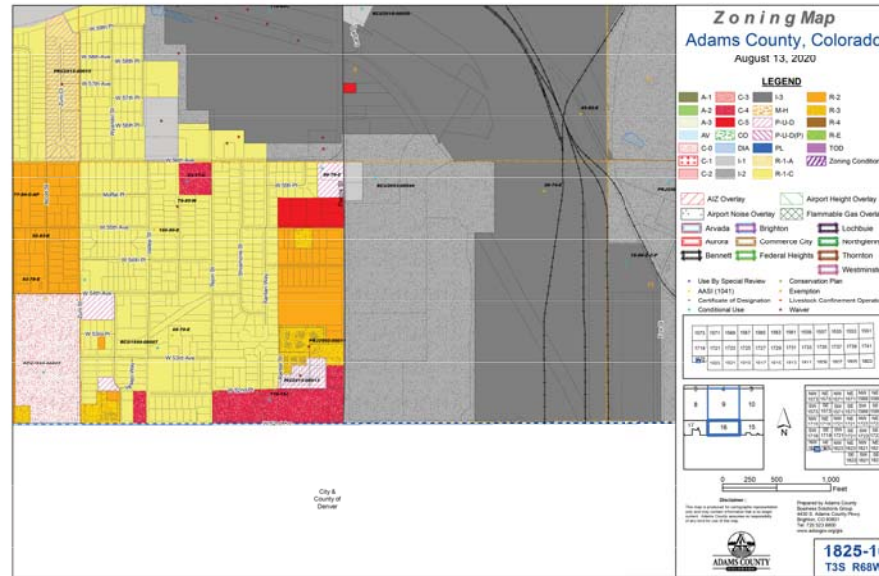
LEGAL DESCRIPTION

PARCEL A:
 LOT 4, RARITAN ESTATES SUBDIVISION, COUNTY OF ADAMS, STATE OF COLORADO.
 PARCEL B:
 LOTS 1, 2, 3, 5, 6 AND TRACT A, RARITAN ESTATES SUBDIVISION, COUNTY OF ADAMS, STATE OF COLORADO.

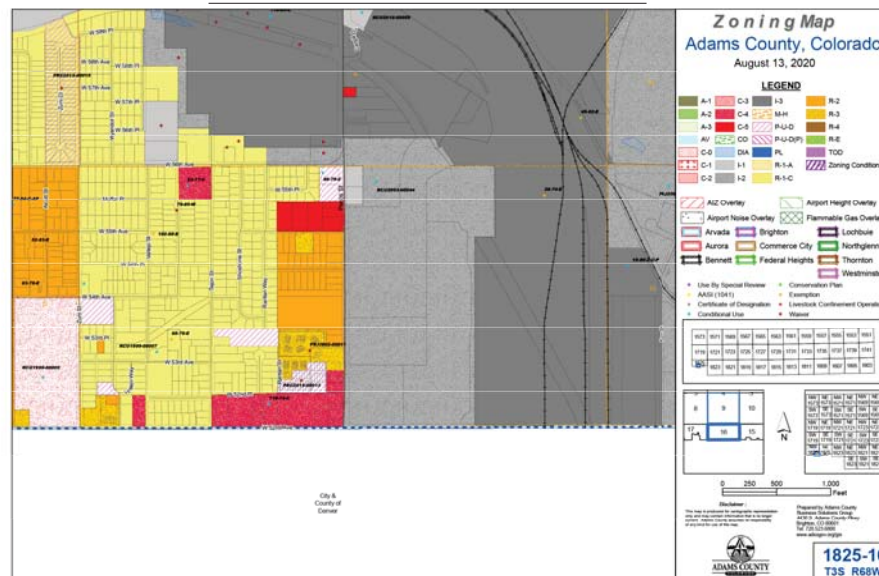
SHEET INDEX

1 OF 3	REZONING MAP AMENDMENT
2 OF 3	SITE PLAN
3 OF 3	ILLUSTRATIVE SITE PLAN

EXISTING ZONING MAP



PROPOSED ZONING MAP AMENDMENT



RARITAN ESTATES REDEVELOPMENT

PROJECT NO. PRC2022-0008

A REPLAT OF LOTS 1-6 AND TRACT A, RARITAN ESTATES SUBDIVISION
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 68
 WEST, 6TH PRINCIPAL MERIDIAN
 COUNTY OF ADAMS, STATE OF COLORADO
 ZONE MAP AMENDMENT

Prepared For
URBAN COTTAGES
 Contact: Chase Stillman
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 p.o. box 18287
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 t 303.531.4905 · f 303.531.4908

Civil Engineering

CAGE
 CIVIL ENGINEERING
 999 18th Street, Suite 2110
 Denver, CO

RARITAN ESTATES REDEVELOPMENT
 ZONE MAP AMENDMENT

ADAMS COUNTY, COLORADO

Issue Date:
 04/12/2023
 Issue For:
 3RD SUBMITTAL

REVISIONS:	DATE:
1	
2	
3	
4	

Sheet Name
SITE PLAN

Sheet Number

ZONING SUMMARY

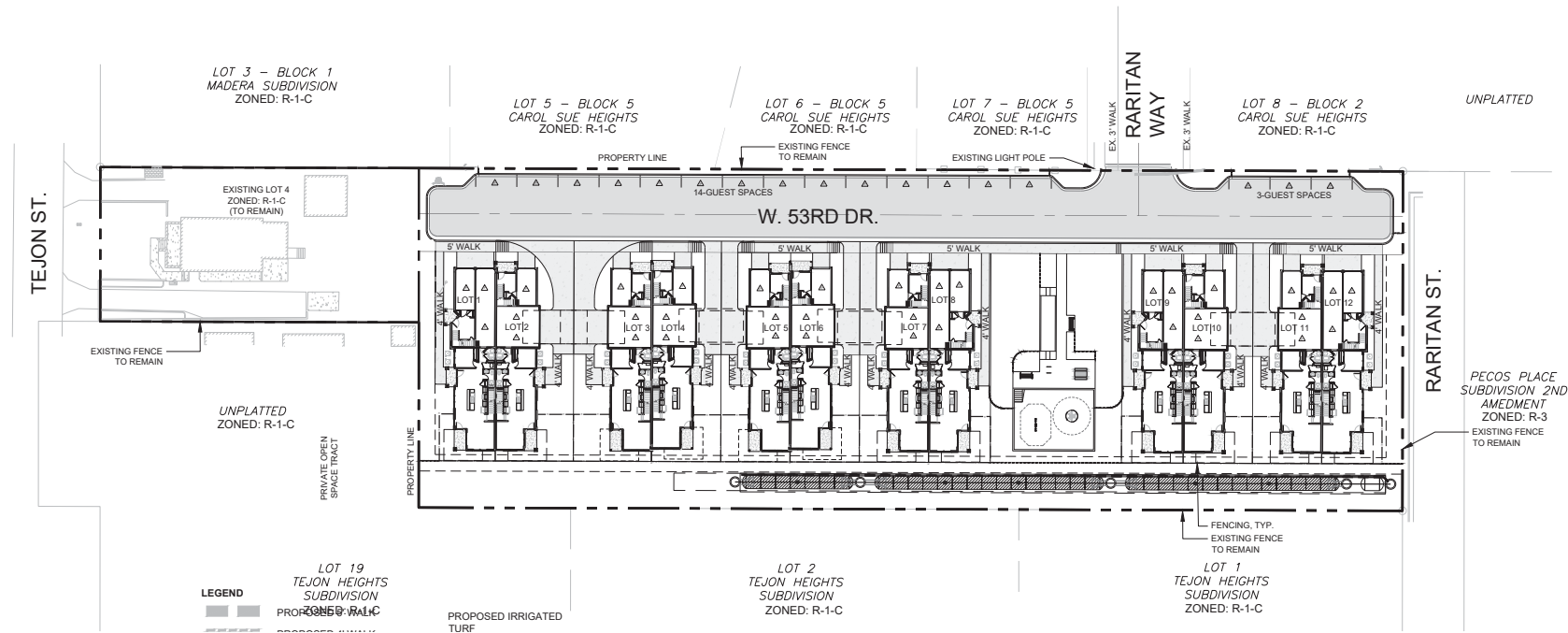
EXISTING ZONING (RARITAN ESTATES SUBDIVISION)	TOTAL AREA (AC.)	EXISTING ZONING	PROPOSED ZONING
LOT 4	0.27	R-1-C	PUD
LOT 1	1.21		
LOT 2			
LOT 3			
LOT 5			
TRACT A	0.60	N/A	(PROPERTY TO BE REPLATTED)
EXISTING RARITAN WAY RIGHT OF WAY TO BE VACATED			
TOTAL SITE AREA	2.08		

LAND USE SUMMARY

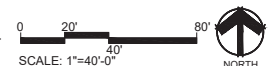
PROPOSED AREA TAKEOFFS				
LAND USE	ACRE AGE	% TOTAL	UNITS	DENSITY (DU/AC)
BUILDING AREAS				
RESIDENTIAL LOTS	0.96	53%	12	6.6
OPEN AREAS				
TRACT A	0.45	17%		
TRACT B	0.40	22%		
OPEN AREAS SUBTOTAL	0.85	47%		
TOTAL	1.81	100%	12	6.6

PARKING SUMMARY

TOTAL UNITS	12
GARAGE SPACES (2 PER UNIT)	36
PARALLEL GUEST SPACES (INCLUDES 1 HC SPACE)	17
TOTAL PARKING SPACES	53



1 SITE PLAN
 Scale: 1"=40'-0"



RARITAN ESTATES REDEVELOPMENT

PROJECT NO. PRC2022-0008

A REPLAT OF LOTS 1-6 AND TRACT A, RARITAN ESTATES SUBDIVISION
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 68
 WEST, 6TH PRINCIPAL MERIDIAN
 COUNTY OF ADAMS, STATE OF COLORADO
 ZONE MAP AMENDMENT

Prepared For
URBAIN COTTAGES
 Contact: Chase Stillman
 chase.stillman@oreadcapital.com

Land Planning
pcs group

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 p.o. box 18287
 denver, co 80218
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Civil Engineering

CAGE
 CIVIL ENGINEERING

999 18th Street, Suite 2110
 Denver, CO

RARITAN ESTATES REDEVELOPMENT
 ZONE MAP AMENDMENT

ADAMS COUNTY, COLORADO

Issue Date:

04/12/2023

Issue For:

3RD SUBMITTAL

REVISIONS:

DATE:

REVISIONS:	DATE:
1	
2	
3	
4	

Sheet Name

ILLUSTRATIVE SITE PLAN

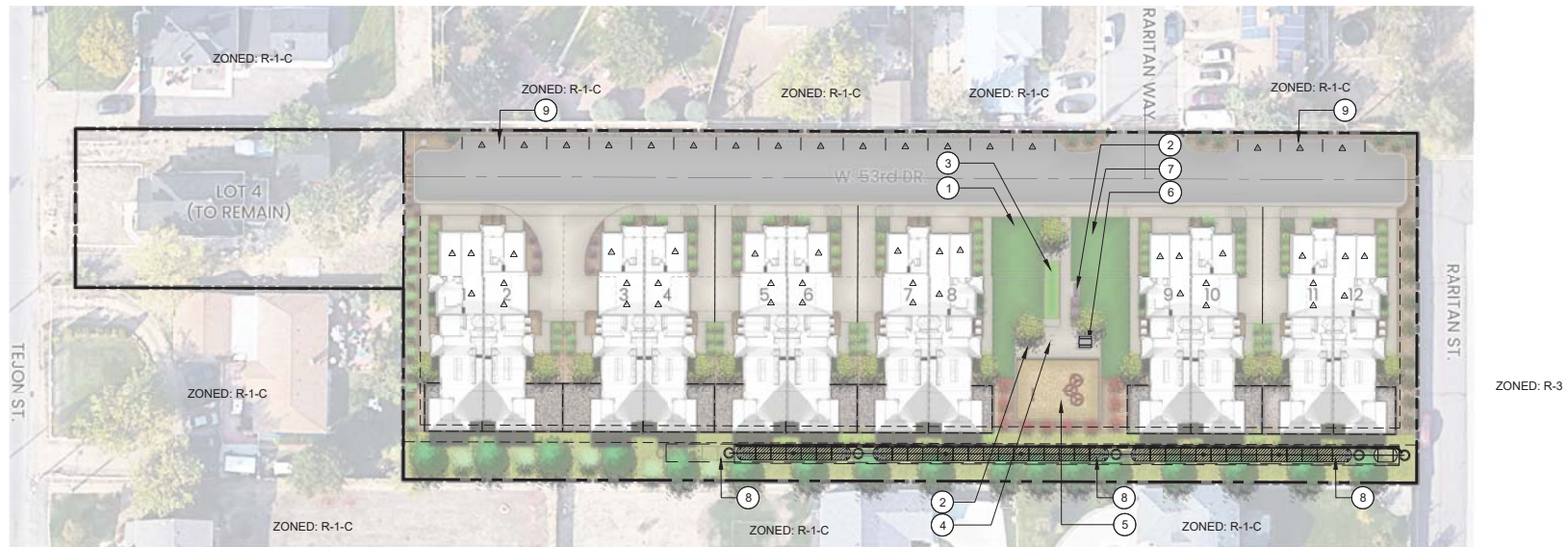
Sheet Number

3 of 3

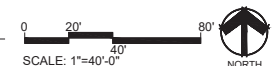
SITE PLAN LEGEND

- ① MAIL KIOSK
- ② BENCH
- ③ CORNHOLE COURT
- ④ BIKE RACKS
- ⑤ PLAY AREA
- ⑥ PICNIC TABLE & TRASH RECEPTACLE
- ⑦ MULTI-USE TURF AREA
- ⑧ UNDERGROUND DETENTION
- ⑨ PARALLEL PARKING STALLS

NOTE:
 SITE PLAN IS PRELIMINARY AND SUBJECT TO CHANGE PENDING
 FINAL DEVELOPMENT PLAN.



1 ILLUSTRATIVE SITE PLAN
 Scale: 1"=40'-0"





URBAN COTTAGES – TEJON STREET

PRELIMINARY DRAINAGE REPORT

LOTS 1-6, RARITAN ESTATES SUBDIVISION

ADAMS COUNTY, COLORADO

APRIL 2023

Prepared For:
Urban Cottages, LLC
10657 East Ida Avenue
Englewood, CO 80111

By:
CAGE Civil Engineering
405 Urban Street, Suite 404
Lakewood, CO 80228
Contact: Eric Pearson
Phone: 720-206-6625

URBAN COTTAGES – TEJON STREET

LEVEL 2 STORM DRAINAGE REPORT

Page i of iii

ENGINEER’S CERTIFICATION:

I hereby affirm that this report (plan) for the preliminary drainage design of Urban Cottages – Tejon Street was prepared by me (or under my direct supervision) in accordance with the provisions of the Adams County Storm Drainage Design and Stormwater Quality Regulations for the owners thereof. I understand that Adams County does not and will not assume liability for drainage facilities designed by others.

Eric Pearson, PE Date
State of Colorado No. 45415
For and on behalf of CAGE Civil Engineering

DEVELOPER’S CERTIFICATION:

Urban Cottages, LLC hereby certifies that the drainage facilities for Urban Cottages – Tejon Street shall be constructed according to the design presented in this report. I understand that Adams County does not and will not assume liability for the drainage facilities designed and/or certified by my engineer. I understand that Adams County reviews drainage plans pursuant to Colorado Revised Statutes Title 30, Article 28; but cannot on behalf of Urban Cottages, LLC, guarantee that final drainage design review will absolve Urban Cottages, LLC and/or their successors and/or assigns the future liability for improper design. I further understand that approval of the Final Plant and/or Final Development Plan does not imply approval of my engineer’s drainage design.

Date

Name of Developer

Authorized Signature



URBAN COTTAGES – TEJON STREET

LEVEL 2 STORM DRAINAGE REPORT

Page ii of iii

TABLE OF CONTENTS

A.	GENERAL LOCATION AND SITE DESCRIPTION.....	1
1.	Site Location	1
2.	Description of Property	1
B.	DRAINAGE BASINS AND SUB BASINS.....	1
1.	Major Drainage Basins.....	1
2.	Minor Drainage Basins.....	1
C.	DESIGN CRITERIA.....	2
1.	Regulations.....	2
2.	Hydrologic Criteria	2
3.	Hydraulic Criteria	3
D.	STORMWATER IMPROVEMENTS.....	3
1.	General Concept.....	3
2.	Proposed Detention Facility	3
E.	CONCLUSIONS	4
1.	Compliance with Standards	4
2.	Variances.....	4
3.	Drainage Concept.....	4
F.	REFERENCES	4



URBAN COTTAGES – TEJON STREET

LEVEL 2 STORM DRAINAGE REPORT

Page iii of iii

APPENDICES

- A. Maps and Exhibits
- B. Hydrologic Computations
- C. Hydraulic Computations
- D. Referenced Materials



URBAN COTTAGES – TEJON STREET

PRELIMINARY DRAINAGE REPORT

Page 1 of 4

A. GENERAL LOCATION AND SITE DESCRIPTION

1. Site Location

- Urban Cottages – Tejon Street is located on Lots 1-6 of the Raritan Estates Subdivision in the Northwest Quarter of Section 16, Township 3 South, Range 68 West, 6th Principal Meridian in the County of Adams, State of Colorado.
- See Appendix A for Vicinity Map
- The project is bordered to the West by Tejon Street and an unplatted area; to the East by Raritan Street; to the North by Lot 3 – Block 1 of the Madera Subdivision and Lots 5 – 8 – Block 5 of Carol Sue Heights; and to the South by Lots 1, 2, and 19 of the Tejon Heights Subdivision.

2. Description of Property

- The project site is a parcel of approximately 1.81 acres consisting of opens space with native grasses and trees, privacy and chain link fencing, a residence with two driveways and a garage, concrete slabs and sidewalk, brick pad, and various utilities. Topography generally slopes from west to east with grades between 1% and 7%.
- The project area is contained within FEMA Flood Insurance Rate Maps (FIRM) Panel Number 08001C0592H effective March 3rd, 2007. The site is located in an area of minimal flood hazard (Zone X). See Appendix A for a FEMA FIRM Panel Exhibit.
- The proposed Urban Cottages – Tejon Street development includes the construction of 12 single family homes and associated infrastructure.
- Soil types in the project area as identified by the Natural Resources Conservation Service (NRCS) are as follows:

Hydrologic Soil Group— Adams County, Colorado				
Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
Gr	Gravelly land-Shale outcrop complex	A	2.1	100.0%

- See Appendix A for soils map.

B. DRAINAGE BASINS AND SUB BASINS

1. Major Drainage Basins

- The project site is located within the Globeville – Utah Junction Basin (Basin 0059-01) per the Denver Storm Drainage Master Plan, September 2014. Basin Drainage is predominantly west to east and outfalls to the South Platte River.

2. Minor Drainage Basins

- The proposed project site has been split into 3 onsite basins and an offsite basin for the purpose of evaluating runoff. Basin descriptions are as follows:
 - Basin D1 is the northern portion of the site and consists of rooftops, pavement, curb, gutter, sidewalk and landscaping. Runoff is conveyed to Design Point 1 via street section and curb and gutter where it is conveyed into a 2' sidewalk chase



URBAN COTTAGES – TEJON STREET

PRELIMINARY DRAINAGE REPORT

Page 2 of 4

at Design Point 1. Once captured, runoff is conveyed through a swale to the on-site underground extended detention basin.

- Basin D2 is the southern portion of the site and consists of rooftops, sidewalk and landscaping. Runoff is conveyed to Design Point 3 via overland flow and swales where it is captured by nyloplast area drains and enters the proposed on-site underground extended detention basin.
- Basin D3 is the eastern portion of the site and consists of landscape, roof, and sidewalk. Runoff is conveyed to Design Point 4 via overland flow offsite into Raritan Street.
- Basin OS1 is an offsite basin consisting of rooftops, sidewalk, pavement and landscaping. Runoff is conveyed to Design Point 2 via overland flow where it enters Basin D2. Flows from this basin will ultimately be conveyed to the on-site underground extended detention basin. These flows will be considered bypass flows and are not intended to be detained.

C. DESIGN CRITERIA

1. Regulations

- The project site has been designed in accordance with the Adams County Storm Drainage Design and Stormwater Quality Regulations and the Urban Storm Drainage Criteria Manual, Volumes 1, 2, and 3, from the Mile High Flood District.

2. Hydrologic Criteria

- Peak storm runoff was determined using the Rational Formula: $Q=CIA$
- Design storm recurrence intervals are the 5-year storm for the minor event and the 100-year storm for the major event.
- Table 9.3 of the Adams County Storm Drainage Design and Stormwater Quality Regulations was used to obtain rainfall depth-duration-frequency values for the project location. This corresponds to the following 1-hour point rainfall values (in): 5-yr = 1.42, 100-yr = 2.71.
- Runoff coefficients have been determined using Table 6-3 of the Urban Storm Drainage Criteria Manual, Volume 1.
- Time of Concentration has been calculated using the equations in USDCM Volume 1, Chapter 6, Section 2.4.
- Rainfall intensities were calculated using USDCM Volume 1's Equation 5-1.
- Detention Volume Computation Method: Water Quality and 100-year detention volume is provided by an on-site ADS underground extended detention basin. This basin is sized per the latest Urban Drainage and Flood Control District (UDFCD) Detention Basin Design Workbook "UD-Detention, Version 3.07 (February 2017)" with modifications as required by Adams County.
 - Infill projects are challenged from numerous standard requirements imposed from a new project perspective and the proven innovation with this proposed solution provides a viable solution that will be maintained by the owner and not the County that will provide for an additional 2-4 attainable units providing additional housing within Adams County.



URBAN COTTAGES – TEJON STREET

PRELIMINARY DRAINAGE REPORT

Page 3 of 4

Additionally, this innovative solution provides for a better buffer, removal of unsightly drainage elements and a cohesive surface from the front of the units to the property line for more useable space.

- See Appendix B for all hydrologic calculations.

3. Hydraulic Criteria

- The UD-Inlet_v5.01 spreadsheet will be used to calculate inlet and street capacities throughout the site.
- Hydraulic Grade Lines (HGLs) will be contained within the pipe for minor event and below the proposed surface at the storm system structures for the major event. HGLs will be calculated using the Hydraflow Storm Sewers Extension for Civil 3D program with standard loss coefficients.
- See Appendix C for all hydraulic calculations.

D. STORMWATER IMPROVEMENTS

1. General Concept

- The proposed site has been graded to direct runoff toward a proposed underground extended detention basin located at the southeast corner of the property. Private storm sewer will be designed to collect runoff and convey it to the ADS underground detention basin.

2. Proposed Detention Facility

- A proposed ADS underground extended detention basin will provide attenuation for all runoff generated within the fully developed property. Stormwater will enter the detention facility via private storm sewer.
- A proposed outlet structure will be used to control release rates for the water quality capture volume (WQCV), the 5-year detention volume and the 100-year detention volume.
- The WQCV was calculated using the latest Urban Drainage and Flood Control District (UDFCD) Detention Basin Design Workbook “UD-Detention, Version 4.04 (February 2021)”. Detention volumes were calculated using the empirical method presented in the County’s drainage manual. Water Quality volumes were added to the 5 and 100-year volumes as described in the manual using user defined volumes in the UDFCD Workbook.
- Maximum allowable release rates were determined using Table 9.16 of the Adams County Storm Drainage Design and Stormwater Quality Regulations.
- The proposed ADS underground extended detention basin outfalls to a proposed storm sewer network in Raritan Street. This network connects to the existing storm sewer in West 52nd place at the Raritan Street intersection.
- Maintenance of the ADS underground extended detention basin will be provided by the property owners of Urban Cottages – Tejon Street. As the detention system is underground, the area above the system can be used for open space and minor landscape.



URBAN COTTAGES – TEJON STREET

PRELIMINARY DRAINAGE REPORT

Page 4 of 4

- In the event that the outlet structure for the underground extended detention basin fails, runoff will be conveyed through an emergency overflow at the outlet manhole on the east side of the basin which will convey flows to Raritan Street.
- See Appendix C for all detention calculations.

E. CONCLUSIONS

1. Compliance with Standards

- The drainage design for Urban Cottages – Tejon Street detailed with in this report is in general compliance with the Adams County Storm Drainage Design and Stormwater Quality Regulations.

2. Variances

- There are no variances requested for the project at this time.

3. Drainage Concept

- The proposed drainage patterns will follow historic flow patterns as closely as possible. On-site runoff will be conveyed to the proposed underground extended detention basin located at the southeast corner of the property for water quality enhancement and attenuation.
- The development of Urban Cottages – Tejon Street will not adversely impact downstream properties or drainage facilities.

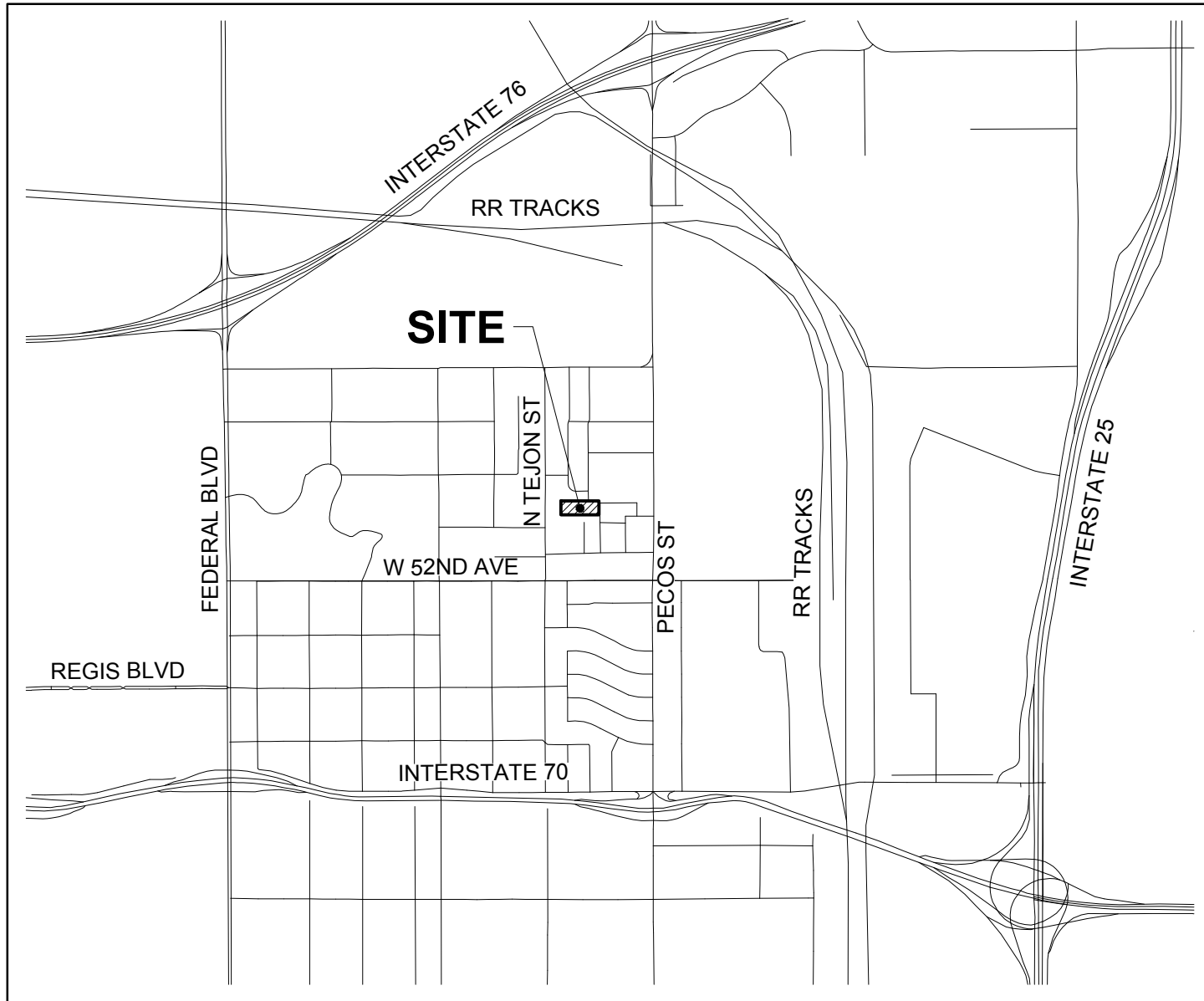
F. REFERENCES

1. *Storm Drainage Design and Stormwater Quality Regulations*, Adams County, December 8, 2020
2. *Urban Storm Drainage Criteria Manual, Volumes 1, 2, and 3*, Mile High Flood District, Revised January 2021.



APPENDIX A - MAPS AND EXHIBITS

LOTS 1-6 AND TRACT A, RARITAN ESTATES SUBDIVISION
LOCATED IN THE NORTHWEST QUARTER OF SECTION 16, TOWNSHIP 3
SOUTH, RANGE 68 WEST, 6TH PRINCIPAL MERIDIAN
COUNTY OF ADAMS, STATE OF COLORADO



VICINITY MAP

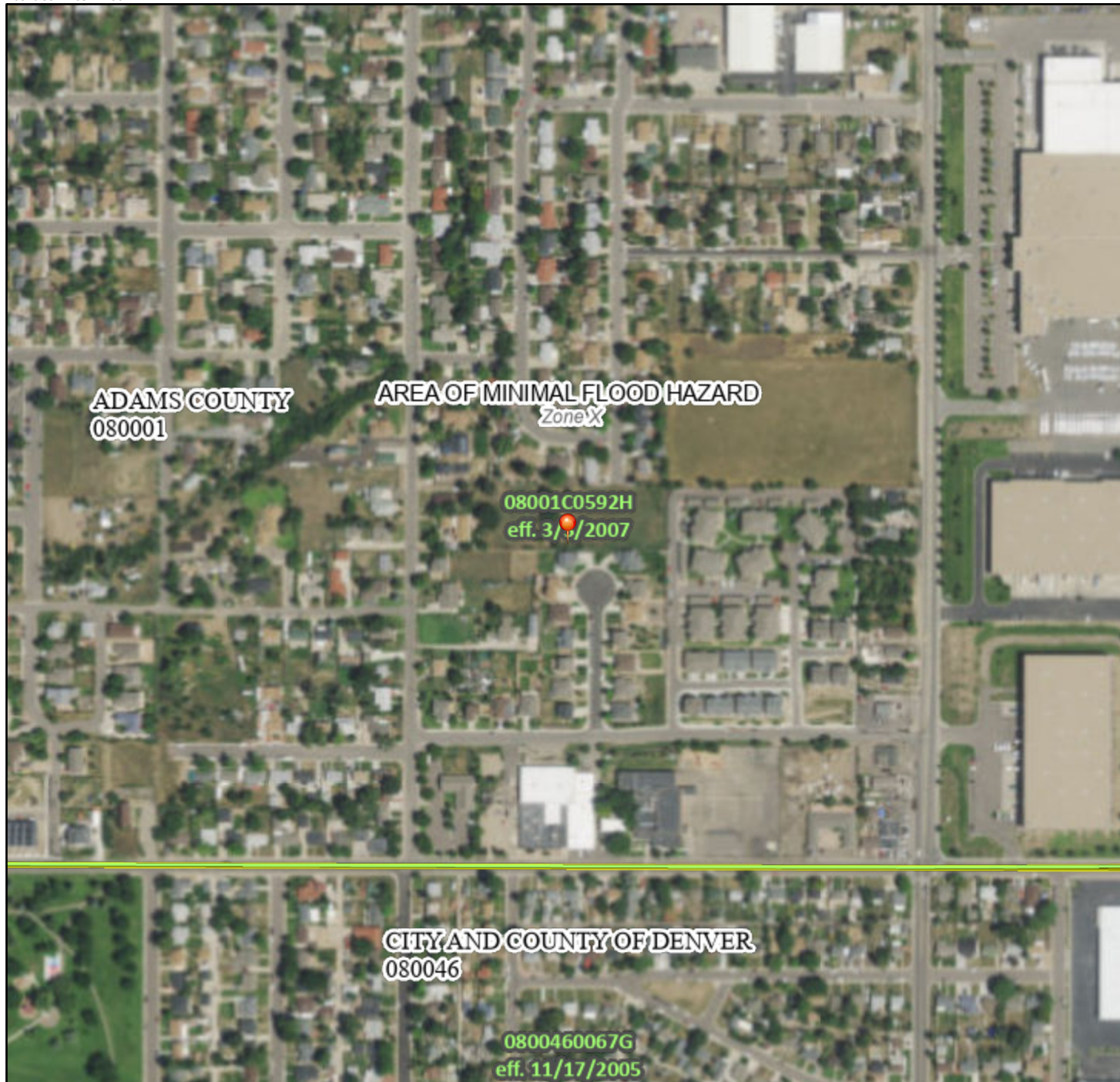
SCALE: 1" = 2000'



National Flood Hazard Layer FIRMette



105°0'53"W 39°47'50"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

- | | | |
|------------------------------------|--|--|
| SPECIAL FLOOD HAZARD AREAS | | Without Base Flood Elevation (BFE)
<i>Zone A, V, A99</i> |
| | | With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i> |
| | | Regulatory Floodway |
| OTHER AREAS OF FLOOD HAZARD | | 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i> |
| | | Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i> |
| | | Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i> |
| | | Area with Flood Risk due to Levee <i>Zone D</i> |
| OTHER AREAS | | NO SCREEN Area of Minimal Flood Hazard <i>Zone X</i> |
| | | Effective LOMRs |
| GENERAL STRUCTURES | | Area of Undetermined Flood Hazard <i>Zone D</i> |
| | | Channel, Culvert, or Storm Sewer |
| | | Levee, Dike, or Floodwall |
| OTHER FEATURES | | 20.2 Cross Sections with 1% Annual Chance |
| | | 17.5 Water Surface Elevation |
| | | Coastal Transect |
| | | Base Flood Elevation Line (BFE) |
| | | Limit of Study |
| MAP PANELS | | Jurisdiction Boundary |
| | | Coastal Transect Baseline |
| | | Profile Baseline |
| | | Hydrographic Feature |
| | | Digital Data Available |
| | | No Digital Data Available |
| | | Unmapped |

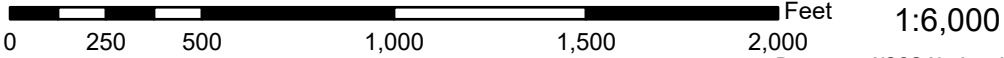


The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

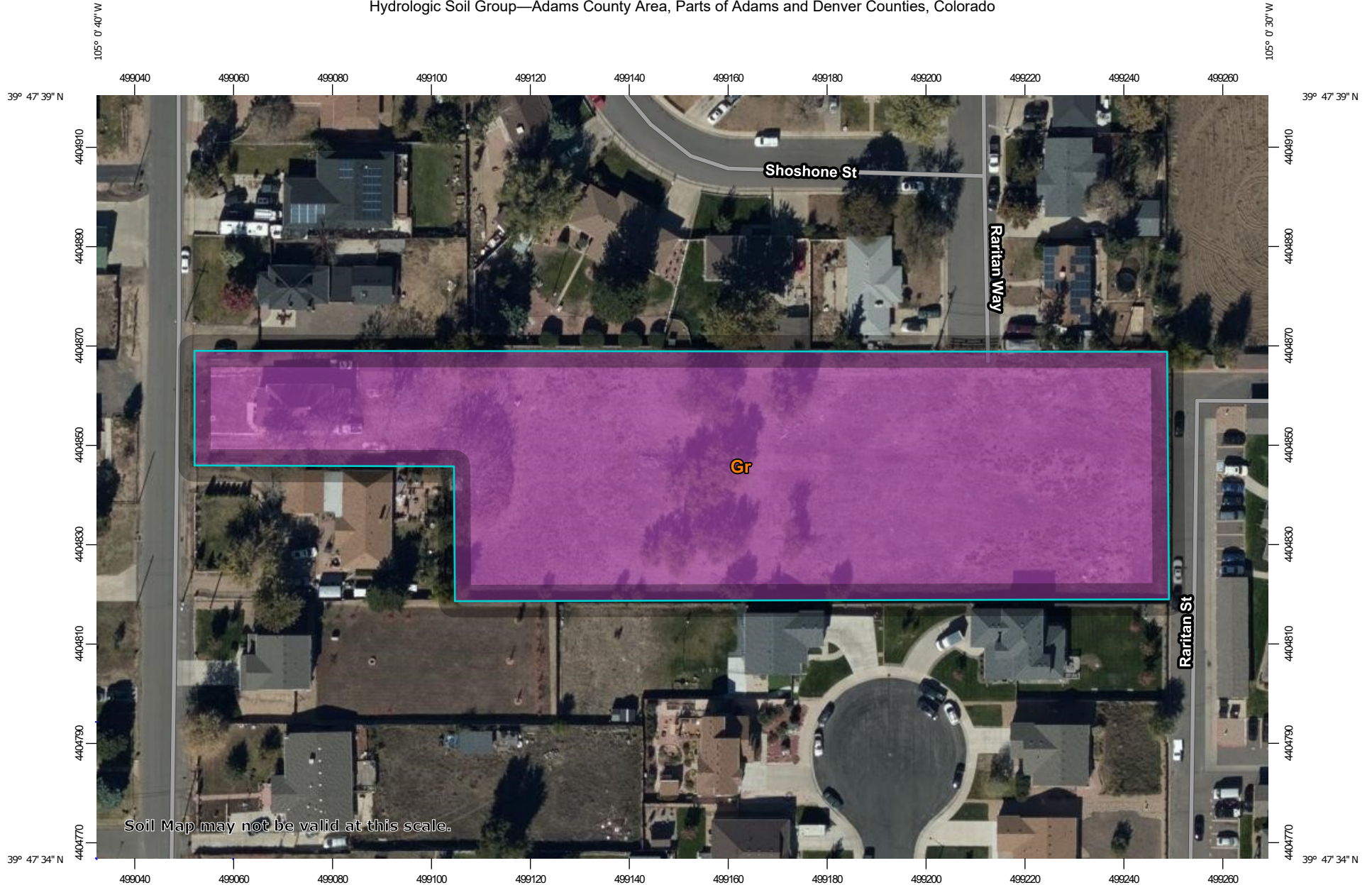
The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 1/20/2022 at 10:26 AM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

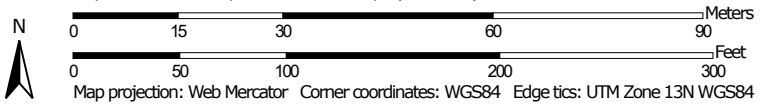


105°0'16"W 39°47'22"N

Hydrologic Soil Group—Adams County Area, Parts of Adams and Denver Counties, Colorado




Map Scale: 1:1,080 if printed on A landscape (11" x 8.5") sheet.



MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

Soil Rating Polygons





 A
 A/D
 B
 B/D
 C
 C/D
 D
 Not rated or not available

Soil Rating Lines

 A
 A/D
 B
 B/D
 C
 C/D
 D
 Not rated or not available

Soil Rating Points

 A
 A/D
 B
 B/D

 C
 C/D
 D
 Not rated or not available


Water Features

 Streams and Canals

Transportation

 Rails
 Interstate Highways
 US Routes
 Major Roads
 Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:20,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Adams County Area, Parts of Adams and Denver Counties, Colorado
 Survey Area Data: Version 18, Aug 31, 2021

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Oct 20, 2018—Oct 26, 2018

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
Gr	Gravelly land-Shale outcrop complex	A	2.1	100.0%
Totals for Area of Interest			2.1	100.0%

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

Rating Options

Aggregation Method: Dominant Condition

Component Percent Cutoff: None Specified

Tie-break Rule: Higher

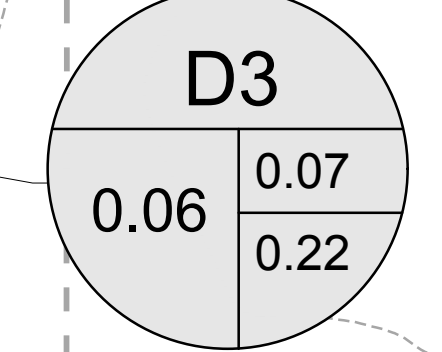
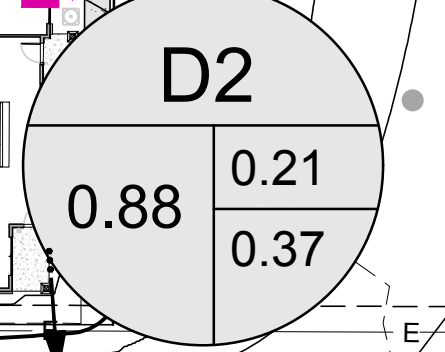
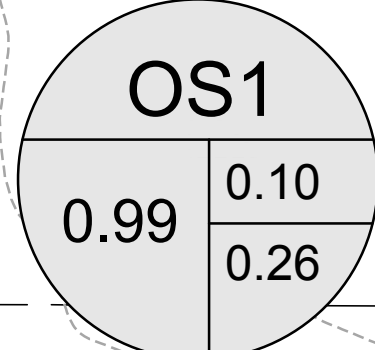
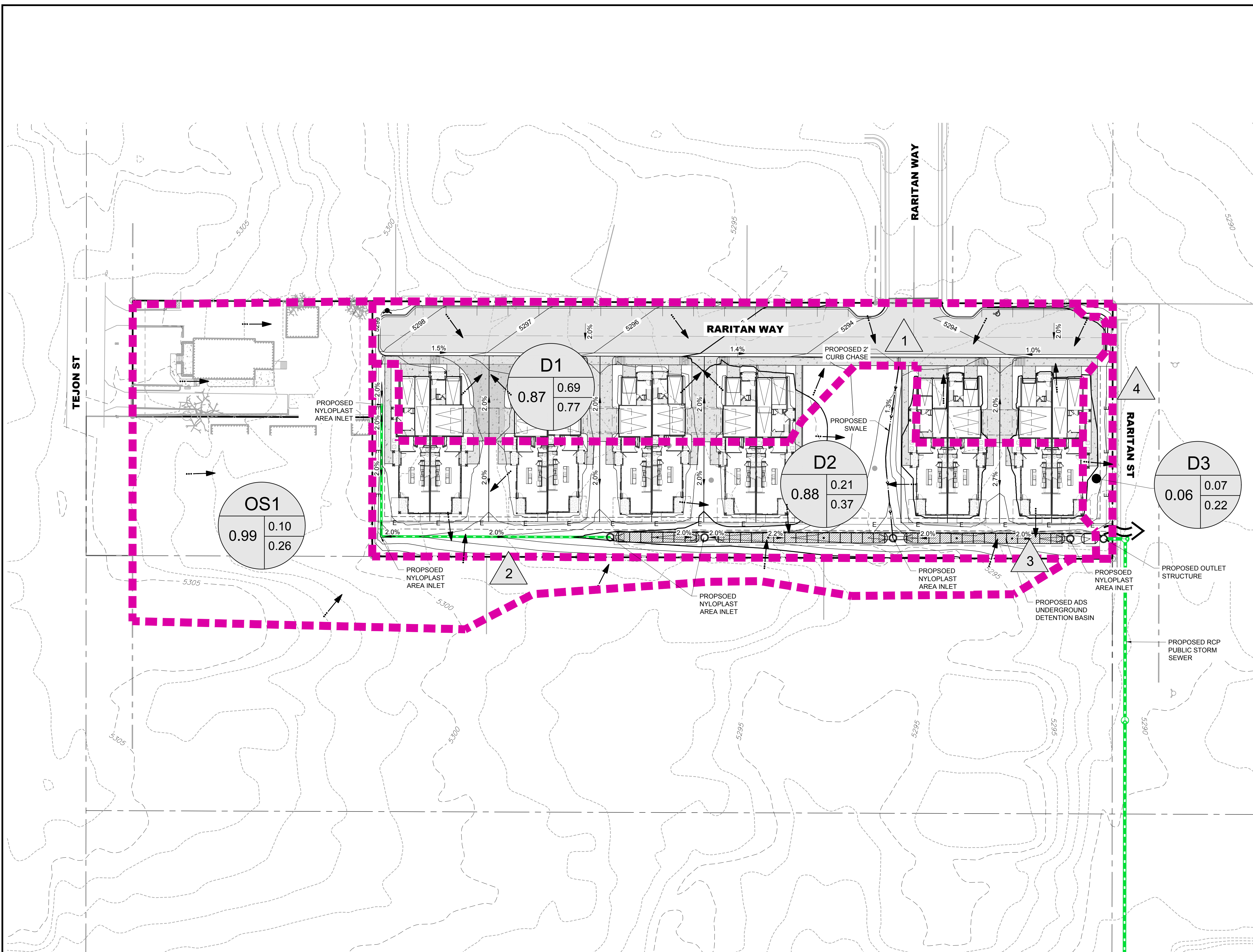
NOTES:

1. ALL STORM SEWER ON SITE IS PRIVATE UNLESS OTHERWISE NOTED AS PUBLIC.
2. THIS STORM SEWER SYSTEM IS DESIGNED FOR THE 5-YEAR AND 100-YEAR FREQUENCY DESIGN STORMS.

BASIN SUMMARY TABLE				
Basin Designation	Area (ac)	Q ₂ (cfs)	Q ₅ (cfs)	Q ₁₀₀ (cfs)
D1	0.87	1.9	2.7	5.1
D2	0.88	0.5	0.7	1.3
D3	0.06	0.0	0.0	0.0
OS1	0.99	0.3	0.4	0.7

LEGEND

- BASIN DESIGNATION: D1 (circle with 1.00, 0.59, 0.78, C5, C100)
- BASIN AREA (ACRES): 1.00
- DESIGN POINT: X
- BASIN BOUNDARY: Dashed pink line
- EMERGENCY OVERTFLOW: Wavy line
- PROPOSED STORM SEWER: Green dashed line
- EXISTING STORM SEWER: Grey dashed line
- PROPOSED MAJOR CONTOUR: Solid line with 100
- PROPOSED MINOR CONTOUR: Dashed line with 100
- EXISTING MAJOR CONTOUR: Solid line with 100
- EXISTING MINOR CONTOUR: Dashed line with 100
- DRAINAGE FLOW DIRECTION: Arrow



APPENDIX B - HYDROLOGIC COMPUTATIONS



Project: Urban Cottages Tejon

Location: Adams County, CO

Designer: RAK/KJS

Date: 1/26/2022

Latest Revision: 4/11/2023

¹From Table 6-3 in UDFCD Volume 1

²From Table 6-4 in UDFCD Volume 1

IMPERVIOUSNESS AND RUNOFF COEFFICIENT CALCULATIONS

Basin Designation	NRCS Hydrologic Soil Group	Total Area (ac)	Total Area (sf)	Impervious % ¹				Percent Impervious	Runoff Coefficients, C ²			
				Roofs	Lawn	Pavement	Pavement		C ₂	C ₅	C ₁₀	C ₁₀₀
				90%	2%	100%	90%					
D1	A	0.87	37,943	10,776	4,130	14,915	8,122	84.35%	0.67	0.69	0.71	0.77
D2	A	0.88	38,526	11,994	25,072	0	1,460	32.73%	0.20	0.21	0.22	0.37
D3	A	0.06	2,538	82	2,180	0	276	14.41%	0.07	0.07	0.08	0.22
Onsite Total		1.81	79,007	22,852	31,382	14,915	9,858	56.93%	0.42	0.44	0.45	0.55
OS1	A	0.99	43,239	7,773	34,786	57	623	19.22%	0.10	0.10	0.11	0.26
Overall Total		2.81	122,246	30,625	66,168	14,972	10,481	43.59%	0.31	0.32	0.33	0.45

Project: Urban Cottages Tejon
 Location: Adams County, CO
 Designer: RAK/KJS
 Date: 1/26/2022
 Latest Revision: 4/11/2023

NRCS Conveyance Factors, K ²	
Type of Land Surface	K
Heavy Meadow	2.5
Tillage/Field	5
Short Pasture/Lawns	7
Nearly Bare Ground	10
Grassed Waterway	15
Paved Areas	20

¹Max 300 ft in Urban areas and 500 ft in rural areas

²From Table 6-2 in UDFCD Volume 1

Minimum T_c

5

TIME OF CONCENTRATION CALCULATIONS

Basin Designation	Imperviousness (%)	C _s	Initial/Overland Flow Time, T _i			Channelized Flow/Travel Time, T _t				Time of Concentration, T _c (Check)			
			Length (ft) ¹	Slope (%)	T _i (min)	Land Surface	Length (ft)	Slope (%)	Velocity (ft/sec)	T _t (min)	Computed T _c (min)	First Design Point T _c (min)	Selected T _c (min)
D1	84.35%	0.69	50	2.5	3.8	Paved Areas	305	1.5	2.45	2.1	5.9	13.7	5.90
D2	32.73%	0.21	30	2.0	7.0	Paved Areas	235	1.0	2.03	1.9	8.9	23.3	8.90
D3	14.41%	0.07	20	10.0	3.9	Paved Areas	1	10.0	6.3	0.0	3.9	N/A	5.00
OS1	19.22%	0.10	89	7.6	8.7	Paved Areas	64	0.2	0.79	1.4	10.1	N/A	10.10

2.4.1 Initial or Overland Flow Time

The initial or overland flow time, t_i , may be calculated using Equation 6-3:

$$t_i = \frac{0.395(1.1 - C_s)\sqrt{L_i}}{S_o^{0.33}} \quad \text{Equation 6-3}$$

Where:

- t_i = overland (initial) flow time (minutes)
- C_s = runoff coefficient for 5-year frequency (from Table 6-4)
- L_i = length of overland flow (ft)
- S_o = average slope along the overland flow path (ft/ft).

2.4.2 Channelized Flow Time

The channelized flow time (travel time) is calculated using the hydraulic properties of the conveyance element. The channelized flow time, t_t , is estimated by dividing the length of conveyance by the velocity. The following equation, Equation 6-4 (Guo 2013), can be used to determine the flow velocity in conjunction with Table 6-2 for the conveyance factor.

$$t_t = \frac{L_t}{60K\sqrt{S_o}} = \frac{L_t}{60V_t} \quad \text{Equation 6-4}$$

Where:

- t_t = channelized flow time (travel time, min)
- L_t = waterway length (ft)
- S_o = waterway slope (ft/ft)
- V_t = travel time velocity (ft/sec) = $K\sqrt{S_o}$
- K = NRCS conveyance factor (see Table 6-2).

$$t_c = t_i + t_t \quad \text{Equation 6-5}$$

Where:

- t_c = computed time of concentration (minutes)
- t_i = overland (initial) flow time (minutes)
- t_t = channelized flow time (minutes).

2.4.3 First Design Point Time of Concentration in Urban Catchments

Equation 6-4 was solely determined by the waterway characteristics and using a set of empirical formulas. A calibration study between the Rational Method and the Colorado Urban Hydrograph Procedure (CUHP) suggests that the time of concentration shall be the lesser of the values calculated by Equation 6-2 and Equation 6-5 (Guo and Urbanas 2013).

$$t_c = (26 - 17i) + \frac{L_t}{60(14i + 9)\sqrt{S_o}} \quad \text{Equation 6-5}$$

Where:

- t_c = minimum time of concentration for first design point when less than t_c from Equation 6-1.
- L_t = length of channelized flow path (ft)
- i = imperviousness (expressed as a decimal)
- S_o = slope of the channelized flow path (ft/ft).

2.4.4 Minimum Time of Concentration

Use a minimum t_c value of 5 minutes for urbanized areas and a minimum t_c value of 10 minutes for areas that are not considered urban. Use minimum values even when calculations result in a lesser time of concentration.



Project: Urban Cottages Tejon
Location: Adams County, CO
Designer: RAK/KJS
Date: 1/26/2022
Latest Revision: 4/11/2023

Design Storm: 5-Yr
1-hr Design Point Rainfall (in): 1.42

5-YEAR PEAK RUNOFF CALCULATIONS

Basin Designation	Design Point	Area (ac)	C ₅	C X A	T _c (min)	Intensity (in/hr)	Peak Flow, Q (cfs)
D1	1	0.87	0.67	0.59	5.90	4.60	2.7
D2	2	0.88	0.20	0.17	8.90	4.02	0.7
D3	3	0.06	0.07	0.00	5.00	4.82	0.0
OS1	4	0.99	0.10	0.10	10.10	3.83	0.4



Project: Urban Cottages Tejon
 Location: Adams County, CO
 Designer: RAK/KJS
 Date: 1/26/2022
 Latest Revision: 4/11/2023

Design Storm: 100-Yr
 1-hr Design Point Rainfall (in): 2.71

100-YEAR PEAK RUNOFF CALCULATIONS

Basin Designation	Design Point	Area (ac)	C_{100}	$C \times A$	T_c (min)	Intensity (in/hr)	Peak Flow, Q (cfs)
D1	1	0.87	0.67	0.59	5.90	8.78	5.1
D2	2	0.88	0.20	0.17	8.90	7.67	1.3
D3	3	0.06	0.07	0.00	5.00	9.19	0.0
OS1	4	0.99	0.10	0.10	10.10	7.30	0.7

APPENDIX C - HYDRAULIC CALCULATIONS

DETENTION VOLUME CALCULATIONS

$$V=KA$$

Equation 9.5

For the 100-year:

$$K_{100} = \frac{(1.78I - 0.002I^2 - 3.56)}{910}$$

Equation 9.6

For the 5-year:

$$K_5 = \frac{(0.77I - 2.26)}{1000}$$

Equation 9.7

I = 56.93 %

A = 1.81 AC

K₅ = 0.042

K₁₀₀ = 0.100

V ₅ =	0.075 AC-FT
------------------	-------------

V ₁₀₀ =	0.182 AC-FT
--------------------	-------------

ALLOWABLE RELEASE RATES

Table 9.16—Allowable Release Rates (CFS/Acre)

Control Frequency	Dominant Soil Group		
	A	B	C & D
5-year	0.07	0.13	0.17
100-year	0.50	0.85	1.00

SCS Hydrologic Soil Group: A

Tributary Area = 2.04 AC

Calculated 5-Year Allowable Release Rate =	0.14 CFS
--	----------

Calculated 100-Year Allowable Release Rate =	1.02 CFS
--	----------

APPENDIX D - REFERENCED MATERIALS

Table 6-3. Recommended percentage imperviousness values

Land Use or Surface Characteristics	Percentage Imperviousness (%)
Business:	
Downtown Areas	95
Suburban Areas	75
Residential lots (lot area only):	
Single-family	
2.5 acres or larger	12
0.75 – 2.5 acres	20
0.25 – 0.75 acres	30
0.25 acres or less	45
Apartments	75
Industrial:	
Light areas	80
Heavy areas	90
Parks, cemeteries	10
Playgrounds	25
Schools	55
Railroad yard areas	50
Undeveloped Areas:	
Historic flow analysis	2
Greenbelts, agricultural	2
Off-site flow analysis (when land use not defined)	45
Streets:	
Paved	100
Gravel (packed)	40
Drive and walks	90
Roofs	90
Lawns, sandy soil	2
Lawns, clayey soil	2

Table 6-5. Runoff coefficients, *c*

Total or Effective % Impervious	NRCS Hydrologic Soil Group A						
	2-Year	5-Year	10-Year	25-Year	50-Year	100-Year	500-Year
2%	0.01	0.01	0.01	0.01	0.04	0.13	0.27
5%	0.02	0.02	0.02	0.03	0.07	0.15	0.29
10%	0.04	0.05	0.05	0.07	0.11	0.19	0.32
15%	0.07	0.08	0.08	0.1	0.15	0.23	0.35
20%	0.1	0.11	0.12	0.14	0.2	0.27	0.38
25%	0.14	0.15	0.16	0.19	0.24	0.3	0.42
30%	0.18	0.19	0.2	0.23	0.28	0.34	0.45
35%	0.21	0.23	0.24	0.27	0.32	0.38	0.48
40%	0.25	0.27	0.28	0.32	0.37	0.42	0.51
45%	0.3	0.31	0.33	0.36	0.41	0.46	0.54
50%	0.34	0.36	0.37	0.41	0.45	0.5	0.58
55%	0.39	0.4	0.42	0.45	0.49	0.54	0.61
60%	0.43	0.45	0.47	0.5	0.54	0.58	0.64
65%	0.48	0.5	0.51	0.54	0.58	0.62	0.67
70%	0.53	0.55	0.56	0.59	0.62	0.65	0.71
75%	0.58	0.6	0.61	0.64	0.66	0.69	0.74
80%	0.63	0.65	0.66	0.69	0.71	0.73	0.77
85%	0.68	0.7	0.71	0.74	0.75	0.77	0.8
90%	0.73	0.75	0.77	0.79	0.79	0.81	0.84
95%	0.79	0.81	0.82	0.83	0.84	0.85	0.87
100%	0.84	0.86	0.87	0.88	0.88	0.89	0.9
Total or Effective % Impervious	NRCS Hydrologic Soil Group B						
	2-Year	5-Year	10-Year	25-Year	50-Year	100-Year	500-Year
2%	0.01	0.01	0.07	0.26	0.34	0.44	0.54
5%	0.03	0.03	0.1	0.28	0.36	0.45	0.55
10%	0.06	0.07	0.14	0.31	0.38	0.47	0.57
15%	0.09	0.11	0.18	0.34	0.41	0.5	0.59
20%	0.13	0.15	0.22	0.38	0.44	0.52	0.61
25%	0.17	0.19	0.26	0.41	0.47	0.54	0.63
30%	0.2	0.23	0.3	0.44	0.49	0.57	0.65
35%	0.24	0.27	0.34	0.47	0.52	0.59	0.66
40%	0.29	0.32	0.38	0.5	0.55	0.61	0.68
45%	0.33	0.36	0.42	0.53	0.58	0.64	0.7
50%	0.37	0.4	0.46	0.56	0.61	0.66	0.72
55%	0.42	0.45	0.5	0.6	0.63	0.68	0.74
60%	0.46	0.49	0.54	0.63	0.66	0.71	0.76
65%	0.5	0.54	0.58	0.66	0.69	0.73	0.77
70%	0.55	0.58	0.62	0.69	0.72	0.75	0.79
75%	0.6	0.63	0.66	0.72	0.75	0.78	0.81
80%	0.64	0.67	0.7	0.75	0.77	0.8	0.83
85%	0.69	0.72	0.74	0.78	0.8	0.82	0.85
90%	0.74	0.76	0.78	0.81	0.83	0.84	0.87
95%	0.79	0.81	0.82	0.85	0.86	0.87	0.88
100%	0.84	0.86	0.86	0.88	0.89	0.89	0.9

9-01-04-03 RAINFALL

Presented in this Section are guidelines for the development of rainfall data to be used in preparing a hydrological analysis (storm runoff) for a proposed development within the County.

The rainfall intensity information published by the National Oceanic and Atmospheric Administration (NOAA) in the “Precipitation-Frequency Atlas of the Western United States” was used to develop incremental rainfall distributions presented in Table 9.5. The incremental rainfall distributions presented in this table are based on procedures developed by the MHFD. However, refinements have been made to closely match conditions within the County.

9-01-04-04 TIME-INTENSITY-FREQUENCY CURVES

A time-intensity-frequency curve was developed for the County by using one-hour point rainfall values (see Table 9.3) and factors for durations of less than one hour (see Table 9.4); both obtained from the NOAA Atlas. The outcomes of this distribution are point values that were then converted to intensities and plotted as Figure 9.1. Rainfall data from the Mile High Flood District (MHFD) may be used as an alternative (see MHFD Criteria Manual).

Table 9.3—One-Hour Point Rainfall (inches)

2-Year	5-Year	10-Year	50-Year	100-Year
1.00	1.42	1.68	2.35	2.71

Table 9.4—Factors for Durations of Less than One Hour

Duration (minutes)	5	10	15	30
Ratio to 1-hour depth	0.29	0.45	0.57	0.79



Development Team Review Comments

The following comments have been provided by reviewers of your land use application. At this time, a resubmittal of your application is required before this case is ready to be scheduled for public hearing.

To prepare your resubmittal, you will be expected to provide:

- A response to each comment with a description of the revisions and the page of the response on the site plan;
- Any revised plans or renderings; and
- A list identifying any additional changes made to the original submission other than those required by staff.

Resubmittal documents must be provided electronically through e-mail or a flash drive delivered to the One-Stop Customer Service Center. The following items will be expected by our One-Stop Customer Service Center:

- One digital copy of all new materials
 - All digital materials shall be in a single PDF document
 - The single PDF document shall be bookmarked
 - If a Subdivision Improvements Agreement, Legal Description, or Development Agreement is required, then an additional Microsoft Word version of these documents shall also be provided
 - Electronic copies can be emailed to epermitcenter@adcogov.org as a PDF attachment. If the files are too large to attach, the email should include an unlocked Microsoft OneDrive link. Alternatively, the resubmittal can be delivered to the One-Stop counter on a flash drive.



Re-submittal Form

Case Name/ Number: _____

Case Manager: _____

Re-submitted Items:

- Development Plan/ Site Plan
- Plat
- Parking/ Landscape Plan
- Engineering Documents
- Subdivision Improvements Agreement (Microsoft Word version)
- Other: _____

*** All re-submittals must have this cover sheet and a cover letter addressing review comments.**

Please note the re-submittal review period is 21 days.

The cover letter must include the following information:

- Restate each comment that requires a response
- Provide a response below the comment with a description of the revisions
- Identify any additional changes made to the original document

For County Use Only:

Date Accepted:

Staff (accepting intake):

Resubmittal Active: Addressing, **Building Safety**, Neighborhood Services,

Engineering, Environmental, Parks, **Planner, ROW**, SIA - Finance, SIA - Attorney



Development Review Team Comments- 2nd Review

Date: 11/04/2022

Project Number: PRC2022-00008

Project Name: Raritan Estates Redevelopment

Note to Applicant:

The following review comments and information from the Development Review Team is based on the information you submitted for a preliminary development plan, preliminary plat, waivers, and vacation. The Development Review Team review comments may change if you provide different information during the next submittal/ building permit. Please contact the case manager if you have any questions.

Also, please note where "Section" is referenced, it is referring to the appropriate section of the Adams County Development Standards and Regulations.

Commenting Division: Planning and Development

Name of Reviewer: Layla Bajelan, Senior Long Range Planner

Email: LBajelan@adcogov.org / 720-523-6863

SEE PROVIDED COMMENT
RESPONSE LETTER

Preliminary Plat

PLN01: All lots appear to meet the minimum lot size and lot width proposed in the PDP

PLN02: Please switch the PC and BoCC approval blocks so the PC is on top, or before the BoCC.

Preliminary Development Plan

PLN01: Please switch the PC and BoCC approval blocks so the PC is on top, or before the BoCC.

PLN02: Remove the Clerk and Recorder signature block, as this is not recorded.

PLN04: Include an Attorney's verification signature line, similar to the plat.

PLN05: The PDP has a lot of information selling the project. This should be removed and included in written justification, that can be provided to the Commissioners during hearing. This is the technical document that property owners and County staff use to review the development and should only contain such information.

**SEE PROVIDED COMMENT
RESPONSE LETTER**

PLN06: Section A, paragraph 2, please remove the sentence "A CONCURRENT REZONE APPLICATION IS BEING SUBMITTED ALONG WITH THIS PUD-PDP TO PERMIT THE DEVELOPMENT OF THE PROPOSED RESIDENTIAL PRODUCT TYPE." as this does not need to be in this document.

PLN07: Page 2, Section E- This shall be completed and have no blanks. Please remove the County maintenance responsibilities from this.

PLN08: Page 2, Section K- This states no signage at this time, but page 3, note 3 says signage is conceptual. The PDP should set parameters on signs (materials, max height/width, etc.) if any signs will be proposed. This should be done at the time of PDP, but can be modified in the FDP.

PLN09: Page 2, Section O- Staff has concerns over the side yard use easement. Historically this has been confusing for property owners and makes permitting difficult.

PLN10: Page 2, Section Q- Please include a minimum percentage of visitor parking in the text.

PLN11: Page 2, Section S- Landscaping can be conceptual at the PDP stage, but staff does have concerns pertaining to screening for adjacent neighbors. Also, you are not requesting a wavier from the front setback tree plantings, so please remove this language. I am not sure what this is in reference to?

3-34-03-01-04 SCREENING REQUIRED: Improvements on the site shall be sight-screened with adequate landscaping so as to provide a compatible visual effect as seen from the adjoining properties.

PLN12: Page 2, Section T- This should be removed from the PDP and added to the written narrative.

PLN13: Page 3- The total acreage in the land use summary does not match what is on page 2, Section A. 2.04 acres vs. 2.08 acres

PLN14: Page 3- Please include a table with the parking dimensions. We typically see the parking plans with triangles showing all the parking spaces within the development. The site plan is fine, however a small demonstration of parking in the garage and the street should be shown. For example, how are cars being parked in the garage? Is this tandem or side by side? It is very hard to see the spaces on this site plan and they should be clearly shown.

PLN15: Please remove street cross sections (page 4) from the PDP.

PLN16: Page 5- This is fine if this is the only type of fencing allowed. Please keep in mind that if anyone proposed anything slightly different a PUD amendment would be required.

PLN17: Page 6- The percentages for open space and active open space are flipped.

3-34-03-05-06 PERCENTAGE OF OPEN SPACE REQUIRED A minimum of 30% Open Space shall be required in all P.U.D.s or as determined by the Board of County Commissioners.

**SEE PROVIDED COMMENT
RESPONSE LETTER**

3-34-03-05-03 USE OF OPEN SPACE At least twenty-five percent (25%) of the minimum required open space shall be designated for active recreation purposes, and no more than fifty percent (50%) shall be so utilized, in order to preserve a reasonable proportion of natural areas on the site. The purposes for which open space areas are proposed shall be documented.

Page 2 and 3 of the zoning map amendment document should be included in the PDP. It does a much better job of demonstrating the open space. Once again, staff has concerns pertaining to the active open space. While the development may be meeting the percentages, staff feels that the intent of the active open space requirements are not being met. Include parameters on structures.

PLN18: The elevations should also set parameters on materials, etc.

Commenting Division: Development Services, Right-of-Way Agent

Name of Reviewer: David Dittmer

Email: DDittmer@adcogov.org / 720-523-6811

ROW1: Revise Dedication and Ownership Certificate as provided by the application guidelines. This will be for the opening and closing statements as provided.

ROW2: Raritan Way is not to be continued through the subdivision. It should be labeled as W. 53rd Dr. Revise throughout sheets.

ROW3: "OWNER/UC TEJON, LLC" needs to be formatted ahead of the signature block.

ROW4: Signature block should read as:

OWNER:

UC TEJON, LLC

CHASE STILLMAN

remove additional information. According to the recoded statement of authority found at Reception No: 2021000107861 this is the only signatory. There are two blocks. Is there another signatory?

ROW5: Notary Affirmation should read:

...ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____ 2022, BY CHASE STILLMAN AS
MANAGER OF UC TEJON, LLC, a/k/a URBAN COTTEGES TEJON, LLC....

ROW6: The Title Commitment will need to be updated to within 30 days of Final Plat application submission date or it cannot be approved.

ROW7: Note 6 appears to contradict the statement and citation as provided in the Title Commitment. Please review and revise as necessary.

ROW8: the order of appearance on the plat for acceptance and signature blocks is as follows:

Owner

SEE PROVIDED COMMENT
RESPONSE LETTER

Surveyor
Planning Commission (revise as provided)
Board of County Commissioners

ROW9: Need to incorporate the TRACTS that are designated as private roads with public access into Note 6

ROW10: Label Note 7: STORM DRAINAGE FACILITIES STATEMENT

ROW11: Review the sanitation districts partial release and revise statements as necessary. It appears the entire easement was vacated, only a portion of the original easement is shown, and the ALTA provided has it shown in its entirety.

ROW12: Need to cite the dedication of ROW to the county along Tejon by the original platting.

ROW13: The addressing will be provided for Final Plat of the private access tracts B, C, and D once street names have been researched. Lots 1 and 2 will be addressed off W. 53rd Dr.

Commenting Division: Planning and Development, Engineering
Name of Reviewer: Steve Krawczyk, Senior Civil Engineer
Email: MEmmens@adcogov.org / 720-523-6854

ENG1: A Preliminary Drainage Report is required during the rezoning process to show how if the property to be zoned will impact any downstream areas.

ENG2: A traffic analysis will need to be submitted to determine the transportation impacts of the proposed development based on the highest and best use. The analysis should address any off-site improvements that may be necessary to mitigate traffic impacts from the proposed development. The traffic study only included calculations for any impact for the intersections one mile or less for the highest possible intensity uses from this site with the plat submittal.

ENG3: The applicant needs to be aware that prior to building permit and/or lot sale a Plat is required in conformance with the Adams County Development Manual. Access location requirements will be determined at time of final platting. Additional improvements such as turn lanes, signage and striping will be required with the submittal of the EGR and Plat. Any design and construction standards shall be in accordance with the Adams County Development Manual and be determined during the platting process.

EGR4: Access for the subdivision must take access point private drive off Raritan Way or other street internal to the subdivision. This access location is acceptable. Additional improvements such as a left turn will be addressed at time of platting.

EGR5: The graphic drawings contained a note that the PDP submitted for this site is intended to depict general locations of improvements. During the platting process the County establish the following

- A. Final road alignments
- B. Final configuration of lot and tract sizes and shapes

SEE PROVIDED COMMENT
RESPONSE LETTER

- C. Final building envelopes
- D. Final access and parking locations
- E. Landscaping adjustments

RARITAN ESTATES REDEVELOPMENT

CASE NO. PUD2022-00008

A REPLAT OF LOTS 1-6 AND TRACT A, RARITAN ESTATES SUBDIVISION
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 68
 WEST, 6TH PRINCIPAL MERIDIAN
 COUNTY OF ADAMS, STATE OF COLORADO

PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN

Prepared For
URBAN COTTAGES
 Contact: Chase Stillman
 chase.stillman@oreadcapital.com

Land Planning


www.pcsgroupco.com
 p.o. box 18287
 denver, co 80218
 t 303.531.4905 . f 303.531.4908

Civil Engineering



999 18th Street, Suite 2110
 Denver, CO

RARITAN ESTATES REDEVELOPMENT
 PLANNED UNIT DEVELOPMENT /
 PRELIMINARY DEVELOPMENT PLAN
 ADAMS COUNTY, COLORADO

VICINITY MAP



CERTIFICATE OF OWNERSHIP

PASCUAL CARRILLO & ANA CARRILLO, BEING THE OWNERS OF 5350 TEJON STREET, LOCATED IN THE COUNTY OF ADAMS, STATE OF COLORADO, HEREBY SUBMITS THIS PLANNED UNIT DEVELOPMENT - PRELIMINARY DEVELOPMENT PLAN AND AGREES TO PERFORM UNDER THE TERMS NOTED HERON.

OWNER: This signature/approval block must be formatted the same as provided on the Subdivision plat UPDATED TO MATCH PLAT

OWNER: _____
 STATE: _____
 COUNTY: _____
 CITY: _____
 THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY OF _____, 20__.

NOTARY PUBLIC: _____

MY COMMISSION EXPIRES: _____

BOARD OF COUNTY COMMISSIONS APPROVAL

PLANNING COMMISSION APPROVAL
 RECOMMENDED FOR APPROVAL BY THE ADAMS COUNTY PLANNING COMMISSION THIS ____ DAY OF _____ A.D. 202_

CHAIR
BOARD OF COUNTY COMMISSIONERS' APPROVAL
 APPROVED BY THE ADAMS COUNTY BOARD OF COUNTY COMMISSIONERS THIS ____ DAY OF _____ A.D. 202_

CHAIR
ADAMS COUNTY ATTORNEY'S OFFICE

APPROVED AS TO FORM
 Order of appearance for signature/approval blocks:
 Owner
 Surveyor
 Planning Commission
 Board of County Commissioners
 County Attorney

UPDATED TO MATCH

SHEET INDEX	
Sheet Number	Sheet Title
1	COVER SHEET
2	NARRATIVE & STANDARDS
3	SITE PLAN
4	LOT TYPICAL & STREET SECTIONS
5	PRELIMINARY LANDSCAPE, CIRCULATION & FENCING
6	OPEN SPACE DIAGRAM
7	ARCHITECTURAL ELEVATIONS
8	ARCHITECTURAL ELEVATIONS
9	ARCHITECTURAL ELEVATIONS
10	ARCHITECTURAL ELEVATIONS
11	ARCHITECTURAL ELEVATIONS
12	ARCHITECTURAL ELEVATIONS
13	ARCHITECTURAL ELEVATIONS
14	ARCHITECTURAL ELEVATIONS
15	ARCHITECTURAL ELEVATIONS
16	ARCHITECTURAL ELEVATIONS
17	ARCHITECTURAL ELEVATIONS
18	ARCHITECTURAL ELEVATIONS

LEGAL DESCRIPTION

The legal description must match that of the title commitment

UPDATED TO MATCH TITLE

DEVELOPER
URBAN COTTAGES, LLC
 10657 E IDA AVENUE
 ENGLEWOOD, CO 80111
 PHONE: 717.875.3961
 CHASE STILLMAN

PLANNER/LANDSCAPE ARCHITECT
PCS GROUP, INC.
 PO BOX 18287
 DENVER, CO 80126
 PHONE: 303.531.4985
 ALAN CUNNINGHAM

CIVIL ENGINEER
CAGE CIVIL ENGINEERING
 999 18TH ST, SUITE 2110
 DENVER, CO 80202
 PHONE: 720.206.6625
 ERIC PEARSON

SURVEYOR
EMK CONSULTANTS, INC.
 7006 SOUTH ALTON WAY, BLDG. F
 CENTENNIAL, CO 80112
 PHONE: 303.694.1520
 STEPHEN HARDING

ARCHITECT
GODDEN SUDIK
 5975 S. QUEBEC ST.
 CENTENNIAL, CO 80111
 303.455.4437
 ALEX JEWETT

Issue Date:
 09/21/22

Issue For:
 2nd PUD/PDP Submittal

NOT FOR CONSTRUCTION

REVISIONS:	DATE:
1	XX/XX/XX
2	
3	
4	

Sheet Name
COVER SHEET

Sheet Number



RARITAN ESTATES REDEVELOPMENT
PLANNED UNIT DEVELOPMENT /
PRELIMINARY DEVELOPMENT PLAN

ADAMS COUNTY, COLORADO

Issue Date:
09/21/22
Issue For:
2nd PUD/PDP Submittal
NOT FOR CONSTRUCTION

REVISIONS:	DATE:
1	XX/XX/XX
2	
3	
4	

Sheet Name
NARRATIVE & STANDARDS

Sheet Number

A. EXPLANATION OF THE CHARACTERISTICS OF THE PUD

THE PUD-PDP PROPOSES THE DEVELOPMENT OF 16 SINGLE FAMILY DETACHED RESIDENTIAL HOMES LOCATED ON SEVERAL PARCELS TOTALING APPROXIMATELY 2.04 ACRES. THE SITE CONSISTS OF PREDOMINANTLY VACANT, UNDEVELOPED LAND. PROPOSED RESIDENTIAL LOTS WILL BE MIN. 2,400 SF. THE PROJECT WILL INCLUDE PASSIVE AND ACTIVE LANDSCAPED AREAS AND PRIVATE DRIVES. PRIMARY SITE ACCESS WILL BE PROVIDED WITH PROPOSED PRIVATE DRIVE CONNECTIONS TO TEJON ST. AND RARITAN WAY. HOMES WILL BE REAR-LOADED WITH GARAGE ACCESS TO ALLEYS. HOMES WILL FRONT TO LANDSCAPED OPEN AREAS. INTERNAL WALKS WILL PROVIDED PEDESTRIAN MOVEMENT TO FRONT DOORS, ACTIVE OPEN SPACE AND ADJACENT PUBLIC STREETS.

THE ABUTTING NEIGHBORHOODS TO THE NORTH, WEST AND SOUTH ARE ZONED R-1-C. THE NEIGHBORHOOD TO THE EAST IS ZONED R-3. A CONCURRENT REZONE APPLICATION IS BEING SUBMITTED ALONG WITH THIS PUD-PDP TO PERMIT THE DEVELOPMENT OF THE PROPOSED RESIDENTIAL PRODUCT TYPE.

B. POTENTIAL IMPACT ON THE SURROUNDING AREA

THE PROPOSED DEVELOPMENT IS CONSISTENT WITH THE ADAMS COUNTY 2012 UPDATE TO THE COMPREHENSIVE PLAN. THE PROJECT WILL PROVIDE A UNIQUE HOUSING OPPORTUNITY THAT ADDRESSES THE CURRENT NEED FOR HIGHER DENSITY, MARKET ATTAINABLE SINGLE-FAMILY HOMES. PROPOSED HOME MASSING, HEIGHT LIMITS AND EXTERIOR ARCHITECTURE WILL BE COMPLIMENTARY TO EXISTING ADJACENT RESIDENCES. PEDESTRIAN CONNECTIONS WILL PROVIDE GREATER ACCESS TO THE REST OF THE COMMUNITY. EXISTING UTILITY AND INFRASTRUCTURE HAS CAPACITY TO ACCOMMODATE THE DEVELOPMENT.

C. CONTEMPLATED DENSITIES AND LAND COVERAGE

THIS PDP-PUD CONSISTS OF 16 DWELLING UNITS WHICH A PROVIDE A DENSITY OF 7.8 DU/AC. RESIDENTIAL LOTS WILL ACCOUNT FOR 20% OF THE SITE. OPEN AREAS SUCH AS ALLEYS, ACCESS DRIVES AND COMMON OPEN SPACE AREAS WILL MAKE UP 80% OF THE SITE.

D. CIRCULATION AND ROAD PATTERNS

A 24' PRIVATE DRIVE (RARITAN WAY) WILL PROVIDE INTERNAL ACCESS AND INTERSECT WITH TEJON STREET AND RARITAN WAY. THIS DRIVE WILL DEAD END AT THE EASTERN EDGE OF THE PROPERTY. ALLEYS **Must include maintenance of all TRACTS (Private drives/alleys, common area, detention location)** ACCESS TO UNITS.

E. OWNERSHIP

THE MAINTENANCE RESPONSIBILITY OF THE PAVEMENT, GRAFFITI, SNOW, ICE, SLEET, DEBRIS, COUNTY WILL BE RESPONSIBLE FOR MAINTAINING THE STRUCTURAL INTEGRITY OF THE SIDEWALKS WITHIN STREET RIGHTS-OF-WAY. **County will not maintain private drives/alleys within the subdivision. This must be revised or stricken.** **REVISÉ**

F. LOCATION AND TYPES OF LANDSCAPE MAINTENANCE PROVISIONS

THE PROJECT WILL INCLUDE PRIVATE DRIVES & ALLEYS, PRIVATE OPEN SPACE TRACTS WITH ACTIVE & PASSIVE USE AND ON-LOT RESIDENTIAL LANDSCAPE AREAS. INSTALLATION OF LANDSCAPE TRACTS AND THEIR AMMENITIES SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/HOME BUILDER. MAINTENANCE OF THE TRACTS AND AMMENITIES SHALL BE THE RESPONSIBILITY OF AN HOA. THIS **this one states HOA and the above a Master Community Association. Clarify** SNOW REMOVAL. FRONT YARD LANDSCAPING OF RESIDENTIAL DEVELOPER/HOME BUILDER. RESIDENTIAL FRONT YARD AREAS. RESIDENTIAL LOTS WILL ALSO INCLUDE PRIVATE, FENCED SIDE YARDS. SHARED USE AREAS WILL BE PROVIDED WITHIN THE MAJORITY LOTS ALLOWING ADDITIONAL OUTDOOR USABLE AREAS IN SIDE YARDS. LANDSCAPE INSTALLATION AND MAINTENANCE OF FRONT YARD LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE HOME/BUILDER DEVELOPER. RESIDENTIAL FRONT YARD TYPICALS ARE INCLUDED WITH THIS PDP/PUD. RESIDENTIAL SIDE YARDS AND LANDSCAPE ADJACENT TO ALLEYS SHALL BE INSTALLED AND MAINTAINED BY THE HOMEOWNER.

G. SERVICE PROVIDERS

- NORTH LINCOLN WATER AND SANITATION DISTRICT
- XCEL ENERGY GAS & ELECTRIC SERVICE
- COMCAST/XFINITY
- ADAMS COUNTY FIRE RESCUE

H. COVENANTS TO BE IMPOSED ON THE PUD

COVENANTS, CONDITIONS AND RESTRICTIONS (CC&R'S) SHALL BE IMPOSED ON THIS PUD AND WILL BE ENFORCED BY AN HOA ESTABLISHED WITH THIS DEVELOPMENT.

I. ARCHITECTURE

THESE HOMES CONSIST OF THREE TWO-STORY PLANS THAT RANGE IN SIZE FROM 1,500 TO 1,700 SQUARE FEET AND HAVE A VARIETY OF ELEVATION STYLES. THE ELEVATIONS BOAST FARMHOUSE AND CRAFTSMAN STYLE ELEMENTS WITH A MODERN TWIST. THE HOMES ARE DESIGNED AS AN ALLEY LOADED PRODUCT THAT FEATURE FULL FRONT PORCHES, OPEN FLOOR PLANS, AND FULL BASEMENTS. THE HOMES ALSO OFFER FLEXIBILITY IN THE PLANS WITH OPTIONS FOR ADDITIONAL BEDROOMS, STUDIES, OR LOFTED SPACES. WITH AN ALLEY LOADED GARAGE THE FRONT ELEVATIONS ARE MORE ATTRACTIVE AND OPEN UP TO A GREEN SPACE OR A STREET. WITH LARGER FRONT PORCHES AND SMALL SIDE YARDS, THE OUTDOOR LIVING IS MAXIMIZED ON THESE SMALLER LOTS. BUYERS CAN CHOOSE TO HAVE A FULLY COVERED OR PARTIALLY COVERED FRONT PORCH TO MAXIMIZE SOLAR ORIENTATION. ADDITIONALLY, THE FRONT PORCHES ARE DESIGNED WITH RAILINGS THAT ADD ARCHITECTURAL INTEREST AND PROVIDE A SENSE OF PRIVACY WHILE ALSO ALLOWING HOMEOWNERS AN OPPORTUNITY TO ENGAGE WITH NEARBY NEIGHBORS.

J. ADDITIONAL CONTROLS SUCH AS ARCHITECTURAL CONTROL COMMITTEE OF A HOMEOWNERS ASSOCIATION

NONE AT THIS TIME

K. SIGNAGE

NONE AT THIS TIME

L. ACCESSORY STRUCTURES

ACCESSORY STRUCTURES ARE NOT PERMITTED.

M. FENCING

FENCING SHALL BE PERMITTED BETWEEN LOTS AS DEPICTED IN THIS DOCUMENT. FENCING LOCATIONS AND TYPES HAVE BEEN PROVIDED WITH THIS PUD-PDP. FINAL LOCATIONS SHALL BE PROVIDED WITH FDP.

N. ESTIMATED TIMETABLE FOR CONSTRUCTION & PHASING

THE PROJECT SHALL BE COMPLETED IN A SINGLE PHASE WITH AN ESTIMATED TIME OF CONSTRUCTION COMMENCING IN 2023.

O. SIDE YARD USE EASEMENTS

SIDE YARD USE EASEMENTS ARE HEREBY GRANTED ALONG ALL COMMON SIDE LOT LINES WITHIN ALL ALLEY LOADED DETACHED HOME LOTS AS NOTED ON THE SITE PLAN. SIDE YARD USE EASEMENTS OCCUR FROM FRONT PROPERTY LINE TO REAR PROPERTY LINE AND EXTEND FROM THE GRANTOR'S BUILDING FOUNDATION TO THE LOT LINE BETWEEN THE GRANTOR'S AND GRANTEE'S PARCELS THAT SHALL BE GRANTED TO THE EASEMENT GRANTEE PER THE RESTRICTIONS OUTLINED BELOW. REFER TO FIGURE 1 FOR A GRAPHIC REPRESENTATION OF THE SIDE YARD USE EASEMENT. THE FOLLOWING RESTRICTIONS APPLY TO THE SIDE YARD USE EASEMENTS:

THE FOLLOWING RESTRICTIONS APPLY TO THE SIDE YARD USE EASEMENTS:

A. EASEMENT GRANTEE SHALL HAVE FULL ACCESS AND ENJOYMENT OF THE EASEMENT INCLUDING CONSTRUCTION OF IMPROVEMENTS, USE, AND MAINTENANCE OF THE SPACE INCLUDED IN THE EASEMENT. FENCES AND WALLS USED AS PRIVACY SCREENS MAY NOT ENCR OACH INTO THE FRONT AND REAR SETBACK. IMPROVEMENTS INCLUDING BUT NOT LIMITED TO DECKS, PATIOS, LANDSCAPING, WALLS, FENCES, RAILS, FURNITURE AND SIMILAR ELEMENTS ARE PERMITTED WITHIN THE DEFINED SIDE YARD USE EASEMENT. DECKS, PATIOS AND WALLS, OTHER THAN PRIVACY SCREENS, IN EXCESS OF 30-INCHES IN HEIGHT (AS MEASURED FROM FINISHED GRADE) ARE NOT PERMITTED IN SIDE YARD USE EASEMENTS. ONLY LANDSCAPING, HARDSCAPE, AND IRRIGATION IMPROVEMENTS ARE PERMITTED WITHIN FRONT AND REAR SETBACKS. NO IMPROVEMENTS MAY BE IMPLEMENTED AT THE DETRIMENT OF THE GRANTOR'S ABILITY TO MAINTAIN THEIR HOME.

B. SIDE YARD USE EASEMENTS ARE PERMITTED ON DETACHED SINGLE FAMILY LOTS AS DEPICTED ON THE FINAL PLAT.

C. ALL IMPROVEMENTS BY GRANTEE LOCATED WITHIN THE SIDE YARD USE EASEMENT SHALL BE MAINTAINED BY THE EASEMENT GRANTEE.

D. EASEMENT GRANTOR IS ENSURED OF ACCESS WITHIN THIS EASEMENT FOR MAINTENANCE AND REPAIR OF THE PRINCIPLE STRUCTURE LOCATED ON THE EASEMENT GRANTOR'S LOT AND FOR NO OTHER PURPOSE.

E. ALL PRINCIPAL STRUCTURES, INCLUDING GARAGES, OWNED BY EASEMENT GRANTOR SHALL BE MAINTAINED BY EASEMENT GRANTOR.

F. SIDE SETBACKS MAY BE REDUCED TO NO LESS THAN 3' AS MEASURED FROM THE FINISHED MATERIAL OF THE EXTERIOR WALL TO THE PROPERTY LINE. WHEN REDUCED TO LESS THAN 5' AS MEASURED FROM THE FINISHED MATERIAL OF THE EXTERIOR WALL TO THE PROPERTY LINE, THE THEN CURRENT IBC AND/OR IRC CODE REQUIREMENTS AND AMENDMENTS WITHIN THE GOVERNING MUNICIPALITY WILL BE ENFORCED WITH REGARD TO EXTERIOR WALL FIRE-RESISTANT RATING AND MINIMUM FIRE-SEPARATION DISTANCE REQUIREMENTS.

G. GRANTEE SHALL NOT ALTER FINISHED GRADE AND/OR DRAINAGE PATTERNS ON THE GRANTOR'S PROPERTY WITHOUT THE WRITTEN APPROVAL OF THE DESIGN REVIEW COMMITTEE.

P. DEFINITIONS

ALLEY LOADED GARAGE: A GARAGE WITH THE VEHICULAR DOOR ACCESS LOCATED ONTO AN ALLEY LOCATED AT THE REAR (OR SOMETIMES SIDE) OF THE LOT.

EASEMENT GRANTOR: THE LOT OWNER GRANTING SIDE YARD AREA TO ADJACENT LOT OWNER FOR USE.

EASEMENT GRANTEE: THE LOT OWNER GAINING SIDE YARD AREA FROM ADJACENT LOT OWNER FOR USE.

Q. PROVISIONS FOR PARKING

A MINIMUM OF TWO OFF-STREET RESIDENTIAL GARAGE PARKING SPACES WILL BE PROVIDED WITHIN EACH HOME. PARALLEL SPACES ARE PROVIDED ALONG RARITAN WAY. PARKING WILL NOT BE PERMITTED WITHIN THE ALLEYS AND SHALL BE SIGNED AS SUCH.

R. BULK & DIMENSION STANDARDS

MIN. LOT SIZE	2,400 SF.
MIN. LOT WIDTH	32'

MAX. BUILDING HEIGHT (2-STORIES)	35'
----------------------------------	-----

MINIMUM SETBACKS	
BUILDING TO FRONT LOT LINE	5'-0"
BUILDING TO ALLEY FLOW LINE	5'-0"
BUILDING SIDE TO ALLEY/PRIVATE DRIVE FLOWLINE	10'-0"
BUILDING SIDE TO LOT LINE	5'-0"
BUILDING TO BUILDING	10'-0"

NOTE: SETBACKS ARE MEASURED FROM BUILDING FOUNDATIONS PERMITTED SETBACK ENCROACHMENTS

EAVES, OVERHANGS, BAY WINDOWS	1'-0"
WINDOW WELLS, COUNTERFORTS	2'-0"
EXTERIOR SIDING, VENEER, BRICK, STONE	0'-4"

PARKING SUMMARY

UNITS	16 UNITS
GARAGE PARKING (2 SPACES PER UNIT)	32 SPACES
GUEST SPACES (PARALLEL SPACES)	13 SPACES
TOTAL	45 SPACES

S. LANDSCAPING

RIGHT OF WAY AND OPEN SPACE LANDSCAPING SHALL BE PROVIDED IN ACCORDANCE WITH COUNTY STANDARDS. ON-LOT RESIDENTIAL LANDSCAPING SHALL BE PROVIDED AS NOTED BELOW IN CONJUNCTION WITH A WAIVER REQUEST REGARDING REQUIRED FRONT SETBACK TREE PLANTINGS.

ON-LOT RESIDENTIAL LANDSCAPE STANDARDS		
LOCATION	*MIN. TREES	**MIN. SHRUBS
FRONT SETBACK	N/A	6
REAR SETBACK	N/A	2
SIDE SETBACK (INTERNAL LOTS)	N/A	N/A
SIDE SEBACK (FACING PRIVATE DRIVE)	N/A	10

NOTES:
*TREES CANNOT BE PLANTED WITHIN RESIDENTIAL LOTS DUE TO CONFLICTS WITH UTILITY EASEMENTS.
** SHRUBS MAY BE SUBSTITUTED WITH ORNAMENTAL GRASSES AT A RATE OF 3 GRASSES PER REQUIRED SHRUB
1. PLANT SIZES, TYPES AND SPECIES SHALL CONFORM TO COUNTY PERFORMANCE STANDARDS

T. WAIVERS

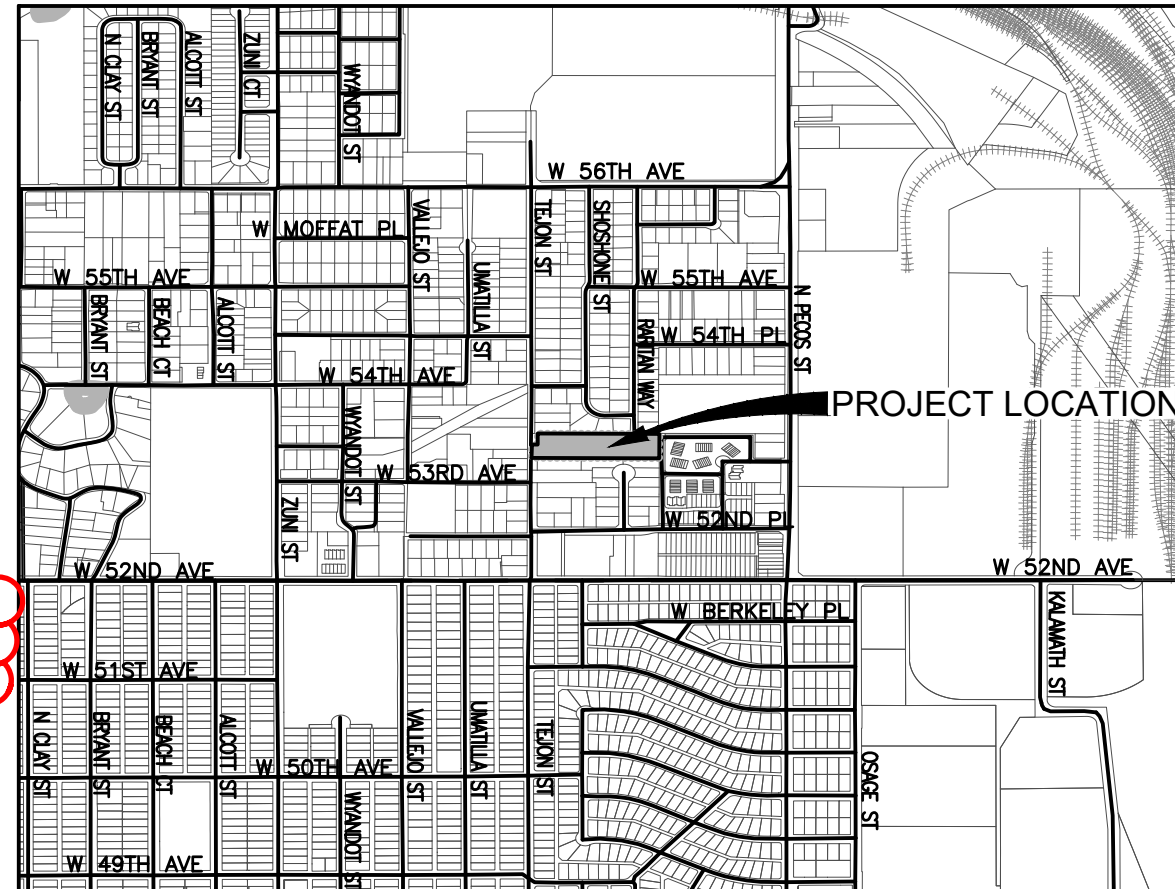
WAIVER NO.	RELEVANT CODE SECTION	WAIVER REQUEST	JUSTIFICATION
1	5-03-02-02-01 (SUBDIVISION DESIGN, IMPROVEMENTS, AND DEDICATION LAND DEDICATION STANDARDS - MINIMUM SETBACKS/BUFFERS TO ACHIEVE COMPATIBILITY)	REQUEST WAIVER PERMITTING LOTS 15 & 16 TO BE CONSTRUCTED CLOSER THAN THE REQUIRED 30' BUFFER ADJACENT TO EXISTING SF. DEVELOPMENT	AN EXISTING SF RESIDENTIAL STRUCTURE IS LOCATED WITHIN THE 30' RESIDENTIAL BUFFER TO THE SOUTH ADJACENT TO PROPOSED LOTS 15 & 16. THIS EXISTING STRUCTURE IS TO BE REMOVED AND REPLACED WITH TWO NEW HOMES WHICH WILL ALSO BE WITHIN THE 30' BUFFER. THE EXISTING AND PROPOSED CONDITIONS WILL NOT BE SUBSTANTIALLY DIFFERENT.
2	5-03-03-10 (SUBDIVISION DESIGN, IMPROVEMENTS, AND DEDICATION LAND DEDICATION STANDARDS - ACCESS TO LOTS BY PRIVATE ROADS)	REQUEST WAIVER PERMITTING THE PLATTING AND CONSTRUCTION OF PRIVATE DRIVES (RARITAN WAY & ALLEYS)	PROPOSED ALLEY AND PRIVATE DRIVE NETWORK MEETS FIRE/LIFE/SAFETY REQUIREMENTS. PROPOSED ROAD NETWORK PROVIDES VEHICULAR CONNECTIVITY WITH A SMALLER SECTION THAN A FULL RIGHT OF WAY.

RARITAN ESTATES SUBDIVISION AMENDMENT NO. 1 PRELIMINARY PLAT

CASE NO. PRC2022-00008

LOCATED IN THE NORTHWEST QUARTER OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 68 WEST, 6TH
PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 1 OF 2



VICINITY MAP

SCALE: 1" = 1000'

SURVEYOR'S CERTIFICATE

I, STEPHEN H. HARDING, A PROFESSIONAL LAND SURVEYOR LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THERE ARE NO ROADS, PIPELINES, IRRIGATION DITCHES OR OTHER EASEMENTS IN EVIDENCE OR KNOWN BY ME TO EXIST ON OR ACROSS THE HEREINBEFORE DESCRIBED PROPERTY, EXCEPT AS SHOWN ON THIS PLAT. I FURTHER CERTIFY THE THE SURVEY WAS PERFORMED UNDER MY DIRECT RESPONSIBILITY, SUPERVISION AND CHECKING, AND THAT THIS PLAT ACCURATELY REPRESENTS SAID SURVEY, AND THAT ALL MONUMENTS EXIST AS SHOWN HEREON.

STEPHEN H. HARDING, PLS 29040
COLORADO LICENSED PROFESSIONAL LAND SURVEYOR
FOR AND ON BEHALF OF EMK CONSULTANTS, INC.

LEINHOLDER

BY: _____ NAME _____ BY: _____ NAME _____
AS: _____ TITLE _____
STATE _____
COUNTY _____
THE FOREGOING DEDICATION WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2022 A.D.

REVISOR'S CERTIFICATE
REVISOR'S NAME: _____
REVISOR'S TITLE: _____
REVISOR'S STATE: _____
REVISOR'S COUNTY: _____
REVISOR'S DATE: _____, 2022 A.D.

MY COMMISSION EXPIRES _____
NOTARY PUBLIC _____

PLANNING COMMISSION APPROVAL
RECOMMENDED FOR APPROVAL BY THE ADAMS COUNTY PLANNING COMMISSION THIS _____ DAY OF _____, A.D. 2022.
BOA APPR CHAIR _____ DAY OF _____

BY: _____ CHAIR _____
PLANNING COMMISSION APPROVAL
APPROVED BY ADAMS COUNTY BOARD OF COMMISSIONERS THIS _____ DAY OF _____, 2022.

BY: _____ CHAIR _____

ADAMS COUNTY ATTORNEY'S OFFICE

APPROVED AS TO FORM

This is a NOTE
NOTE RELOCATED

Provide a Purpose Statement. Re-division of lots and streets within the original subdivision
STATEMENT ADDED

DEDICATION AND OWNERSHIP CERTIFICATION
REVISED ACCORDINGLY

THE UNDERSIGNED DOES HEREBY DEDICATE, GRANT AND CONVEY TO ADAMS COUNTY THOSE PUBLIC RIGHTS AND INTERESTS IN THE NORTHWEST QUARTER OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 68 WEST, 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
ASSIGNS, PERmits, RIGHTS AND AUTHORITY TO RELEASE OR QUITCLAIM THE DESCRIBED TRACT OF LAND TO ADAMS COUNTY AND/OR ITS SUCCESSORS, ASSIGNEES, HEIRS, EXECUTORS, ADMINISTRATORS, AND CREDITORS. THE RIGHTS AND INTERESTS SHALL REMAIN EXCLUSIVELY VESTED IN ADAMS COUNTY.

RARITAN WAY IS TO BE PRIVATELY OWNED AND MAINTAINED BY UC TEJON, LLC. AND THE HOME OWNER'S ASSOCIATION.
NOTE RELOCATED

LEGAL DESCRIPTION

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED WARRANTS IT IS THE OWNER OF THE PARCEL OF LAND SHOWN HEREIN, SITUATED IN THE NORTHWEST QUARTER OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 68 WEST, 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

PARCEL A:
LOT 4, RARITAN ESTATES SUBDIVISION, COUNTY OF ADAMS, STATE OF COLORADO

PARCEL B:
All plats with public easements and/or tracts must have the following sentence in the dedication statement: The undersigned does hereby dedicate, grant and convey to Adam County those Public Easements (and tracts) as shown on the plat; and further restricts the use of all Public Easement to Adams County and/or its assigns, provided however, that the sole right and authority to release or quitclaim all or any such Public Easements shall remain exclusively vested in Adams County.
STATEMENT REWORDED

EXECUTED THIS _____ DAY OF _____, 2022 A.D.

BY: CHASE STILLMAN AS _____ OF UC TEJON, LLC.
REVISED ACCORDINGLY

OWNER: UC TEJON, LLC.
This needs to be located prior to any signature/execution block
REVISED ACCORDINGLY

BY: _____ NAME _____ BY: _____ NAME _____
AS: _____ TITLE _____ AS: _____ TITLE _____

STATE OF COLORADO }
COUNTY OF _____ }SS

THE FOREGOING DEDICATION WAS ACKNOWLEDGED BEFORE ME BY _____ AS _____ OF UC TEJON, LLC, THIS _____ DAY OF _____, 2022 A.D.

MY COMMISSION EXPIRES _____
NOTARY PUBLIC _____
...ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2022, BY CHASE STILLMAN AS MANAGER OF UC TEJON, LLC....
REVISED ACCORDINGLY

GENERAL NOTES

- NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE (3) YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN (10) YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
- BASIS OF BEARINGS: BEARINGS SHOWN HEREON ARE BASED UPON THE NORTHERLY LINE OF RARITAN ESTATES SUBDIVISION WHICH BEARS NORTH 89°48'50" WEST, SAID LINE IS MONUMENTED AS SHOWN HEREIN.
- THE LINEAL UNITS OF MEASURE SHOWN ON THIS SURVEY ARE BASED UPON THE U.S. SURVEY FOOT.
- THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY EMK CONSULTANTS, INC. TO THE RECORDS OF THE COUNTY OF ADAMS, COLORADO. TITLE COMMITMENT WILL NEED TO BE UPDATED TO WITHIN 30 DAYS OF FINAL PLAT APPROVAL, OR THE APPROVAL OF THE PRELIMINARY PLAT OR WITHIN 30 DAYS OF FINAL PLAT.
NOTED
- THIS PLAT OF RARITAN ESTATES SUBDIVISION NO. 2017000033082, ON COUNTY, COLORADO, VACATES ALL RIGHTS OF THE N LINCOLN DISTRICT EASEMENT IS NOT A PUBLIC EASEMENT OR R-O-W AND WILL BE VACATED BY SEPARATE DOCUMENT. A NOTE HAS BEEN ADDED TO THAT EFFECT.
This note contradicts the statement on Sheet 2 as to be vacated by separate instrument. This plat can vacate it with the correct citations as noted.
- THE PRIVATE ACCESS DRIVES WILL BE MAINTAINED BY THE SUBDIVIDER, ITS (OR HIS) SUCCESSORS OR ASSIGNS, UNTIL SUCH TIME AS MAINTENANCE OF THE PRIVATE ACCESS DRIVES IS ASSUMED BY THE HOMEOWNERS ASSOCIATION. THE HOMEOWNERS ASSOCIATION OR KEEPING THE PRIVATE ACCESS DRIVE PASSABLE AT ALL TIMES. PRIVATE ACCESS DRIVES SHALL NOT BE ACCEPTED FOR FINANCING BY ADAMS COUNTY IN THE FUTURE. WITH THE SALE OF EACH LOT, THE OWNER SHALL PROVIDE THE PURCHASER(S) A NONEXCLUSIVE PERPETUAL ACCESS EASEMENT OVER, THROUGH AND ACROSS THE PRIVATE ACCESS DRIVES, AND ACROSS ANY OFFSITE PRIVATE ROADS THAT CONNECT THIS SUBDIVISION TO A PUBLIC ROAD.
shown as Tracts
REVISED ACCORDINGLY

CONTINUED ON NEXT SHEET

PREPARED BY
EMK EMK CONSULTANTS, INC.
LAND DEVELOPMENT
ENGINEERING & SURVEYING
7006 SOUTH ALTON WAY, BLDG. F
CENTENNIAL, COLORADO 80112-2019
(303)694-1520 www.EMKC.com
JOB NO. 13297

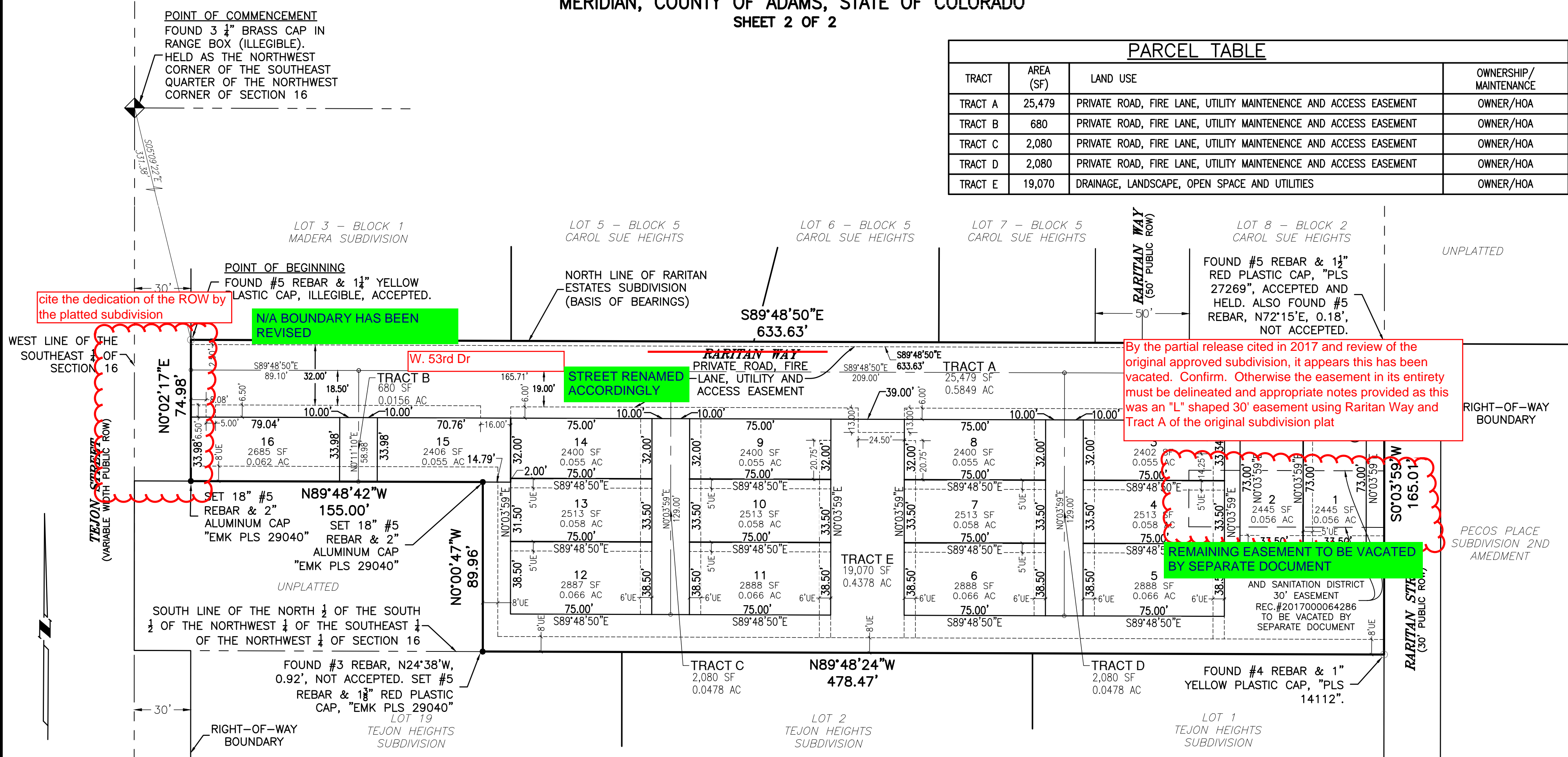
RARITAN ESTATES SUBDIVISION
AMENDMENT NO. 1
DATE PREPARED: SEPTEMBER 15, 2022
PREPARED FOR:
UC TEJON, LLC
3465 SOUTH GAYLORD COURT, A304
ENGLEWOOD, COLORADO 80113
ATTN: TODD JOHNSON P.E.
SHEET 1 OF 2

RARITAN ESTATES SUBDIVISION AMENDMENT NO. 1 PRELIMINARY PLAT

CASE NO. PRC2022-00008

LOCATED IN THE NORTHWEST QUARTER OF SECTION 16, TOWNSHIP 3 SOUTH, RANGE 68 WEST, 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO
SHEET 2 OF 2

PARCEL TABLE			
TRACT	AREA (SF)	LAND USE	OWNERSHIP/ MAINTENANCE
TRACT A	25,479	PRIVATE ROAD, FIRE LANE, UTILITY MAINTENANCE AND ACCESS EASEMENT	OWNER/HOA
TRACT B	680	PRIVATE ROAD, FIRE LANE, UTILITY MAINTENANCE AND ACCESS EASEMENT	OWNER/HOA
TRACT C	2,080	PRIVATE ROAD, FIRE LANE, UTILITY MAINTENANCE AND ACCESS EASEMENT	OWNER/HOA
TRACT D	2,080	PRIVATE ROAD, FIRE LANE, UTILITY MAINTENANCE AND ACCESS EASEMENT	OWNER/HOA
TRACT E	19,070	DRAINAGE, LANDSCAPE, OPEN SPACE AND UTILITIES	OWNER/HOA



cite the dedication of the ROW by the platted subdivision

N/A BOUNDARY HAS BEEN REVISED

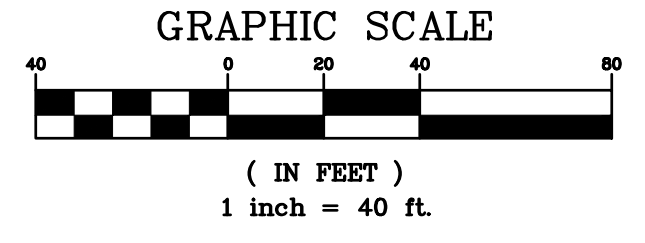
STREET RENAMED ACCORDINGLY

By the partial release cited in 2017 and review of the original approved subdivision, it appears this has been vacated. Confirm. Otherwise the easement in its entirety must be delineated and appropriate notes provided as this was an "L" shaped 30' easement using Raritan Way and Tract A of the original subdivision plat

REMAINING EASEMENT TO BE VACATED BY SEPARATE DOCUMENT

GENERAL NOTES CONTINUED

- 7. TITLE NOTE: STORM DRAINAGE FACILITIES STATEMENT** ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE SYSTEMS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THE PROPERTY. MODIFIED BY THE SUBDIVISION DEVELOPMENT AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE COUNTY SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE SOLE PURPOSE OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNERS.
- 8. EASEMENTS SHOWN HEREIN ARE DEDICATED TO ADAMS COUNTY FOR THE BENEFIT OF THE APPLICABLE UTILITY PROVIDERS FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF ELECTRIC, GAS, TELEVISION, CABLE, AND TELECOMMUNICATIONS FACILITIES (DRY UTILITIES). UTILITY EASEMENTS SHALL BE GRANTED WITHIN ANY ACCESS EASEMENTS AND PRIVATE STREETS IN THE SUBDIVISION. PERMANENT STRUCTURES, IMPROVEMENTS, OBJECTS, BUILDINGS, WELLS, AND OTHER OBJECTS THAT MAY INTERFERE WITH THE UTILITY FACILITIES OR USE THEREOF (INTERFERING OBJECTS) SHALL NOT BE PERMITTED WITHIN SAID UTILITY EASEMENTS AND THE UTILITY PROVIDERS, AS GRANTEE, MAY REMOVE ANY INTERFERING OBJECTS AT NO COST TO SUCH GRANTEE, INCLUDING VEGETATION. PUBLIC SERVICE COMPANY OF COLORADO (PSCO) AND ITS SUCCESSORS RESERVE THE RIGHT TO REQUIRE ADDITIONAL EASEMENTS AND TO REQUIRE THE PROPERTY OWNER TO GRANT PSCO AN EASEMENT ON ITS STANDARD FORM. WET UTILITIES (WATER, SANITARY SEWER, AND/OR STORM SEWER) SHALL CROSS DRY UTILITY EASEMENTS AT NEAR RIGHT ANGLES.**



LEGEND

----- UE	UTILITY EASEMENT
-----	EXISTING EASEMENT
-----	RIGHT-OF-WAY
-----	SECTIONAL LINE
○	CENTERLINE WITH TERMINUS MARKS
●	MONUMENT SET AS DESCRIBED
○	MONUMENT FOUND AS DESCRIBED

PREPARED BY

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JOB NO. 13297

RARITAN ESTATES SUBDIVISION
AMENDMENT NO. 1
DATE PREPARED: SEPTEMBER 15, 2022
PREPARED FOR:
UC TEJON, LLC
3465 SOUTH GAYLORD COURT, A304
ENGLEWOOD, COLORADO 80113
ATTN: TODD JOHNSON P.E.
SHEET 2 OF 2



ADAMS COUNTY FIRE RESCUE FIRE PREVENTION BUREAU

7980 Elmwood Lane
Denver, CO 80221
P: (303) 539-6862
E: fireprevention@acfpd.org

Project: Raritan Estates Redevelopment **Type:** County Referral – PRC2022-00008
Address: 5350 Tejon St **Date:** 7/5/22
Reviewed By: Whitney Even

SEE PROVIDED COMMENT
RESPONSE LETTER

The following information provides guidance on general fire code requirements typically applicable to new development projects. However, please be aware that this list is NOT all encompassing. **It is the responsibility of the contractor to read this comment letter in its entirety and make sure that all requirements are satisfied.**

Comments in blue below are specific to the documents reviewed, but do not require a response.

Comments in red below are specific to the documents reviewed and require a response.

Comments in black are general code requirements that are applicable to this type of project, but do not require a response.

General:

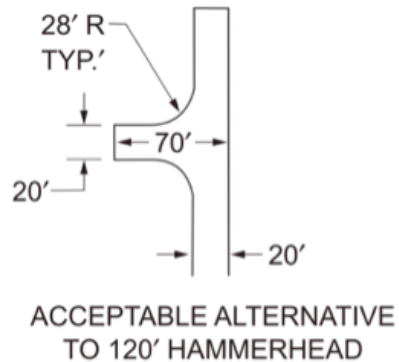
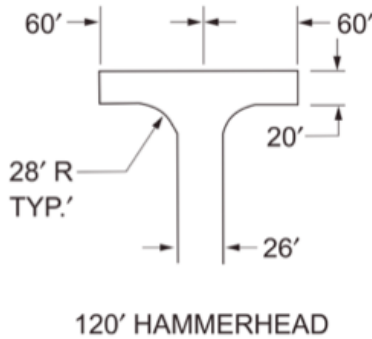
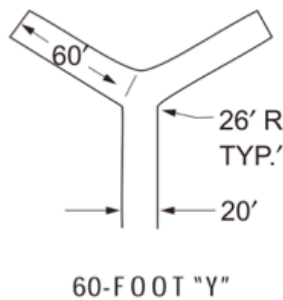
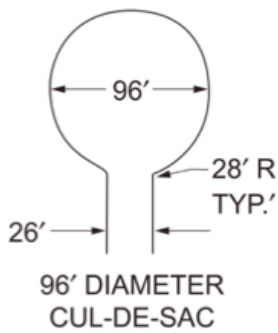
1. The 2018 International Fire Code is the current fire code adopted within the city and all development must be in compliance with its requirements. The 2018 IFC can be accessed online for free by going to <https://codes.iccsafe.org/public/document/IFC2018>. Amendments to this code can be located by going to http://www.adcogov.org/sites/default/files/Ordinance%20No.%204_1.pdf.
2. Site and building design and construction shall be in accordance with the provisions of the 2018 International Fire Code (IFC) as adopted by Adams County. All construction shall be in accordance with IFC Chapter 33, *Fire Safety During Construction and Demolition*.
3. Please be aware that these comments are subject to change as more information is received or if there are changes to the plans during subsequent reviews.

Access Requirements:

4. **Approved access roads must be constructed prior to any vertical construction and/or to combustible materials being delivered to the site, whichever comes first.** Temporary access roads are prohibited unless specifically approved by the Fire District. Fire apparatus access must be designed and maintained to support the imposed loads of fire apparatus (i.e. 85,000 lbs), and must have a surface that provides all-weather driving capabilities. Vehicle access shall be provided to within 150 feet of temporary or permanent fire department connections. **Requirement appears to be met on the conceptual plan.**
5. Fire apparatus access roads shall be a minimum of 24' wide or 26' when a hydrant is present or the building exceeds 30' in height. **Raritan Way is shown as 24' wide. However, at least one fire hydrant will need to be installed along this street to provide the appropriate protection to the proposed homes. When hydrants are present, the minimum road width is 26' wide. The proposed alleys are shown at 16' wide. If the alleys exceed 150' in length, the minimum width that may be considered is 20'. If the alleys do not exceed 150' in length, the 16' width may be considered.**

SEE PROVIDED COMMENT
RESPONSE LETTER

6. Fire apparatus access roads shall be within 150' of all ground level exterior portions of the building. **Requirement appears to be met on the conceptual plan.**
7. Any dead-end fire apparatus access road in excess of 150' shall be provided with an approved turnaround. **If the alleys create a dead end that is in excess of 150', a turnaround will be required. The plans provided indicate that the alleys are less than 150' in length. Is that correct? On the east end of Raritan Way, another dead end is proposed. The length of this dead end appears to be less than 150' in length. Is that correct?**



8. Any temporary construction or permanent security gates shall be a minimum of 24 feet and a no parking fire lane sign shall be posted on the gate. The gates shall also have a Knox key switch installed for emergency operation if automatic. **There is an existing gate shown on Raritan Way. Is this gate going to be removed?**
9. New and existing buildings shall have approved address numbers, building numbers, or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Numbers shall be a minimum of 4 inches high with a minimum stroke width of 0.5 inch. Please be aware that the size of the number may need to be larger than 4 inches is not clearly visible from the street or road.
 - a. A temporary sign must be provided if the permanent signage is not yet installed.

SEE PROVIDED COMMENT
RESPONSE LETTER

Fire Protection Water Supply and Hydrants:

- 10. Water mains and all required hydrants shall be installed before the delivery of combustible materials to the site. Hydrants shall be maintained operational at all times thereafter, unless alternate provisions for water supply are approved by the Fire District.
- 11. Unobstructed access to fire hydrants shall be maintained at all times. Fire department personnel shall not be deterred or hindered from gaining immediate access to fire protection equipment or fire hydrants. A 3-foot (radius) clear space shall be maintained around the circumference of fire hydrants. Within that 6-foot diameter circle and within a 6-foot-wide path leading to the 4.5-inch outlet of a hydrant, vegetation shall be no higher than 4 inches above grade. The unobstructed vertical clearance within that 6-foot circle and 6-foot approach path shall not be less than 7 feet, unless otherwise approved by the Fire District.
- 12. A fire hydrant shall be located within 400' (un-sprinklered building) or 600' (fully sprinkled building) of all ground level exterior portions of the building. **This requirement does not appear to be met. Additional fire hydrants will be required.**
- 13. The number and distribution of fire hydrants is based on the required fire flow. You may refer to Appendix C of the 2018 IFC for guidance. **A flow test will need to be performed and show compliance with the table below.**

**TABLE B105.1(1)
REQUIRED FIRE FLOW FOR ONE- AND TWO-FAMILY DWELLINGS, GROUP R-3 AND R-4 BUILDINGS AND TOWNHOUSES**

FIRE-FLOW CALCULATION AREA (square feet)	AUTOMATIC SPRINKLER SYSTEM (Design Standard)	MINIMUM FIRE FLOW (gallons per minute)	FLOW DURATION (hours)
0-3,600	No automatic sprinkler system	1,000	1
3,601 and greater	No automatic sprinkler system	Value in Table B105.1(2)	Duration in Table B105.1(2) at the required fire-flow rate
0-3,600	Section 903.3.1.3 of the <i>International Fire Code</i> or Section P2904 of the <i>International Residential Code</i>	500	1/2
3,601 and greater	Section 903.3.1.3 of the <i>International Fire Code</i> or Section P2904 of the <i>International Residential Code</i>	1/2 value in Table B105.1(2)	1

For SI: 1 square foot = 0.0929 m², 1 gallon per minute = 3.785 L/m.

Continues on the next page.

**TABLE C102.1
REQUIRED NUMBER AND SPACING OF FIRE HYDRANTS^a**

FIRE-FLOW REQUIREMENT (gpm)	MINIMUM NUMBER OF HYDRANTS	AVERAGE SPACING BETWEEN HYDRANTS ^{a, b, c, f, g} (feet)	MAXIMUM DISTANCE FROM ANY POINT ON STREET OR ROAD FRONTAGE TO A HYDRANT ^{d, f, g}
1,750 or less	1	500	250
1,751–2,250	2	450	225
2,251–2,750	3	450	225
2,751–3,250	3	400	225
3,251–4,000	4	350	210
4,001–5,000	5	300	180
5,001–5,500	6	300	180
5,501–6,000	6	250	150
6,001–7,000	7	250	150
7,001 or more	8 or more ^c	200	120

For SI: 1 foot = 304.8 mm, 1 gallon per minute = 3.785 L/m.

- a. Reduce by 100 feet for dead-end streets or roads.
- b. Where streets are provided with median dividers that cannot be crossed by fire fighters pulling hose lines, or where arterial streets are provided with four or more traffic lanes and have a traffic count of more than 30,000 vehicles per day, hydrant spacing shall average 500 feet on each side of the street and be arranged on an alternating basis.
- c. Where new water mains are extended along streets where hydrants are not needed for protection of structures or similar fire problems, fire hydrants shall be provided at spacing not to exceed 1,000 feet to provide for transportation hazards.
- d. Reduce by 50 feet for dead-end streets or roads.
- e. One hydrant for each 1,000 gallons per minute or fraction thereof.
- f. A 50-percent spacing increase shall be permitted where the building is equipped throughout with an approved automatic sprinkler system in accordance with Section 903.3.1.1 of the *International Fire Code*.
- g. A 25-percent spacing increase shall be permitted where the building is equipped throughout with an approved automatic sprinkler system in accordance with Section 903.3.1.2 or 903.3.1.3 of the *International Fire Code* or Section P2904 of the *International Residential Code*.
- h. The fire code official is authorized to modify the location, number and distribution of fire hydrants based on site-specific constraints and hazards.

Other Helpful Information:

14. Please be aware that the fire code does not specify building fire rating or set-back requirements. These are located within the building code and therefore are out of our scope. This preliminary review does not approve anything covered under the building code. These requirements need to be verified with the County’s Building and Planning Departments.

15. Please be aware that we are a separate entity from the County and anytime you submit to the county, you will need to submit to us separately utilizing our online portal. This link will take you to the online portal: <https://go.citygrows.com/acfr-fire-prevention>

16. The following reviews and permits are often needed for new development projects:
 - a. Site Development and Water Plans
 - i. Civil Plans
 - ii. Utility Plans
 - iii. Auto-turn Exhibit (use attached apparatus specifications)
 - b. New Construction Building Plans
 - i. Architectural
 - c. Fire Protection System Plans
 - i. Fire Sprinkler (if installed)

SEE PROVIDED COMMENT
RESPONSE LETTER

17. Site development plans must be reviewed and approved before plans for all buildings and fire protection systems are submitted to us for review and permitting. All fees (permit and impact) shall be paid at time of permit pick-up.

SEE PROVIDED COMMENT
RESPONSE LETTER

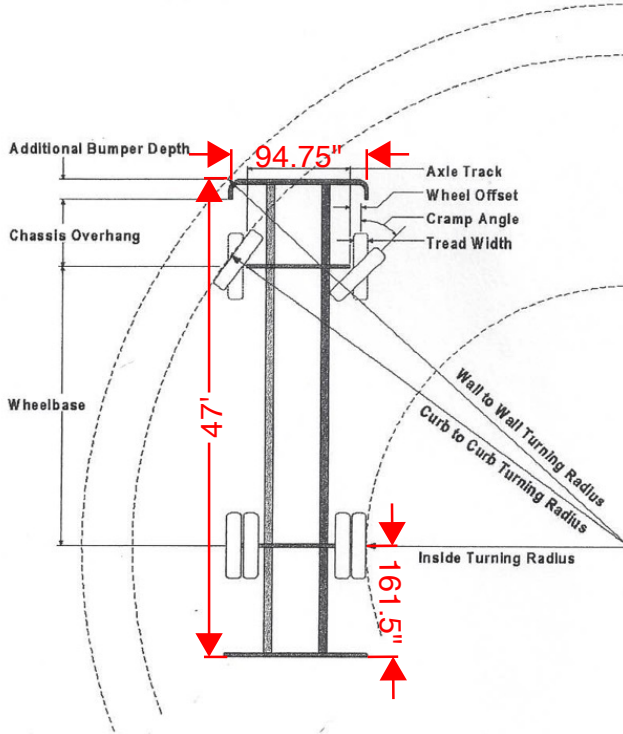


Turning Performance Analysis

09/28/2017

Bid Number: 593
Department: Adams County Fire Rescue

Chassis: Arrow XT Chassis, PAP, PUC
Body: Aerial, Platform 100', PUC, Alum Body



Parameters:	
Inside Cramp Angle:	40°
Axle Track:	82.92 in.
Wheel Offset:	5.30 in.
Tread Width:	17.50 in.
Chassis Overhang:	68.99 in.
Additional Bumper Depth:	16.00 in.
Front Overhang:	84.99 in.
Wheelbase:	277.50 in.

Calculated Turning Radii:	
Inside Turn:	26 ft. 5 in.
Curb to curb:	42 ft. 8 in.
Wall to wall:	49 ft. 0 in.

Comments:

Other Notes:

The front bumper extends 16 inches from the face of the cab.

The width is 19' with outriggers fully extended.

Angle of approach & departure: 15 degree

Category Description:	OptionID:	Option Description:
Axle, Front, Custom	0090913	Axle, Front, Oshkosh TAK-4, Non Drive, 24,000 lb, Qtm/AXT/DCF
Wheels, Front	0019618	Wheels, Front, Alcoa, 22.50" x 13.00", Aluminum, Hub Pilot
Tires, Front	0582746	Tires, Front, Goodyear, G296 MSA, 445/65R22.50, 20 ply
Bumpers	0606536	Bumper, 16" Extended, Steel Painted, Arrow XT
Aerial Devices	0592931	Aerial, 100' Pierce Platform, 50 MPH Wind Rating, 150lb Tip Load Allowance

Notes:

Actual inside cramp angle may be less due to highly specialized options.

Curb to Curb turning radius calculated for 9.00 inch curb.

SEE PROVIDED COMMENT
RESPONSE LETTER



Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571. 3284
donna.l.george@xcelenergy.com

October 21, 2022

Adams County Community and Economic Development Department
4430 South Adams County Parkway, 3rd Floor, Suite W3000
Brighton, CO 80601

**SEE PROVIDED COMMENT
RESPONSE LETTER**

Attn: Layla Bajelan

**Re: 5350 Tejon Final Plat - Raritan Estate Redevelopment - 2nd referral
Case # PRC2022-00008**

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk acknowledges the comment response for the above captioned project, and advises the property owner/developer/contractor to complete the application process as soon as possible via xcelenergy.com/InstallAndConnect for discussion of design details with a Designer.

Additional easements *will* need to be acquired by separate document for new facilities (i.e. transformers) – be sure to contact the Designer and request that they connect with a Right-of-Way Agent.

PSCo requests that the following language or plat note is placed on the preliminary and final plats for the subdivision:

Utility easements are dedicated to Adams County for the benefit of the applicable utility providers for the installation, maintenance, and replacement of electric, gas, television, cable, and telecommunications facilities (Dry Utilities). Utility easements shall also be granted within any access easements and private streets in the subdivision. Permanent structures, improvements, objects, buildings, wells, water meters and other objects that may interfere with the utility facilities or use thereof (Interfering Objects) shall not be permitted within said utility easements and the utility providers, as grantees, may remove any Interfering Objects at no cost to such grantees, including, without limitation, vegetation. Public Service Company of Colorado (PSCo) and its successors reserve the right to require additional easements and to require the property owner to grant PSCo an easement on its standard form.

As a safety precaution, PSCo would like to remind the developer to contact Colorado 811 for utility locates prior to construction.

Donna George
Right of Way and Permits
Public Service Company of Colorado dba Xcel Energy
Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com



April 13, 2023

Layla Bajelan
Planner II-Long Range Planning
Adams County Department of Development Services

Re: PRC2022-00008; Raritan Estates Redevelopment

Dear Layla,

Thank you for providing review comments regarding the 3rd submittal of the Rezoning, PUD-PDP and Preliminary Plat for the proposed Raritan Estates Redevelopment. Our project team responses have been noted in red below the review comments. This response letter along with updated plans are provided as part of our third submittal of the project.

Please let me know if you have any questions. Thank you for your assistance.

Sincerely,

Liam Hogan, PLA
Associate Landscape Architect
PCS Group

liam@pcsgroupco.com
(303) 653-9772





Development Review Team Comments- 2nd Review

Date: 11/04/2022

Project Number: PRC2022-00008

Project Name: Raritan Estates Redevelopment

Note to Applicant:

The following review comments and information from the Development Review Team is based on the information you submitted for a preliminary development plan, preliminary plat, waivers, and vacation. The Development Review Team review comments may change if you provide different information during the next submittal/ building permit. Please contact the case manager if you have any questions. Also, please note where "Section" is referenced, it is referring to the appropriate section of the Adams County Development Standards and Regulations.

Commenting Division: Planning and Development

Name of Reviewer: Layla Bajelan, Senior Long Range Planner

Email: LBajelan@adcogov.org / 720-523-6863

Preliminary Plat

PLN01: All lots appear to meet the minimum lot size and lot width proposed in the PDP

Response: Noted

PLN02: Please switch the PC and BoCC approval blocks so the PC is on top, or before the BoCC.

Response: Revised Accordingly

Preliminary Development Plan

PLN01: Please switch the PC and BoCC approval blocks so the PC is on top, or before the BoCC.

Response: Updated.

PLN02: Remove the Clerk and Recorder signature block, as this is not recorded.

Response: Updated.

PLN04: Include an Attorney's verification signature line, similar to the plat.

Response: Added.

PLN05: The PDP has a lot of information selling the project. This should be removed and included in written justification, that can be provided to the Commissioners during hearing. This is the technical document that property owners and County staff use to review the development and should only contain such information.

Response: Language removed and only provided with the written justification letter.

PLN06: Section A, paragraph 2, please remove the sentence "A CONCURRENT REZONE APPLICATION IS BEING SUBMITTED ALONG WITH THIS PUD-PDP TO PERMIT THE DEVELOPMENT OF THE PROPOSED RESIDENTIAL PRODUCT TYPE." as this does not need to be in this document.

Response: Removed.





PLN07: Page 2, Section E- This shall be completed and have no blanks. Please remove the County maintenance responsibilities from this.

Response: Revised as requested

PLN08: Page 2, Section K- This states no signage at this time, but page 3, note 3 says signage is conceptual. The PDP should set parameters on signs (materials, max height/width, etc.) if any signs will be proposed. This should be done at the time of PDP, but can be modified in the FDP.

Response: There will be no signage provided on site, so no language was provided.

PLN09: Page 2, Section O- Staff has concerns over the side yard use easement. Historically this has been confusing for property owners and makes permitting difficult.

Response: This no longer applies to our site plan.

PLN10: Page 2, Section Q- Please include a minimum percentage of visitor parking in the text.

Response: A minimum percentage of visitor parking was added to the section q.

PLN11: Page 2, Section S- Landscaping can be conceptual at the PDP stage, but staff does have concerns pertaining to screening for adjacent neighbors. Also, you are not requesting a waiver from the front setback tree plantings, so please remove this language. I am not sure what this is in reference to?

Response: See comment on screening below. Language on waiver for front setback tree plantings was removed.

3-34-03-01-04 SCREENING REQUIRED: Improvements on the site shall be sight-screened with adequate landscaping so as to provide a compatible visual effect as seen from the adjoining properties.

Response: More trees and landscape have been provided between the lots and adjacent residential plan per the concept landscape plan.

PLN12: Page 2, Section T- This should be removed from the PDP and added to the written narrative.

Response: Removed and included in written narrative.

PLN13: Page 3- The total acreage in the land use summary does not match what is on page 2, Section A. 2.04 acres vs. 2.08 acres

Response: Revised as requested.

PLN14: Page 3- Please include a table with the parking dimensions. We typically see the parking plans with triangles showing all the parking spaces within the development. The site plan is fine, however a small demonstration of parking in the garage and the street should be shown. For example, how are cars being parked in the garage? Is this tandem or side by side? It is very hard to see the spaces on this site plan and they should be clearly shown.

Response: Parking table updated, and garage parking triangles added

PLN15: Please remove street cross sections (page 4) from the PDP.

Response: Revised as requested

PLN16: Page 5- This is fine if this is the only type of fencing allowed. Please keep in mind that if anyone proposed anything slightly different a PUD amendment would be required.





Response: Detailing of fence removed from plan and only referencing to fencing provide on site plan as well as the language provided in the Narrative & development standards.

PLN17: Page 6- The percentages for open space and active open space are flipped.
3-34-03-05-06 PERCENTAGE OF OPEN SPACE REQUIRED A minimum of 30% Open Space shall be required in all P.U.D.s or as determined by the Board of County Commissioners.

Response: Percentages were updated and should reflect the proper calculations.

3-34-03-05-03 USE OF OPEN SPACE At least twenty-five percent (25%) of the minimum required open space shall be designated for active recreation purposes, and no more than fifty percent (50%) shall be so utilized, in order to preserve a reasonable proportion of natural areas on the site. The purposes for which open space areas are proposed shall be documented.

Response: Percentages were updated and should reflect the proper calculations.

Page 2 and 3 of the zoning map amendment document should be included in the PDP. It does a much better job of demonstrating the open space. Once again, staff has concerns pertaining to the active open space. While the development may be meeting the percentages, staff feels that the intent of the active open space requirements are not being met. Include parameters on structures.

Response: The open space land summary chart added to Open Space Diagram Page and the open space tabulations reformatted for legibility. The illustrative site plan was added to the submittal.

PLN18: The elevations should also set parameters on materials, etc.

Response: Material legend has been added to elevations

Commenting Division: Development Services, Right-of-Way Agent

Name of Reviewer: David Dittmer

Email: DDittmer@adcogov.org / 720-523-6811

ROW1: Revise Dedication and Ownership Certificate as provided by the application guidelines. This will be for the opening and closing statements as provided.

Response: Revised Accordingly

ROW2: Raritan Way is not to be continued through the subdivision. It should be labeled as W. 53rd Dr. Revise throughout sheets.

Response: Revised Accordingly

ROW3: "OWNER/UC TEJON, LLC" needs to be formatted ahead of the signature block.

Response: Revised Accordingly



ROW4: Signature block should read as:

OWNER:

UC TEJON, LLC

CHASE STILLMAN

remove additional information. According to the recorded statement of authority found at Reception No:

2021000107861 this is the only signatory. There are two blocks. Is there another signatory?

Response: Revised Accordingly

ROW5: Notary Affirmation should read:

...ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____ 2022, BY CHASE STILLMAN AS MANAGER OF UC TEJON, LLC, a/k/a URBAN COTTEGES TEJON, LLC....

Response: Revised Accordingly

ROW6: The Title Commitment will need to be updated to within 30 days of Final Plat application submission date or it cannot be approved.

Response: Noted

ROW7: Note 6 appears to contradict the statement and citation as provided in the Title Commitment. Please review and revise as necessary.

Response: Noted

ROW8: the order of appearance on the plat for acceptance and signature blocks is as follows:

Owner

Surveyor

Planning Commission (revise as provided)

Board of County Commissioners

Response: Revised Accordingly

ROW9: Need to incorporate the TRACTS that are designated as private roads with public access into Note 6

Response: Revised as requested

ROW10: Label Note 7: STORM DRAINAGE FACILITIES STATEMENT

Response: Revised as requested

ROW11: Review the sanitation districts partial release and revise statements as necessary. It appears the entire easement was vacated, only a portion of the original easement is shown, and the ALTA provided has it shown in its entirety.

Response: Revised as requested

ROW12: Need to cite the dedication of ROW to the county along Tejon by the original platting.

Response: Revised as requested





ROW13: The addressing will be provided for Final Plat of the private access tracts B, C, and D once street names have been researched. Lots 1 and 2 will be addressed off W. 53rd Dr.

Response: Acknowledged

Commenting Division: Planning and Development, Engineering

Name of Reviewer: Steve Krawczyk, Senior Civil Engineer

Email: MEmmens@adcogov.org / 720-523-6854

ENG1: A Preliminary Drainage Report is required during the rezoning process to show how if the property to be zoned will impact any downstream areas.

Response: Preliminary Drainage Report included

ENG2: A traffic analysis will need to be submitted to determine the transportation impacts of the proposed development based on the highest and best use. The analysis should address any off-site improvements that may be necessary to mitigate traffic impacts from the proposed development. The traffic study only included calculations for any impact for the intersections one mile or less for the highest possible intensity uses from this site with the plat submittal.

Response: The proposed trip generation for the proposed use are well below any thresholds for impacting any existing infrastructure/ intersections or justification for the need for any additional analysis that would provide the same conclusion.

ENG3: The applicant needs to be aware that prior to building permit and/or lot sale a Plat is required in conformance with the Adams County Development Manual. Access location requirements will be determined at time of final platting. Additional improvements such as turn lanes, signage and striping will be required with the submittal of the EGR and Plat. Any design and construction standards shall be in accordance with the Adams County Development Manual and be determined during the platting process.

Response: Acknowledged

EGR4: Access for the subdivision must take access point private drive off Raritan Way or other street internal to the subdivision. This access location is acceptable. Additional improvements such as a left turn will be addressed at time of platting.

Response: Revised as Requested

EGR5: The graphic drawings contained a note that the PDP submitted for this site is intended to depict general locations of improvements. During the platting process the County establish the following

- A. Final road alignments
- B. Final configuration of lot and tract sizes and shapes
- C. Final building envelopes
- D. Final access and parking locations
- E. Landscaping adjustments

Response: Acknowledged



Date: 07/05/22

Project Number: PRC2022-00008

Project Name: Raritan Estates Redevelopment

Note to Applicant:

The following information provides guidance on general fire code requirements typically applicable to new development projects. However, please be aware that this list is NOT all encompassing. It is the responsibility of the contractor to read this comment letter in its entirety and make sure that all requirements are satisfied.

Comments in blue below are specific to the documents reviewed, but do not require a response.

Comments in red below are specific to the documents reviewed and require a response.

Comments in black are general code requirements that are applicable to this type of project, but do not require a response. Commenting Division: Planning and Development

Reviewed By: Whitney Evan

General:

1. The 2018 International Fire Code is the current fire code adopted within the city and all development must be in compliance with its requirements. The 2018 IFC can be accessed online for free by going to <https://codes.iccsafe.org/public/document/IFC2018>. Amendments to this code can be located by going to http://www.adcogov.org/sites/default/files/Ordinance%20No.%204_1.pdf.

Response: Acknowledged

2. Site and building design and construction shall be in accordance with the provisions of the 2018 International Fire Code (IFC) as adopted by Adams County. All construction shall be in accordance with IFC Chapter 33, *Fire Safety During Construction and Demolition*.

Response: Acknowledged

3. Please be aware that these comments are subject to change as more information is received or if there are changes to the plans during subsequent reviews.

Response: Acknowledged

Access Requirements:

4. Approved access roads must be constructed prior to any vertical construction and/or to combustible materials being delivered to the site, whichever comes first. Temporary access roads are prohibited unless specifically approved by the Fire District. Fire apparatus access must be designed and maintained to support the imposed loads of fire apparatus (i.e. 85,000 lbs), and must have a surface that provides all-weather driving capabilities. Vehicle access shall be provided to within 150 feet of temporary or permanent fire department connections. Requirement appears to be met on the conceptual plan.

Response: No response required.



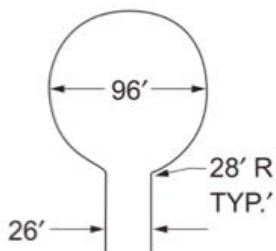
5. Fire apparatus access roads shall be a minimum of 24' wide or 26' when a hydrant is present or the building exceeds 30' in height. **Raritan Way is shown as 24' wide. However, at least one fire hydrant will need to be installed along this street to provide the appropriate protection to the proposed homes. When hydrants are present, the minimum road width is 26' wide. The proposed alleys are shown at 16' wide. If the alleys exceed 150' in length, the minimum width that may be considered is 20'. If the alleys no not exceed 150' in length, the 16' width may be considered.**

Response: Acknowledged

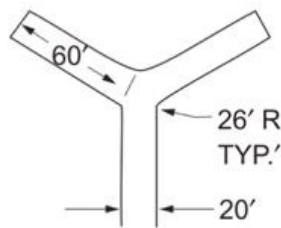
6. Fire apparatus access roads shall be within 150' of all ground level exterior portions of the building. **Requirement appears to be met on the conceptual plan.**

Response: No response required

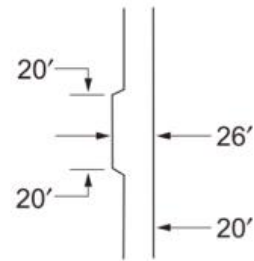
7. Any dead-end fire apparatus access road in excess of 150' shall be provided with an approved turnaround. **If the alleys create a dead end that is in excess of 150', a turnaround will be required. The plans provided indicate that the alleys are less than 150' in length. Is that correct? On the east end of Raritan Way, another dead end is proposed. The length of this dead end appears to be less than 150' in length. Is that correct?**



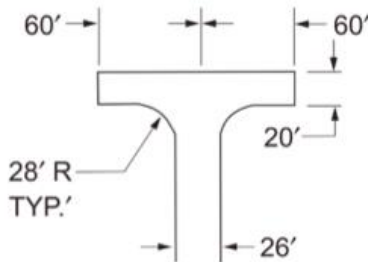
96' DIAMETER
CUL-DE-SAC



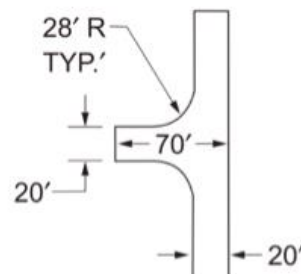
60-FOOT "Y"



MINIMUM CLEARANCE
AROUND A FIRE
HYDRANT



120' HAMMERHEAD



ACCEPTABLE ALTERNATIVE
TO 120' HAMMERHEAD

Response: An Acceptable Alternative to 120' Hammerhead has been included in the design, and labelled.



8. Any temporary construction or permanent security gates shall be a minimum of 24 feet and a no parking fire lane sign shall be posted on the gate. The gates shall also have a Knox key switch installed for emergency operation if automatic. **There is an existing gate shown on Raritan Way. Is this gate going to be removed?**

Response: Acknowledged, existing gate at Raritan Way is to be removed, no permanent gates to remain.

9. New and existing buildings shall have approved address numbers, building numbers, or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Numbers shall be a minimum of 4 inches high with a minimum stroke width of 0.5 inch. Please be aware that the size of the number may need to be larger than 4 inches is not clearly visible from the street or road.

a. A temporary sign must be provided if the permanent signage is not yet installed.

Response: Acknowledged

10. Water mains and all required hydrants shall be installed before the delivery of combustible materials to the site. Hydrants shall be maintained operational at all times thereafter, unless alternate provisions for water supply are approved by the Fire District.

Response: Acknowledged

11. Unobstructed access to fire hydrants shall be maintained at all times. Fire department personnel shall not be deterred or hindered from gaining immediate access to fire protection equipment or fire hydrants. A 3-foot (radius) clear space shall be maintained around the circumference of fire hydrants. Within that 6-foot diameter circle and within a 6-foot-wide path leading to the 4.5-inch outlet of a hydrant, vegetation shall be no higher than 4 inches above grade. The unobstructed vertical clearance within that 6-foot circle and 6-foot approach path shall not be less than 7 feet, unless otherwise approved by the Fire District.

Response: Acknowledged

12. A fire hydrant shall be located within 400' (un-sprinklered building) or 600' (fully sprinkled building) of all ground level exterior portions of the building. **This requirement does not appear to be met.**

Additional fire hydrants will be required.

Response: Hydrant added to NW corner of site, and another hydrant is near the site at the east in the adjacent apartment complex

13. The number and distribution of fire hydrants is based on the required fire flow. You may refer to Appendix C of the 2018 IFC for guidance. **A flow test will need to be performed and show compliance with the table below.**





**TABLE B105.1(1)
REQUIRED FIRE FLOW FOR ONE- AND TWO-FAMILY DWELLINGS, GROUP R-3 AND R-4 BUILDINGS AND TOWNHOUSES**

FIRE-FLOW CALCULATION AREA (square feet)	AUTOMATIC SPRINKLER SYSTEM (Design Standard)	MINIMUM FIRE FLOW (gallons per minute)	FLOW DURATION (hours)
0–3,600	No automatic sprinkler system	1,000	1
3,601 and greater	No automatic sprinkler system	Value in Table B105.1(2)	Duration in Table B105.1(2) at the required fire-flow rate
0–3,600	Section 903.3.1.3 of the <i>International Fire Code</i> or Section P2904 of the <i>International Residential Code</i>	500	1/2
3,601 and greater	Section 903.3.1.3 of the <i>International Fire Code</i> or Section P2904 of the <i>International Residential Code</i>	1/2 value in Table B105.1(2)	1

For SI: 1 square foot = 0.0929 m², 1 gallon per minute = 3.785 L/m.

**TABLE C102.1
REQUIRED NUMBER AND SPACING OF FIRE HYDRANTS^h**

FIRE-FLOW REQUIREMENT (gpm)	MINIMUM NUMBER OF HYDRANTS	AVERAGE SPACING BETWEEN HYDRANTS ^{a, b, c, f, g} (feet)	MAXIMUM DISTANCE FROM ANY POINT ON STREET OR ROAD FRONTAGE TO A HYDRANT ^{d, f, g}
1,750 or less	1	500	250
1,751–2,250	2	450	225
2,251–2,750	3	450	225
2,751–3,250	3	400	225
3,251–4,000	4	350	210
4,001–5,000	5	300	180
5,001–5,500	6	300	180
5,501–6,000	6	250	150
6,001–7,000	7	250	150
7,001 or more	8 or more ^e	200	120

For SI: 1 foot = 304.8 mm, 1 gallon per minute = 3.785 L/m.

- a. Reduce by 100 feet for dead-end streets or roads.
- b. Where streets are provided with median dividers that cannot be crossed by fire fighters pulling hose lines, or where arterial streets are provided with four or more traffic lanes and have a traffic count of more than 30,000 vehicles per day, hydrant spacing shall average 500 feet on each side of the street and be arranged on an alternating basis.
- c. Where new water mains are extended along streets where hydrants are not needed for protection of structures or similar fire problems, fire hydrants shall be provided at spacing not to exceed 1,000 feet to provide for transportation hazards.
- d. Reduce by 50 feet for dead-end streets or roads.
- e. One hydrant for each 1,000 gallons per minute or fraction thereof.
- f. A 50-percent spacing increase shall be permitted where the building is equipped throughout with an approved automatic sprinkler system in accordance with Section 903.3.1.1 of the *International Fire Code*.
- g. A 25-percent spacing increase shall be permitted where the building is equipped throughout with an approved automatic sprinkler system in accordance with Section 903.3.1.2 or 903.3.1.3 of the *International Fire Code* or Section P2904 of the *International Residential Code*.
- h. The fire code official is authorized to modify the location, number and distribution of fire hydrants based on site-specific constraints and hazards.

Response: Flow test will be provided at the time of Construction Documents

Other Helpful Information:

14. Please be aware that the fire code does not specify building fire rating or set-back requirements. These are located within the building code and therefore are out of our scope. This preliminary review does not approve anything covered under the building code. These requirements need to be verified with the County’s Building and Planning Departments.

Response: Acknowledged





15. Please be aware that we are a separate entity from the County and anytime you submit to the county, you will need to submit to us separately utilizing our online portal. This link will take you to the online portal: <https://go.citygrows.com/acfr-fire-prevention>

Response: Acknowledged

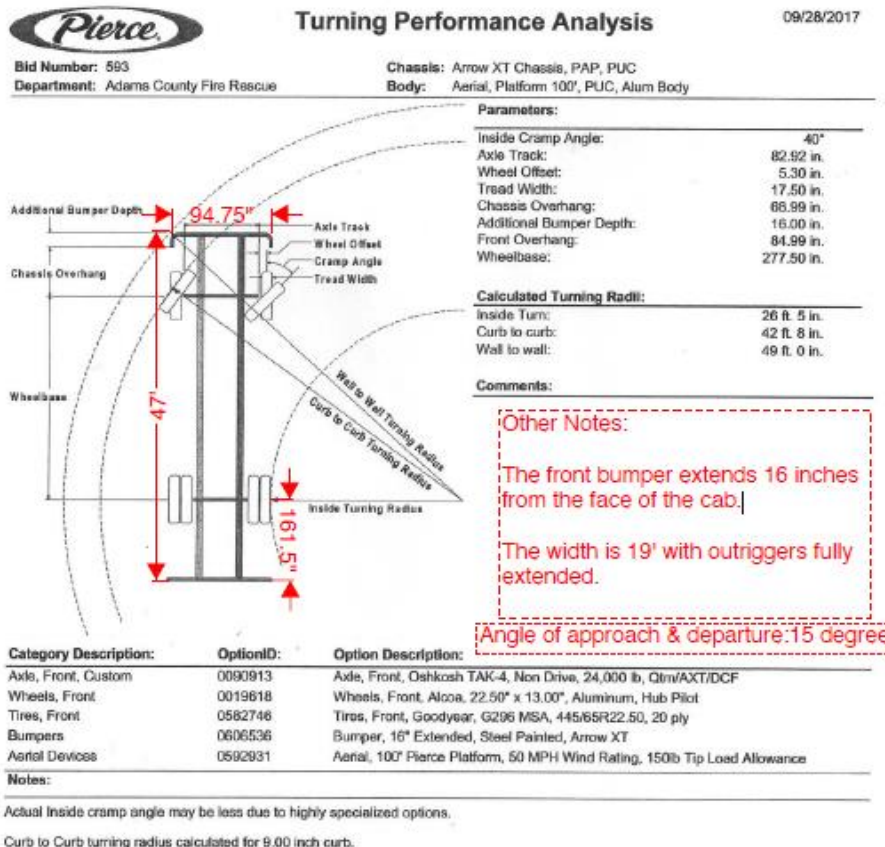
16. The following reviews and permits are often needed for new development projects:

- a. Site Development and Water Plans
 - i. Civil Plans
 - ii. Utility Plans
 - iii. Auto-turn Exhibit (use attached apparatus specifications)
- b. New Construction Building Plans
 - i. Architectural
- c. Fire Protection System Plans
 - i. Fire Sprinkler (if installed)

Response: Acknowledged

17. Site development plans must be reviewed and approved before plans for all buildings and fire protection systems are submitted to us for review and permitting. All fees (permit and impact) shall be paid at time of permit pick-up.

Response: Acknowledged





Right of Way & Permits
1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: 303.571.3306
Facsimile: 303.571.3284
donna.l.george@xcelenergy.com

October 21, 2022

Adams County Community and Economic Development Department
4430 South Adams County Parkway, 3rd Floor, Suite W3000
Brighton, CO 80601

Attn: Layla Bajelan

**Re: 5350 Tejon Final Plat - Raritan Estate Redevelopment - 2nd referral
Case # PRC2022-00008**

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk acknowledges the comment response for the above captioned project, and advises the property owner/developer/contractor to complete the application process as soon as possible via xcelenergy.com/InstallAndConnect for discussion of design details with a Designer.

Additional easements *will* need to be acquired by separate document for new facilities (i.e. transformers) – be sure to contact the Designer and request that they connect with a Right-of-Way Agent.

PSCo requests that the following language or plat note is placed on the preliminary and final plats for the subdivision:

Utility easements are dedicated to Adams County for the benefit of the applicable utility providers for the installation, maintenance, and replacement of electric, gas, television, cable, and telecommunications facilities (Dry Utilities). Utility easements shall also be granted within any access easements and private streets in the subdivision. Permanent structures, improvements, objects, buildings, wells, water meters and other objects that may interfere with the utility facilities or use thereof (Interfering Objects) shall not be permitted within said utility easements and the utility providers, as grantees, may remove any Interfering Objects at no cost to such grantees, including, without limitation, vegetation. Public Service Company of Colorado (PSCo) and its successors reserve the right to require additional easements and to require the property owner to grant PSCo an easement on its standard form.

As a safety precaution, PSCo would like to remind the developer to contact Colorado 811 for utility locates prior to construction.

Donna George
Right of Way and Permits
Public Service Company of Colorado dba Xcel Energy
Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com

Response: Acknowledged

