



July 14, 2023

Greg Barnes  
Principal Planner  
Adams County Community and Economic Development  
4430 South Adams County Parkway, 1st Floor, Suite W2000A  
Brighton, CO 80601

**RE: Clear Creek Transit Village – Final Development Plan and Final Plat Applications**

Dear Mr. Barnes,

Thank you for taking the time to review the Final Development Plan and Plat for the Clear Creek Transit Village project. We appreciate the feedback and have made changes to the submittal included herein. Please refer to the following pages for our responses to comments made. Should you have any questions or concerns please feel free to reach out to me by phone, at 303-892-1166 or by email, [bmahar@norris-design.com](mailto:bmahar@norris-design.com).

We look forward to working with Adams County to make this project a continued success.

Sincerely,  
Norris Design

A handwritten signature in black ink that reads "Bill Mahar".

Bill Mahar, AICP  
Principal



**Commenting Division: Planner Review**

**Name of Reviewer: Greg Barnes**

PLN01: The FDP will be recorded and will serve as the guiding document for referencing the zoning regulations of the Clear Creek Transit Village PUD. There are 2 important audiences that will need to be considered while this document is being drafted: 1. The County staff who will be reviewing permits and regulating the rules; and 2. The residents, tenants, and future property owners who will be living, running businesses, and maintaining these properties for future decades. In serving these audiences, I think the plan layout needs a major overhaul. Please consider the following Table of Contents:

1. Vicinity Map, Signatures, Legal Description, Table of Contents

**Response: FDP sheet set has been updated and reconfigured with the above items.**

2. Introductory Page with Narrative and descriptions of each Planning Area

**Response: Introductory page has been updated and includes general definitions. Planning Area descriptions are provided on sheet 4.**

3. Overall Map illustrating the spatial boundaries of each Planning Area in relation to the overall site.

**Response: Map has been included and updated and is on sheet 4.**

4. PA1 – Site Plan, Setbacks, Min/Max Lot Size/ Min/Max Lot Width, Structure Height, Floor Area Ratio, Required Landscape Buffers Width/Quantities, Parking, Lighting, Architectural Standards, Land Uses Allowed (specific quantiles required)

**Response: The required landscape buffer information is included on the Fence, Buffer, and Frontage Plan (sheet 22) rather than in each individual planning area sheets.**

**Planning Area 1 is for mixed use buildings. Allowed density and dimensional information requested has been included in a table within sheet 10. A table with specific architectural standards is also included. Additional information on architecture is located in the General Design Standards (Sheets 5-9).**

5. PA2 - Same details

**Response: Planning Area 2 is for mixed use buildings. Allowed density and dimensional information requested has been included in a table within sheet 11. A table with specific architectural standards is also included. Additional information on architecture is located in the General Design Standards (Sheets 5-9).**

6. PA3 - Same details

**Response: Planning Area 3 is for multifamily residential building with the option for ground level commercial uses. Allowed density and dimensional information requested has been**



included in a table. A table with specific architectural standards is also included on sheet 12. Additional information on architecture is located in the General Design Standards (Sheets 5-9).

7. PA4 - Same details

Response: Planning Area 4 is for the community park. As the park is primarily open space, dimensional standards would apply to only shade structures. See sheet 13.

8. PA5 - Same details

Response: Planning Area 5 is for multifamily residential building with the option for ground level commercial uses. Allowed density and dimensional information requested has been included in a table. A table with specific architectural standards is also included within sheet 14. Additional information on architecture is located in the General Design Standards (Sheets 5-9).

9. PA6 - Same details

Response: Planning Area 6 is intended for rear loaded townhomes. Allowed density and dimensional information requested has been included in a table. A table with specific architectural standards is also included within sheet 15. Additional information on architecture is located in the General Design Standards (Sheets 5-9).

10. PA7 - Same details

Response: Planning Area 7 is intended for rear loaded townhomes. Allowed density and dimensional information requested has been included in a table. A table with specific architectural standards is also included within sheet 16. Additional information on architecture is located in the General Design Standards (Sheets 5-9).

11. PA8 - Same details

Response: Planning Area 8 is intended for front loaded townhomes. Allowed density and dimensional information requested has been included in a table. A table with specific architectural standards is also included within sheet 17. Additional information on architecture is located in the General Design Standards (Sheets 5-9).

12. PA9 - Same details

Response: Planning Area 9 is intended for rear loaded townhomes. Allowed density and dimensional information requested has been included in a table. A table with specific architectural standards is also included within sheet 18. Additional information on architecture is located in the General Design Standards (Sheets 5-9).

13. Overall PUD Requirements that apply to all PAs – Mobility Plan (cars, bikes, pedestrians (maybe even think about bike and scooter rentals); Placemaking; Fencing requirements, Private Street Design Elements (roadway design, sidewalk design, street landscaping, etc.) , Overall site



perimeter landscaping that may not be specific to a PA, Uniform sign plan for commercial development, Address outdoor storage of goods, outdoor seating for restaurants, street furniture, public garbage and recycling amenities & maintenance.

**Response:** Information regarding the multi-modal aspects of the plan is included on sheet 2. This includes information about the pedestrian environment, accommodations for vehicles, and other improvements. Overall information about placemaking has been included in the general design standards (includes streetscape associated amenities). Any planning area specific placemaking components are also highlighted in individual planning area sheets. Information on signage is included in the general design standards. The required landscape buffer information is included in Fence, Buffer, and Frontage Plan (Sheet 22) rather than in each individual planning area sheets.

14. Open Space & Active Recreation – Calculations of what qualifies as Open Space and as Active Recreation. You're required to have 30% of your site qualify as "Open Space", and 7.5% of your overall site qualify as "Active Recreation". Ch. 11 of the Adams County DSR has definitions for each. This section should include specific site plans of these areas, landscaping requirements for these areas, and timeline metrics to ensure that these amenities are constructed in a manner that is coordinated with the other development. Don't forget to include any maximum heights and structure requirements for your open space amenities.

**Response:** A table is included that shows the provided and required amount of open space areas. This is on the Open Space and Active Recreation Plan on sheet 19.

PLN02: Placemaking is an important element in developing a dense, mixed use, urban center. This can be accomplished using street design, lighting, stamped concrete elements within the infrastructure, architectural elements at the pedestrian levels. Please consider placemaking as part of this plan. PUDs are supposed to be elevated projects to account for the density bonuses. Placemaking is an easy way to accommodate this. I always like to refer applicants to a mixed-use project that I worked on in Cary, NC. It's called The Arboretum. Use Google Street View to explore it and find inspiration.

**Response:** The design of the Clear Creek Transit Village has been thoughtfully designed to create a mixed use and residential neighborhood that is walkable and provides active recreation with connections to Clear Creek. This includes site specific amenities that create an activated streetscape in the mixed-use areas. A central community park will provide a creative open space for the community.

**Each Planning Area has specific design components for placemaking that enhance and create a sense of community for the uses within each Planning Area.**

PLN03: It's key to remember that the recorded FDP will essentially be zoning regulations. This document should not contain specific landscaping plans for the entire site. Use parameters and regulations. For instance, "Perimeter Buffer A" could be a type of buffer used along the eastern edge. Perimeter Buffer A could require 2 canopy trees and 3 shrubs for each 40-foot linear section, and a 20-foot width. There could also be language to identify that driveways are excluded in the measurement. Language to allow for spacing adjustment and clustering within each 40-foot section. Additionally use could provide a list of plant types that will be used throughout the PUD. By setting parameters for landscaping instead of a specific landscaping plan, you are avoiding the type of development that will require multiple amendments





to the PUD every time you want to change a landscape design. It gives the property owners more flexibility and allows for creative useful design. This also applies architecture of the structures. I think it's fine to provide conceptual elevations with your application, but they can be illustrative concepts that are not included in the recorded FDP but are supplemental items in your application packet.

**Response: Landscaping information for open space areas has been included on the Open Space and Active Recreation Plan (Sheet 19). Landscape guidelines have also been included.**

PLN04: Your submittal shows that many of the Planning Areas have a land use range of 0-100% for various types of uses. This is not acceptable. We will need more specific ranges within each area.

**Response: The Planning Area land use ranges have been adjusted. We have included minimum and maximum square footages for commercial uses to provide flexibility over time.**

PLN05: PUDs require elevated design to accommodate for density bonuses that are granted. The architectural design that has been provided is typically what you can find in any zoning district in Adams County. I do not see an elevated design. I would recommend utilizing high quality materials, segmented the structures in base, body, and cap using specific parameters that each structure will be required to have. Pedestrian-level architectural elements can be repeated throughout the PUD to add a sense of character. Will there be any minimum façade percentages of masonry material. How will large expanses of walls be broken-up? Is there a minimum amount of transparency? Please discuss color requirements.

**Response: Architecture information has been included within the General Design Standards (Sheets 5-9). Placemaking considerations are identified in each Planning Area (Sheets 10 through 18).**

PLN06: The FDP does not need to include easement information and construction details like concrete gutter width. This should be about zoning regulations. You'll have to submit permits for the structures and for the change in use. At the time of permitting, this could be important information to include. It's not relevant with the FDP and just creates unnecessary clutter.

**Response: Easement information has been removed.**

PLN07: A separate conceptual grading plan for the overall would be useful for the overall design as a supplemental application item.

**Response: Comment noted. The Civil CD submittal will include an updated conceptual grading plan.**

Final Plat Comments:

PLN08: Your engineering subdivision review is required to be approved by County Staff prior to the final plat being scheduled for public hearings.

**Response: Noted. A separate engineering subdivision review has been submitted to the County.**

PLN09: Cash in lieu of Public Land Dedication is required to be paid prior to the final hearing before the Board of County Commissioners. I have provided an estimate of these fees based on my understanding of what is being proposed currently. This can be edited as the FDP requirements become further developed.

**Response: Noted. We will address this with future submittals.**

PLN10: A subdivision improvements agreement (SIA) will be required with this final plat. It is recommended that you resubmit with a draft version of the SIA. I have provided the County's standard SIA template. It is also acceptable to delay submittal of the SIA draft until the specific open space and



infrastructure development is better determined. You will be expected to provide the County with Collateral for any improvements identified in the agreement prior to the SIA approval. We can discuss the collateral later in the process when we have a total for improvements cost.

**Response: Noted. We will address this with future submittals.**

PLN11: I have concerns about turnarounds on your plat design. Emergency vehicles are going to need adequate turnarounds in the design.

**Response: The project team is coordinating with Adams County Fire Rescue. Please see responses to ACFR comments below.**

PLN12: Why are sidewalks and streets in different tracts? Wouldn't it be better and simpler to combine the tracts into a single entity?

**Response: The sidewalk tracts were approved in the Preliminary Plat by the BOCC. Per discussions regarding the Preliminary Plat with Adams County Planning and Engineering staff in late 2021 and early 2022 it was decided that the sidewalks would be incorporated into tracts instead of putting them into the roadway right-of-way. This was an important factor for two reasons: The Metropolitan District requested that the sidewalks be in a separate tract for maintenance purposes and to then define that the sidewalk tracts are for public access. The Preliminary Development Plan requires the set back for the homes to be measured from the roadway ROW and by placing the sidewalks in the ROW it would then reduce the official set back distance and creating an issue for the setback distance.**

Other Comments:

PLN13: Please change the Case Number on the plat and FDP to PRC2023-00011.

**Response: Case numbers have been updated.**

PLN14: I'd like to see some evaluation of a Snow Removal Plan. This is going to be the most densely populated area in unincorporated Adams County. Planning for snow removal now will help you to get ahead of future problems.

**Response: Snow storage and removal will be the responsibility of the Metropolitan District No. 1 and/or the Homeowner's Association. Open space Tracts B, T, R and S have been identified as possible locations for snow storage.**

PLN15: Please consider commercial and residential delivery trucks when designing the roadways and parking areas. Response required.

**Response: This is something the consultant team is still looking into. Delivery areas will be allowed within future parking structures. There is also potential in some locations for on-street loading areas which could convert to on-street parking during specific hours. More information to come with future submittals.**

PLN16: Resubmittal instructions have been provided a cover sheet to these comments. Please follow the resubmittal instructions and provide the Resubmittal Form with your resubmittal. A response to referral agents is also required with your resubmittal. Please provide information regarding a mineral assessment study for the Colorado Geological Survey.

**Response: Comment noted.**



**Commenting Division: Building Safety Review**  
**Name of Reviewer: Heather Whitaker**

BSD1- Building permits would be required for each structure. Engineered plans will be required to obtain permits.

**Response: Comment noted.**

BSD2- Applicant should refer to commercial and residential submittal requirements. Here is a link for your reference <https://epermits.adcogov.org/submittal-checklists>

**Response: Comment noted.**

BSD3- Current adopted codes are the 2018 International Building Codes and the 2017 National Electrical Code.

**Response: Comment noted.**

BSD4- Applicant should contact Fire Department for their requirements. This is a separate permit, review, an inspection with your local fire department. Plan review approval from the fire department will be required at time of building permit.

**Response: Comment noted. Our team has been coordinating with Whitney Even at Adams County Fire Rescue.**

BSD5- Building height, number of stories, and building area are limited based on type of construction, occupancy, and whether fire sprinklers will be installed. A complete building safety review will be required to determine these limitations with the application of a building permit.

**Response: Comment noted.**

BSD6- For all residential single family dwelling attached under 3 stories, applicant will need to comply with State of Colorado requirements of Title 9 Article 5. An implementation plan will be required to show compliance.

**Response: Comment noted. The implementation plan will be shown during the building permit phase of the development.**

**Commenting Division: Economic Development Review**  
**Name of Reviewer: Lucas Workman**

ECD 01 - Please provide a timeline for the construction of the development and identify sequencing of the construction of site amenities, residential and commercial for each the nine planning areas. Infrastructure cannot be phased, and will be described in the terms of the Subdivision Improvements Agreement.



**Response: Construction for site infrastructure and buildings is anticipated to start in the second quarter of 2024. As we move forward, the project team will be meeting with Adams County to discuss the Subdivision Improvement Agreement.**

ECD 02 - Please be aware of the impacts to commercial property taxes due to the higher mills of a metro district if not separated out. The 2023 commercial assessment rate is 27.9% while the 2023 residential is 6.765%. This will be especially important if the constructed product is triple net lease and might price you out of the market.

**Response: Comment noted.**

ECD 03 - Please consider road system designs that accommodate for truck delivery for commercial tenants.

**Response: This is something the consultant team is still looking into. Delivery areas will be allowed within future parking structures. There is also potential in some locations for on-street loading areas which could convert to on-street parking during specific hours. More information to come with future submittals.**

ECD 04 - Placemaking is essential to creating an attractive environment to support experiential commerce. Please consider elevated placemaking design to help ensure the success of the commercial component of the development.

**Response: Overall information about placemaking has been included in the general design standards (includes streetscape associated amenities). Any planning area specific placemaking components are also highlighted in individual planning area sheets.**

ECD 05 - Please provide a more refined definition of proposed commercial uses and minimum/maximums (not 0-100%).

**Response: The Planning Area land use ranges have been adjusted. We have included minimum and maximum square footages for commercial uses to provide flexibility over time.**

**Commenting Division: Environmental Analyst Review**

**Name of Reviewer: Megan Grant**

**ENV1. Voluntary Cleanup Plan (VCUP)**

Tri County Health Department (TCHD) provided comments on previous permit application submittals for these parcels. One comment related to a requirement for a VCUP: "As stated in a previous letter, the FGIR-LTE indicates that construction debris and mixed trash and construction debris were encountered in 9 pot-hole excavations on the site. The applicant shall complete a VCUP, and may contact Fonda Apostolopoulos at the Colorado Department of Public Health and Environment (CDPHE), fonda.apostolopoulos@state.co.us, for more information." Is there an update to this requirement?

**Response: The VCUP was approved on December 23, 2021. The approval letter has been included.**



ENV2. A cross-section of the parcels is located within the Natural Resource Conservation Overlay (NRCO), corresponding to the 100-year floodplain also transecting the parcel. The NRCO aims to protect important wildlife areas, designated floodplains, riparian corridors, and cultural resources. See Sections 3-43 and 4-14-02 of the Adams County Development Standards and Regulations for more details.

**Response:** A Natural Resource Review report was prepared in accordance with Adams County Development Standards and Regulations and was deemed sufficient. No wetlands or waterbodies occur within the project area. The eastern portion of the project area overlaps the Clear Creek 100-year floodplain and during the 2020 inspection that area was occupied by a commercial business and parking lot. Currently, that area has been disturbed with approved grading activities from Adams County. Although the NRCO, occurs within the project area, Ensolum believes that the project area does not provide quality habitat for wildlife and does not consider the project area to have an exceptional environmental value.

ENV3. If disturbance of land not previously developed within the NRCO is greater than one combined (1) acre, then a Resources Review must be completed by a qualified professional consultant prior to application submittal so that it may be taken into consideration. See Section 4-11-02-03-04 for Resources Review methodology. If a Resources Review has been completed, please provide this documentation for review.

**Response:** A Natural Resource Review report was prepared in accordance with Adams County Development Standards and Regulations and was deemed sufficient. The only additional recommendation is because of the variability in the breeding seasons of various bird species and prevent possible violations of the Migratory Bird Treaty Act, Ensolum recommends a raptor survey consultation one week prior to construction to determine if any active nests are present in the project area so they can be avoided.

ENV4. All development must comply with the NRCO buffers/setbacks requirements for individual protected resources provided in Section 4-14-02-04-02-5 and the Resources Review.

**Response:** A Natural Resource Review report was prepared in accordance with Adams County Development Standards and Regulations and was deemed sufficient. The only additional recommendation is because of the variability in the breeding seasons of various bird species and prevent possible violations of the Migratory Bird Treaty Act, Ensolum recommends a raptor survey consultation one week prior to construction to determine if any active nests are present in the project area so they can be avoided.

ENV5. The subject parcels are located within the Adams County Mineral Conservation Overlay (MCO) district, the purpose of which is to establish reasonable and uniform limitations, safeguards, and controls for the conservation and wise utilization of natural resources and for rehabilitation of excavated land. Land within this classification is designated as containing commercial mineral deposits in sufficient size parcels and in areas where extraction and rehabilitation can be undertaken while still protecting the health, safety, and welfare of the inhabitants of the area and the County.

**Response:** Included with the resubmittal is a letter addressed to Megan Grant in the Community and Economic Development Department which responds to the Mineral Conservation Overlay comments.



ENV6. The applicant may need to provide a site-specific mineral survey for these parcels. The subject parcels are located within the MCO district but may be exempt from those requirements based on the following criteria:

1. Any parcel of land intended for uses that were allowed in the underlying zone district prior to July 1, 1973.
2. Any parcels of land five (5) acres or less in size in existence as a separate parcel prior to July 1, 1973.
3. Any parcel of land in excess of five (5) acres where it can be demonstrated the mineral resource is not of commercial quality and quantity.

**Response: Included with the resubmittal is a letter addressed to Megan Grant in the Community and Economic Development Department which responds to the Mineral Conservation Overlay comments.**

The following comments apply to applicants proposing food businesses:

ENV7. Illness-causing organisms are spread easily to the public through food and beverages. To reduce the risk of food borne illnesses, Adams County Health Department (ACHD) reviews plans for new and remodeled retail food establishments for conformance with the Colorado Retail Food Establishment Rules and Regulations. The applicant shall submit plans for the proposed food establishment to 7190 Colorado Blvd., Ste. 200, Commerce City, CO 80022, along with the appropriate Plan Review Packet found at <https://adamscountyhealthdepartment.org/food-license-application>.

**Response: Comment noted.**

ENV8. Plans must be approved by ACHD before the start of construction; therefore, staff recommends completion of the ACHD plans review before issuance of a building permit for the construction. The applicant may call ACHD's Plan Review at 303-288-6816 to determine requirements and schedule inspections. Instructions for opening a retail food establishment can be found at: <https://adamscountyhealthdepartment.org/retail-food-licensing>.

**Response: Comment noted.**

The following comments may apply at time of design and construction:

ENV9. Exposure to air pollution is associated with numerous health problems including asthma, lung cancer, and heart disease. Construction and traffic in unpaved areas may contribute to increased fugitive dust emissions. Adams County recommends the applicant utilize all available methods to minimize fugitive dust during all phases of construction.

**Response: Comment noted.**

ENV10. An inert fill permit must be obtained prior to importing any volume of fill material onto the parcel as part of site development. The permit type will depend on the duration and total volume of fill imported to the site.

**Response: Comment noted. Clear Creek Transit currently holds an inert fill permit from the County under TVM2022-00032.**

ENV11. The way that buildings are designed impacts health through the materials used and the amount of volatile organic compounds (VOCs) or other harmful chemicals that they contain; the air and water quality;





the amount of daylight; and even by encouraging physical activity and social interaction. Adams County encourages the applicant to consider incorporating design standards into the development to ensure a health-promoting environment. The applicant could pursue building certifications such as LEED, WELL Building Standard, Certified Healthy, or Living Building Challenge.

**Response: Comment noted.**

ENV12. Adams County encourages community designs that make it easy for people to include regular physical activity, such as walking and bicycling, in their daily routines. Because research shows that the way we design our communities can encourage regular physical activity, community plans that incorporate pedestrian and bicycle amenities that support the use of a broader pedestrian and bicycle network are strongly encouraged. Neighborhoods best encourage residents to walk and/or bicycle as part of their daily routine when they contain a system of well-designed sidewalks and trails that connect with destinations in and adjacent to the community.

**Response: The design of the Clear Creek Transit Village is geared towards a broader use of mixed transportation options, including the use of the adjacent transit stops. Higher densities, walkable streets with pedestrian amenities and direct connections to the Clear Creek bicycle path are also included.**

ENV13. The applicant is encouraged to consider crosswalks where pedestrian sidewalks cross internal site drive lanes to ensure safe, well-lit pedestrian crossings that are easily visible to drivers. The simplest crossing design would be to post signs and provide striping on the pavement. Any pedestrian improvement should be raised, striped, or otherwise denoted so that it is visible to drivers, thus slowing speeds and reducing the risk of pedestrian injury.

**Response: The encouragement of different paver types is included in the FDP, to delineate crosswalks in key locations and enhance pedestrian safety while slowing vehicles. Street lighting and other pedestrian amenities are included as well, to further encourage pedestrian safety.**

ENV14. Where public transportation systems exist, direct pedestrian access should be provided to increase transit use and reduce unnecessary vehicle trips, and related vehicle emissions. The pedestrian/bicycle networks should be integrated with the existing and future transit plans for the area.

**Response: Direct pedestrian connections to the Clear Creek Transit Station are included in this proposal, via sidewalks along Federal Boulevard.**

ENV15. Adams County recommends the incorporation of bicycle parking into the overall site design for residents of the building and visitors. Bicycle parking locations and design should allow for safe access from external roads and sidewalks and to/from buildings and internal pedestrian paths.

**Response: Bicycle parking is allowed and encouraged in the FDP.**

**Commenting Division: Development Engineering Review**

**Name of Reviewer: Matthew Emmens**

ENG1: Flood Insurance Rate Map – FIRM Panel # (08001C0592H), Federal Emergency Management Agency, March 5, 2007. According to the above reference, the project site IS located within a delineated



100-year flood hazard zone; A floodplain use permit will be required for development within the Floodplain.

**Response: Comment noted.**

ENG2: The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. In the event that the disturbed area of the site exceeds 1 acre and the site is within the Adams County MS4 area, then the applicant shall be responsible to prepare the SWMP plan using the Adams County ESC Template, and obtain both a County SWQ Permit and State Permit COR400000. The Clear Creek Transit Village site is located within the Adams County MS4 permit area. An Adams County SWQ Permit is required for development of this site. The applicant should contact Juliana Archuleta, the County's Stormwater Program Manager, to inquire about obtaining a SWQ Permit. Ms. Archuleta can be contacted at 720-523-6869 or By email at [mjarchuleta@adcogov.org](mailto:mjarchuleta@adcogov.org).

**Response: Members of the consultant team have been discussing the items listed above with Ms. Archuleta and will be incorporating the necessary infrastructure components into the civil construction documents. Clear Creek Transit currently holds the applicable County and CDPHE stormwater permits. Please reference CSI2020-00011 for the Adams County Permit for grading activities only. This permit will have to be modified if any new construction commences. Please refer to permit number COR409218 for the active CDPHE stormwater permit. The CDPHE permit will also need a modification prior to construction. Clear Creek Transit currently has a Stormwater Management Plan (SWMP) in place for Grading only and is currently conducting the inspections per the regulation frequency.**

ENG3: Prior to scheduling the final plat/FDP BOCC hearing, the developer is required to submit for review and receive approval of all construction documents (construction plans and reports). Construction documents shall include, at a minimum, onsite and public improvements construction plans, drainage report, traffic impact study. All construction documents must meet the requirements of the Adams County Development Standards and Regulations. The developer shall submit to the Adams County Development Review Engineering division the following: Engineering Review Application, Engineering Review Fee, electronic copies of all construction documents. The development review fee for an Engineering Review is dependent on the type of project and/or the size of the project. The Development Review fee can be found in the Development Services Fee Schedule, located on the following web page: <http://www.adcogov.org/one-stop-customer-center>.

**Response: Noted. Civil construction documents, which are a separate submittal, are anticipated to be in later July or early August.**

ENG4: The developer is required to construct roadway improvements adjacent to the proposed site. Roadway improvements will consist of curb, gutter and sidewalk adjacent to the site and, any roadway improvements as required by the approved traffic impact study.

**Response: Comment noted, improvements along Federal Boulevard are anticipated and shown in the civil construction documents. The civil construction documents are a separate submittal and are planned to be submitted later in July or early August.**



ENG5: Prior to the issuance of any construction or building permits, the developer shall enter into a Subdivision Improvements Agreement (SIA) with the County and provide a security bond for all public improvements.

**Response: Comment noted.**

ENG6: No building permits will be issued until all public improvements have been constructed, inspected and preliminarily accepted by the County's Public Works Dept.

**Response: Comment noted.**

ENG7: The developer is responsible for the repair or replacement of any broken or damaged section of curb gutter and sidewalk or other County infrastructure damaged during construction.

**Response: Comment noted.**

ENG8: LOW IMPACT DEVELOPMENT (LID) STANDARDS AND REQUIREMENTS Section 9-01-03-14: All construction projects shall reduce drainage impacts to the maximum extent practicable, and implement practices such as:

1. On-site structural and non-structural BMPs to promote infiltration, evapo-transpiration or use of stormwater,
2. Minimization of Directly Connected Impervious Area (MDCIA),
3. Green Infrastructure (GI),
4. Preservation of natural drainage systems that result in the infiltration, evapo-transpiration or use of stormwater in order to protect water quality and aquatic habitat.
5. Use of vegetation, soils, and roots to slow and filter stormwater runoff.
6. Management of stormwater as a resource rather than a waste product by creating functional, attractive, and environmentally friendly developments.
7. Treatment of stormwater flows as close to the impervious area as possible. LID shall be designed and maintained to meet the standards of these Regulations and the Urban Drainage and Flood Control District's Urban Storm Drainage Criteria Manual, Volume 3.

**Response: The consultant team is working with Ms. Archuleta on Low Impact Development Standards and the specific standards will be included in the civil construction document resubmittal. That civil construction document resubmittal will likely take place in later July or early August.**

ENG9: Per CDOT requirements, developer is required to provide an access easement for the properties to the North of the site.

**Response: Access to the north has been maintained by a dedicated tract. See Tract Y within the proposed Final Plat.**

**Commenting Division: Neighborhood Services Review**

**Name of Reviewer: Gail Moon**

There are no OPEN violations at these locations at this time. NO COMMENT



Response: Comment noted, thank you.

**Commenting Division: ROW Review**

**Name of Reviewer: David Dittmer**

Final Plat Comments:

ROW1: The case number need to be revised to the 2023 case number.

Response: Case number has been updated.

ROW2: Provide the title of the officer executing on behalf of the lien holder.

Response: Comment noted. Will be updated with next submittal.

ROW3: Need to provide addressing and street naming sheet with this plat.

Response: The plat has been updated to include the street naming sheet.

ROW4: If the Alley Tracts are also used for drainage, this should be added to it's purpose in the Tract Table.

Response: Comment noted. Alleys are not proposed for official drainage purposes.

ROW5: Need to verify Fire Department has signed off on the roads as laid out as to access for emergency vehicles.

Response: Comment noted. We are working with Adams County Fire Rescue. See comment responses to Adams County Fire Rescue.

FDP Comments:

ROW1: CERTIFICATE OF OWNERSHIP execution block for the owner should match that of the plat with the waterfall.

Response: The Certificate of Ownership execution block has been updated with the waterfall information from the plat.

**Adams County Fire Rescue (Fire Prevention Bureau)**

**Access Requirements**

In previous reviews, fire apparatus access roads were provided that met this requirement. See the exhibit that was previously provided on page 6. Please also indicate where no parking signs will be located. Provide an exhibit to indicate how this will be met for each structure.

Response: An exhibit showing parking locations and fire access was provided separately to ADFR. Follow up question included: *Is on-street parking planned for the 30' private drives?* Follow up to this question is that parking is not included within the 30' drive area, but adjacent to it. Any parking along these areas includes additional pavement for parking and is out of the 30' drive area.



Dead end access roads are shown on the proposed plans. Please provide a plan showing the length of all dead-end access roads. An updated autoturn analysis utilizing our truck specifications will also be required showing the ease of maneuverability for all fire access roads and turnarounds

**Response:** An Autoturn exhibit was provided separately to ADFR. Comments provided from ADFR are: *The private drive between PA-5 and PA-2 exceeds 150'. This was discussed in previous reviews. All buildings within this project will require the design and installation of approved automatic fire sprinkler systems. The multi-family buildings will likely require the installation of standpipes as well. An additional hydrant will likely be required to near the 179' dead end. This will be verified when the utility plans are reviewed.*

#### CDOT

Landscape plans approved.

**Response:** Comment noted and thank you for reviewing. County Planning staff requested that the landscape plans will not be part of the final FDP document. They requested that they are submitted at time of building permit submittal. In the future, we understand that an agreement will be required for plantings within the CDOT right-of-way.

The applicant, consultant and contractors shall follow all guidelines/requirements as defined in the ECIS (Environmental Clearance Information Summary) form to be provided by the CDOT Permit's Office.

**Response:** Comment noted.

Nothing additional is needed for environmental.

**Response:** Comment noted.

Didn't have roadway plans. Previous comments should not affect the Plat. Will want to see the curb ramps addressed in future plans.

**Response:** Response: Comment noted. Curb ramp details are part of the civil construction document submittal. This submittal will be submitted in later July or early August.

Final Plat shows 20' ROW Dedication on west side of Federal to Adams County (Pages 3 and 4 of 15) - this is fine for the Final Plat, once the final plat is recorded, if the County Decides to transfer the 20' Strip on the west side of Federal to CDOT it needs to contact Penny Clemons and provide a legal description of the tract and an exhibit with an aerial underlay showing the tract. Penny will route through Survey and Environmental for Concurrence and then once everything is approved, a Deed will need to be recorded transferring the property to CDOT, we prefer General Warranty Deed.

**Response:** Comment noted.

Access permits will be required for the closing of any existing accesses/curb cuts. AE 4-26-23



**Response: Comment Noted.**

At this time, CDOT staff is devising a strategy & process for accommodating Utilities in the RoW. Instructions and comments will be forthcoming-separately. It may be necessary to add a note and or notations on the subdivision plat.

**Response: Comment noted.**

**Water Supply Demand**

The applicant shall provide updated estimates on the water requirement to the county if the above listed estimates changes since the October 22, 2012 letter.

**Response: The proposed project has changed since 2012 and we will provide updated estimates as requested to the County.**

**State Engineer's Office Opinion**

Based upon the above and pursuant to Section 30-28-136(1)(h)(I) and Section 30-28-136(1)(h)(II), C.R.S., it is our opinion that the proposed water supply is adequate and can be provided without causing injury to decreed water rights.

**Response: Comment noted.**

**Colorado Geological Survey**

**Mineral Resource Potential**

A determination of whether the property contains an economic mineral resource is outside the scope of CGS review. A site-specific investigation would be required to verify the presence or absence of a resource.

**Response: Comment noted. Included with the resubmittal is a letter addressed to Megan Grant in the Community and Economic Development Department which responds to the Mineral Conservation Overlay comments.**

A geotechnical investigation consisting of drilling, sampling, lab testing and analysis will be needed, if this has not been completed already, once building locations are identified, to: characterize soil and bedrock engineering properties such as density, strength, swell/consolidation potential and bearing capacity; to determine subgrade preparation and structural fill requirements; and to design foundations, floor systems, surface and subsurface drainage, pavements, etc.

**Response: Comment noted. Original geotechnical report has been submitted with the first FDP submittal.**

**Artificial Fill**

The site may be underlain by fill placed to raise it above the Clear Creek 100-year flood zone, and/or debris from past onsite or adjacent uses. If fill is identified during the geotechnical investigation and documentation cannot be located which verifies proper placement and compaction, the fill should be removed and replaced as densely compacted fill. Any debris-laden fill encountered will need to be removed and replaced with clean, properly placed and compacted structural fill.





Response: Comment noted.

#### Shallow Groundwater

Based on the site's close proximity to Clear Creek and surface water features associated with former mining pits, groundwater should be expected to occur at fairly shallow depths beneath the site. Below-grade excavations will probably require dewatering, and below-grade space (basements and crawl spaces) should not be considered feasible.

Response: Comment noted.

#### Denver Water

There is an easement owned by Crestview Water. We recommend reaching out to them for comments at 303-429-1881, [manager@crestviewwater.com](mailto:manager@crestviewwater.com).

Response: Noted, our team has been coordinating with Crestview.

#### RTD

The RTD has no exceptions to this project at this time.

Response: Comment noted.

#### Xcel Energy

Please also note that for plats, Xcel Energy's standard distribution easement requirements within the following types of lots are as follows:

- **Commercial/School/Apartment Properties**
  - Gas main 6'
  - Electrical distribution line 10'
  - Joint trench 15'
  - Transformer 15' x 15'
  - Switch cabinet 20' x 20' or 15' x 25' depending on model
  - 10' easement is required along all lot lines abutting any public rights-of-way
- **Residential Property**
  - Gas distribution line, front lot 6'
  - Electrical distribution line, rear lot 8'
  - Joint trench 10'
  - Multi-Unit developments require a 10' easement along all lot lines abutting any public rights-of-way
  - Transformer and Switch cabinet remain the same as commercial property
- **Gas Line Clearances – all lots**
  - All gas lines must maintain a minimum 5' of clearance from any structure, therefore, easement must adjust accordingly
- **Gas Lines Not Adjacent to Road Surface – all lots**
  - Must be adjacent to drivable pavement/walkway that is a minimum of 8' wide & 6" thick to allow service trucks access and plowing in snowy conditions

Response: Comments noted.



PSCo also requests that EASEMENT STATEMENT and UTILITY EASEMENT NOTE #2 are combined into one dedication statement:

*Utility easements are dedicated to Adams County for the benefit of the applicable utility providers for the installation, maintenance, and replacement of electric, gas, television, cable, and telecommunications facilities (Dry Utilities). Utility easements shall also be granted within any access easements and private streets in the subdivision. Permanent structures, improvements, objects, buildings, wells, water meters and other objects that may interfere with the utility facilities or use thereof (Interfering Objects) shall not be permitted within said utility easements and the utility providers, as grantees, may remove any Interfering Objects at no cost to such grantees, including, without limitation, vegetation. Public Service Company of Colorado (PSCo) and its successors reserve the right to require additional easements and to require the property owner to grant PSCo an easement on its standard form.*

**Response: Comment noted.**

Additional easements may need to be acquired by separate document (i.e. transformers) – be sure to ask the Designer to contact a Right-of-Way & Permits Agent in this event.

**Response: Comment noted. Statements have been combined.**

### **Neighborhood Comment**

Dear Community and Economic Development Department,

I am writing to express my concerns regarding the proposed Clear Creek Transit Village development, specifically its impact on the current residents of the Garden mobile homes community. As a resident of the Garden mobile homes, I am deeply concerned about the potential increase in traffic and noise that may come with the proposed development. I am also worried about the potential for the development to attract the wrong crowd, which may adversely affect the safety and security of the Garden Mobile Home Community.

I am also concerned about the length of time it will take for the development to be completed and how it will impact the residents of Garden mobile homes during this time. I would like to know what measures are being put in place to mitigate these issues for the residents that already own homes in the area. As a resident of the Garden mobile homes community, I would like to know how my concerns and the concerns of my neighbors will be addressed in the development process.

I urge you to take these concerns into consideration when evaluating the proposed Clear Creek Transit Village development. I hope that you will take the necessary steps to ensure that the current residents of Garden mobile homes are not adversely impacted by the development and that their interests are fully considered throughout the development process.

Thank you for your attention to this matter.

Isabel Delgado



**Response:** Thank you for your comments. As this development moves forward, the developer will be subject to construction requirements, as required by Adams County. This may include construction noise, timing of construction, and necessary traffic mitigation. The development will bring market rate housing that is a mix of owner occupied and rental homes. The development will also bring in high quality commercial uses that will be activated and will create a neighborhood feel within this development area.

Hal Fairbanks called in support of these applications

**Response:** Noted. Thank you for your comments.

**Neighborhood Comment**

Mr. Barnes,

Wow. Removal of landscape buffers and a major increase in density from about 800 units to 937. This is much different than previous versions.

**Response:** The proposed density is lower than the allowed density.

Short answers:

1. Please place the 30-50 foot landscape buffers back along the north and west edges vs building so close to the property line. These would be great walking trails for the CCTV.

**Response:** The landscape buffers meet the requirements set forth and approved in the PDP.

2. The narrative quotes an approval in 2012 and amendment in 2015. Weren't those where AdCo didn't follow it's own process, was sued by the adjacent land owner, and lost that law suit in a short amount of time causing a "restart" of this process? Please explain how this follows those unapproved processes and doesn't have to start over.

**Response:** The current applicant has received approval in late 2022 of the preliminary plat by the Board of County Commissioners as well as an amendment to the Preliminary Development Plan. The project is following the development process as specified by Adams County.

3. This is a great TOD area, but it seems the open space/park area is much too small for the density.

**Response:** The proposed open space and park plan is following the configuration set forth by the initial Preliminary Development Plan and the Preliminary Plat, both land use applications were approved by Adams County Board of County Commissioners. We are meeting and exceeding the open space/park requirements as required by the PDP. Please see sheet 19 of 29 of the draft FDP.

4. The density looks like it was designed for maximum tax increases for AdCo. What has the applicant told the County will be the tax increase in property taxes and retail uses?

**Response:** Thank you for your comment. The overall density of the proposed development plan has been reduced from the maximum allowed.



5. This looks like it will place a grid-lock amount of additional traffic on Federal Boulevard. I'm guessing the County has already required a traffic impact study which showed new turn lanes, signalized intersections, and downstream and upstream. Can you send me the conclusions of that study, please?

**Response: A traffic impact study has been submitted and comments have been provided.**

Thank you for you time.

Todd Smith, PhD, PE, LEED-AP

### Neighborhood Comment

To Whom it may Concern,

Regarding: Clear Creek transit Village Planned Unit Development.

A couple of concerns:

I don't think there is enough parking for all the apartments. Most couples have two cars.

Curb extensions to increase pedestrian visibility or shorten crossing distance for pedestrian,

Consider it non fiction writing

Will they landscape both sides of clear creek. Will they landscape all the way to san Greco? Where the homeless encampment is?

Do we really need a higher density of population then downtown Denver?

Will they build a foot bridge across clear creek. Since the clear creek trail passes the proposed clear creek transit village. Which is trying to improve pedestrian traffic, therefore it would be much safer to go under federal blvd and across a foot bridge to the light rail. This will enhance their philosophy of accessible recreation and transportation opportunities for existing and future residence. Especially young children trying to cross federal which is a 6 lane highway 287 at the intersection.

(wayfinding to encourage pedestrian movement for future residents and all sidewalk or trail users)

They should improve all the green space as to enhance clear creek's ecological benefits closer to residents. Ie between the railroad tracks and the development. This would allow the residence a shorter walk to a so called park. Less than 10 minutes

Adding a controlled pedestrian crossing of federal is a good idea. It is very difficult to cross while trying to access the light rail.

Thank you

**Response: Thank you for your comments. The proposed parking information is included on sheet 2 of 29 of the FDP. The proposed residential requires 2 spaces per unit. Curb extensions are considered where applicable. Landscaping will be provided on the development area. The proposed density is lower than what is allowed.**



Neighborhood Comment


Jordan High Pressure Washer Corp.  
6241 Federal Blvd  
Denver CO 80221

Tel. 303 426 6800  
Fax 303 426 4678

*April 17, 2023*

*Project Number PRC 2023-00011  
Clear Creek T Vil,*

*We support this application.*

*Sincerely*  


*C A JORDAN  
President.*

Response: Comment noted, we thank you for the feedback.







CLEAR CREEK TRANSIT VILLAGE
AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:
PRC2023-00011



NARRATIVE

A. Explanation of the Characteristics of the PUD and its Potential Impact on the Surrounding Area

The Clear Creek Transit Village (CCTV) is comprised of approximately 21.09 acres located near Clear Creek on the south and Federal Boulevard which borders the site on the east. Neighboring uses include a mix of commercial and industrial directly to the north, on the northwest are single family homes that reside beyond the body of water. Commercial and light-industrial uses exist across Federal Boulevard to the east and south. The western portion of the development is bordered by Lake Sangraco. CCTV is intended to tie the various uses of the area together into a dynamic, multi-use neighborhood, with access to transit, trails, and will result as a destination along Federal Boulevard.

CCTV is envisioned as a mixed-use, transit-oriented development (TOD) due to its proximity to the Clear Creek-Federal Station of RTD's Gold Line. The area is defined in Adams County's Clear Creek Valley TOD Plan as a "Mixed-Use Village Center." CCTV's access to the existing sidewalks and trails, as well as the planned pedestrian network strengthens and supports the walkability of the neighborhood. The site's location adjacent to the Gold Line commuter rail corridor and Clear Creek-Federal Station, the Clear Creek Trail, mix of land uses, proximity to downtown Denver and abundant outdoor recreation opportunities defines the character of Clear Creek Transit Village. About 25% of the site is within 1/4 of a mile of the Clear Creek-Federal Station and the entire site is within 1/2 mile of the station.

Key buildings in prominent locations will be designed to accommodate ground-floor commercial, which includes retail, office, and restaurants. Ground floor building space may also include residential uses. The upper stories of the buildings may accommodate residential and/or commercial uses, including but not limited to office space.

CCTV is comprised of 9 distinct Planning Areas (PAs). PAs 1, 2, 3 & 5 will be permitted to accommodate mixed-use development, including residential, commercial, and civic/ institutional uses at various scales. PA-4 is intended to be developed as a public park and PAs 6-9 will be residential.

Clear Creek Transit Village will create high potential for spurring more development and redevelopment in the vicinity. This is because commuter rail stations are assets to their communities by offering residents an alternative or supplement to automotive transportation. Commuter rail stations also induce demand for commercial land uses due to increased exposure and thoroughfare. Ultimately, demand for property in and around the Clear Creek Valley is likely to accelerate as CCTV develops.

B. Expected Densities and Land Coverage - Number, Type, and Size of Buildings and Residential Units

For the entire site, the maximum total amount of permitted commercial and institutional uses, which include retail and office space, may be up to 250,000 square feet of net building area. A variety of residential uses may include condominiums, apartments, townhomes, and live/work dwelling units. The maximum total number of allowable residential dwelling units may be up to 1,125 units. The maximum density for residential uses may average up to 54 dwelling units per gross acre. The minimum gross residential density shall be no less than 5 dwelling units per acre.

C. Provisions for Parking

Off-street parking for multi-family and non-residential developments shall be designed to provide for the safe and convenient movement of vehicles, bicycles, and pedestrians to and from the site. Parking garages will be constructed within the mixed use area to accommodate those developments.

Parking ratios will be guided by industry standard shared parking practices. All streets within CCTV will accommodate short-term on-street parking as well as bicycle parking (in select areas).

Maximum parking ratios for the development shall govern, except as otherwise provided in this FDP, as follows:

Table with 2 columns: Use, Maximum Parking Ratios. Rows: Residential (2 spaces per unit), Retail (4 spaces per 1,000 sq. ft.), Office (3 spaces per 1,000 sq. ft.), Restaurant (8 spaces per 1,000 sq. ft.).

Parking structures, surface parking, below-grade parking, and on-street parking adjacent to any PA may be utilized to satisfy the parking requirement for any permitted use in a PA. Parking for a PA may be located in a parking lot or structure near the use. On-street loading parking stalls for retail and multifamily are encouraged near entrances that accommodate each use.

On-street loading stalls for retail and multi family are encouraged near entrances that accommodate each use. The civil CDs will reflect on-street loading locations. Loading zones and stalls may occur in internal parking garages to access elevators, internal pedestrian corridors and other building entrances.

D. Circulation and Road Patterns

Due to the site being surrounded by bodies of water on three sides, the vehicular connectivity to and from the development can only occur on Federal Boulevard. The gridded street layout at CCTV is intended to optimize pedestrian and vehicular movement throughout the development and to Clear Creek. The main vehicular access to the site is planned to be a full movement signalized intersection at West 60th Place and Federal Boulevard. Clear Creek Avenue and Federal Boulevard will be a non-signalized right-in right-out intersection to facilitate southbound Federal Boulevard traffic into and out of the development.

Pedestrian safety is a central element of the CCTV plan. The proposed streetscapes within the Mixed-Use Street Area include sidewalks wide enough to allow for pedestrian flow, with included curb bump-outs to provide additional safety and separation from vehicle right-of-way. Additionally, parallel parking exists throughout the site adjacent to drive lanes to allow for additional separation from the pedestrian space. Pedestrian connectivity is a hallmark of the CCTV neighborhood and the streetscapes, building forms and landscaping aims to create a comfortable and safe environment to encourage an active, walkable and aesthetically pleasing environment.

E. Ownership and Maintenance of Common Areas

Maintenance of common areas within the boundaries of the PAs will be performed by the owners and/or owner's association within the individual blocks. Common areas, such as sidewalks, various tracts and public open spaces, will be maintained by the Clear Creek Transit Metropolitan District No. 1 or a property owners association, with the exception of Tract B and T that will be exclusively maintained by a homeowners association.

F. Type, Location, and Examples of Monument Signs

Entry monumentation signage may be located at key locations along the Federal Blvd corridor. An additional hierarchy of signage may also include information, tenant and wayfinding signage. All signage will be within a complimentary family that reflects the architectural materials, colors, lighting, and scale of any adjacent buildings and/or surroundings. For examples of signage, see sheet 9.

G. Type and Allocation of All Uses Including Permitted Uses, Uses Permitted after Amendment to the PUD, and Prohibited Uses

The purpose of the CCTV PUD is to facilitate residential (multi-family and single family attached), retail, office and service land uses to serve the needs of area residents while retaining versatility to accommodate market conditions. Reference the approved Clear Creek Transit Village Preliminary Development Plan for a full list of approved commercial, residential, civic and accessory/special uses.

H. Location and Types of Landscaping/Open Space and Maintenance Provisions

A variety of open space will be provided at CCTV that will include: streetscapes adjacent to buildings; a public park located in the center of the project; open space and a water quality pond adjacent to Clear Creek; and private internal amenities within or adjacent to building envelopes. These private amenity spaces may include courtyards, plazas, swimming pools, patios, and rooftop gardens.

The overall landscape concept for Clear Creek Transit Village is intended to emphasize the site's natural surroundings and proximity to Clear Creek and riparian habitat. Located immediately adjacent to and along the northern perimeter of the creek, the site is enhanced by the natural aesthetics, and by ample opportunity to connect to the Clear Creek Trail. The Federal Boulevard streetscape will contain formal tree plantings, low water use shrubs and groundcover plantings. This design will carry-through to internal streetscapes where ground floor retail or office uses are anticipated to create a decidedly urban context. These streetscapes will be maintained by the Clear Creek Transit Metropolitan District No. 1 or property owner's association.

The Village Green will serve as an outdoor living room for the entire community. A large turf play area is included, along with street trees, site furniture and other amenities typical to urban parks. Site furnishings will reflect colors and materials incorporated in surrounding architecture. The Village Green will be maintained by the Clear Creek Transit Metropolitan District No. 1 or property owner's association.

Residential areas of the development will feature sidewalks, turf, trees, shrubs, perennials, and groundcover plantings. Residential streetscapes will be maintained by the Clear Creek Transit Metropolitan District No. 1 or property owner's association.

The frontage near and along Clear Creek (Tracts R & S) will receive an "enhanced native" landscape treatment designed to complement and support the riparian environment. This landscape area will be maintained by the Clear Creek Transit Metropolitan District No. 1 or property owner's association, subject to discussion regarding open space maintenance responsibility with Adams County and the Hyland Hills Park and Recreation District.

The northern and western perimeter landscapes are designed to provide a buffer to adjacent residents. The northern edge (Tracts A & B), adjacent to the existing Aloha Beach landscape berm and fence easement, features closely spaced evergreen tree plantings designed to enhance the existing buffer. The western perimeter (Tract T) also features closely spaced evergreen tree plantings located along the western property line. Both the northern and western perimeter also feature a minimum six-foot-high metal fence.

The northern and western buffers lying outside the existing landscape easement will be maintained by the sub-association or vertical developer of the adjacent development parcels. The existing landscape easement at the northern perimeter will be maintained by the Aloha Beach Neighborhood Association as per the terms of the existing Landscape Berm and Fence Easement, (Book 4701, Page 983 - Adams County Clerk and Recorder).

Snow storage and removal will be the responsibility of the Metropolitan District No. 1 and/or the Homeowner's Association. Open space Tracts B, T, R and S have been identified as possible locations for snow storage.

I. Utility Services

The following is a list of the service providers for the necessary utilities for the CCTV.

Electricity and Natural Gas: Xcel Energy

Water and Sanitary Sewer: Crestview Water and Sanitation District, Metro Wastewater Reclamation District

Cable Television: Comcast

Telephone/Internet Service: Century Link, Comcast

J. Estimated Timetable for Development

The CCTV will most likely be developed in several phases based around future market conditions and trends.

K. General Definitions

The definitions of words and terms used in the Clear Creek Transit Village Final Development Plan shall follow the "Rules of Construction" established by the Adams County Standards and Regulations, Chapter 11-02 Words, Terms or Phrases (adopted January 17, 2023). In addition, the Clear Creek Transit Village Final Development Plan defines the following terms as:

Transit Oriented Development (TOD): Land-use category wherein a development or project integrates higher density construction with transit, characterized by a pedestrian-oriented environment that allows people to live and work generally within a five-to-ten-minute walk (or other self-propelled method of transport) of a transit stop.

Mixed-Use: Land-use category characterized by pedestrian friendly development that allows for the horizontal and/or vertical combination of two or more land uses in a parcel, site, lot, building, planning area, or district.

Shared Parking: Parking spaces, parking structures, or parking lots shared between one or more uses, allowing for a more efficient use of parking spaces, as well as land.

Bicycle Route: A designated and clearly defined pathway limited to the use of bicyclists.

Mixed-Use Street Area: The Mixed-Use Street Area is comprised of Planning Areas 1-5 and consists of higher-density buildings and uses including residential and retail. These Planning Areas are generally located adjacent to Federal Boulevard within the eastern half of the Clear Creek Transit Village FDP. The Mixed-Use Street Area allows for a range of uses and emphasizes the pedestrian oriented nature of a TOD district. This area includes multi-modal connections including pedestrian access to transit across Federal Boulevard and the internal pedestrian network of the development, as well as access to the Clear Creek Trail to the south via a new trail connection. The proposed sidewalks meet the typical width standards of a minimum of 5 feet to allow for pedestrian movement and the roads provide the necessary travel lanes and on-street parking is provided where applicable.

Townhome Street Area: The Townhome Street Area is comprised of Planning Areas 6-9 and consists of townhomes and is strictly residential in nature. These Planning Areas are in the western half of the Clear Creek Transit Village FDP. This area includes multi-modal connections including pedestrian access to the internal pedestrian network of the development, as well as access to the Clear Creek Trail to the south via a new trail connection. The proposed sidewalks meet the typical width standards of a minimum of 5 feet to allow for pedestrian movement and the roads provide the necessary travel lanes and on-street parking is provided where applicable.

CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
OWNERS NAME
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK Q00F 1 L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

NOT FOR
CONSTRUCTION

DATE:
FDP-01-03/16/2023
FDP-02-07/07/2023
DRAFT

SHEET TITLE:
NARRATIVE



CLEAR CREEK TRANSIT VILLAGE  
AT CLEAR CREEK  
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO  
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:  
PRC2023-00011

**NORRIS  
DESIGN**  
PEOPLE • PLACEMAKING  
1101 BANNOCK STREET  
DENVER, CO 80204  
P 303.892.1166  
NORRIS-DESIGN.COM

CONTEXT MAP



Conceptual plan and subject to change.

CLEAR CREEK TRANSIT VILLAGE  
FINAL DEVELOPMENT PLAN  
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:  
OWNERS NAME  
CLEAR CREEK VILLAGE, LLC  
THISTLE CREEK QOF, L.P.  
14034 SOUTH 145th EAST  
DRAPER, UT 84020

NOT FOR  
CONSTRUCTION

DATE:  
FDP-01-03/16/2023  
FDP-02-07/07/2023  
**DRAFT**

SHEET TITLE:  
CONTEXT  
MAP



CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK  
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO

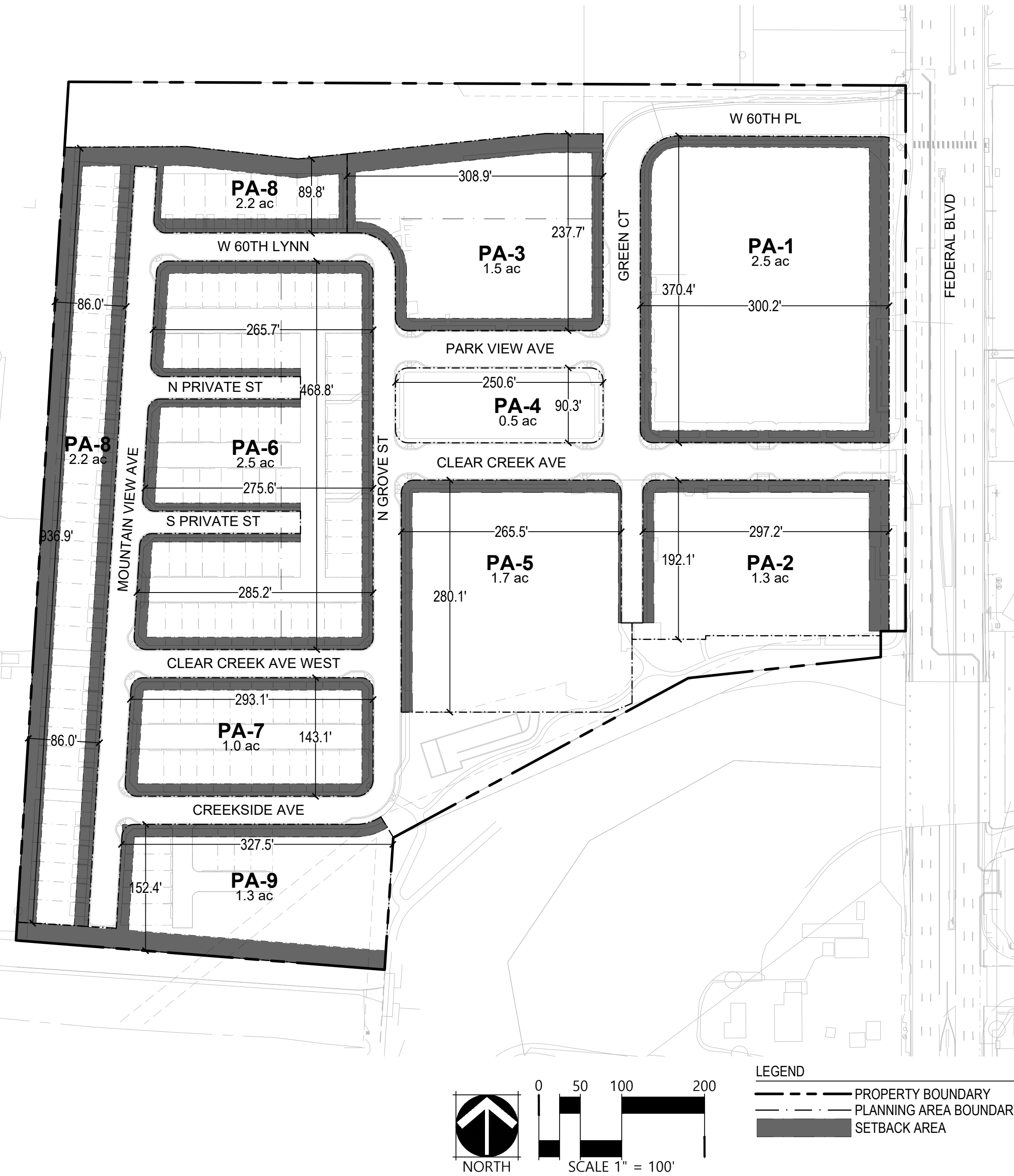
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:  
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1101 BANNOCK STREET  
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P 303.892.1166

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OVERALL SITE PLAN



LAND USE CHART				
Planning Area	Uses	Description	Acres	% of Site
PA-1	Commercial, Institutional, Residential	Intended to be mixed use with ground floor commercial space along Federal Boulevard and Clear Creek Avenue. Floors 2-7 are intended to be occupied by multi-family residential and/or commercial/institutional uses.	± 2.5 ac	11.8%
PA-2	Commercial, Institutional, Residential	Intended to be mixed use with ground floor commercial space along Federal Boulevard and Clear Creek Avenue. Residential and/or commercial/institutional uses will occupy floors 2-7.	±1.3 ac	6.2%
PA-3	Commercial, Institutional, Residential	Intended to be mixed use with the possibility of ground floor commercial space along Park View Avenue facing the park/open space. Buildings on the north side of PA-3 will be no higher than two stories. Buildings on the southern portion of PA-3 are intended to be residential and/or commercial/institutional uses up to 5 stories.	±1.5 ac	7.1%
PA-4	Park/Open Space	Intended to be a public park/open space for the community.	±0.5 ac	2.4%
PA-5	Commercial, Institutional, Residential	Intended to be mixed use with the possibility of ground floor commercial space along Park View Avenue facing the park/open space. Building floors 1-7 are intended to be occupied by residential and/or commercial/institutional uses.	±1.7 ac	8.1%
PA-6	Residential	Intended to be single family attached or multi-family residential use with buildings ranging up to 5 or 6 stories.	±2.5 ac	11.8%
PA-7	Residential	Intended to be single family attached or multi-family residential use with buildings up to 7 stories.	±0.9 ac	4.3%
PA-8	Residential	Intended to be single family attached residential use with buildings up to 3 stories on the western edge and up to 2 stories on the northwestern edge of the site, including garages accessed off of Mountain View Lane and West 60th Lane.	±2.2 ac	10.4%
PA-9	Residential	Intended to be single family attached residential use with buildings up to 3 stories.	±1.2 ac	5.7%
Open Space Tracts			±2.1 ac	10.0%
Private Road			±4.4 ac	20.8%
ROW Dedicated to Adams County			±0.3 ac	1.4%
<b>TOTAL</b>			<b>±21.1 ac</b>	<b>100%</b>

- Notes:
- The Planning Area acreages may be administratively adjusted up to 15% without an amendment.
  - Boundaries may be modified through the platting process due to the alignment of any for the streets, parks, opens spaces, adjacent parcels, etc.

CLEAR CREEK TRANSIT VILLAGE

FINAL DEVELOPMENT PLAN

IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:  
OWNERS NAME  
CLEAR CREEK VILLAGE, LLC  
THISTLE CREEK QOF I, L.P.  
14034 SOUTH 145th EAST  
DRAPER, UT 84020

NOT FOR  
CONSTRUCTION

DATE:  
FDP-01-03/16/2023  
FDP-02-07/07/2023

DRAFT

SHEET TITLE:  
OVERALL  
SITE PLAN



CLEAR CREEK TRANSIT VILLAGE
AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:
PRC2023-00011



GENERAL DESIGN STANDARDS

This Clear Creek Transit Village FDP is intended to outline the permitted zoning, land uses and development standards for this particular property as described in the legal description on the Cover Sheet (Sheet 1). In the instances where there is a conflict between this FDP and the Adams County Development Regulations and Standards (effective August 15, 2017), this FDP shall control and apply to the Property.

The following are the Development and Design Standards. Refer to Sheet 4 for Planning Area descriptions and locations.

ARCHITECTURE VISION

"Build a place – not a project." Clear Creek Transit Village is a District Neighborhood and the architecture should have shared elements that reinforce the identity within this district. Clear Creek Transit Village is a mixed residential and commercial use district with interconnected transit as a defining feature. The architecture will reflect the district's identity through shared elements. Streamline Moderne design will be used to emphasize movement, pattern, and interconnected forms, while also incorporating a contemporary nod to the historic style. The color palettes are to be subdued.

Streamline Moderne is a style of Art Deco that became popular in the 1930's. Inspired by aerodynamics, the international style made its appearance in buildings related to transportation and movement. The style emphasizes repetitive forms, accentuated horizontal fins and banding, eyebrow roof forms, and strong vertical statements. Streamline Moderne naturally lends itself to the architectural emphasis of movement, pattern, and inter-woven forms.

The multi family building design will integrate massing and materials, with at least one material woven from the adjacent building. There will also be a mix of front and rear loaded 3-story townhomes as well as 2-story front loaded townhomes, each with private outdoor space.

These guidelines are written to communicate the overall architectural vision for Clear Creek Transit Village. All statements are strongly encouraged, except for the "Standards" text shown in italics, which are requirements.

Additional shared elements may include:

- Flat roof forms (multi-family and mixed-use buildings)
Low slope of flat roof forms (single-family attached buildings)
Repeated vertical forms (single-family attached buildings)
Brick masonry
Wood-toned siding
Recessed windows and doors
Select rounded elements
Long horizontal lines, horizontal grooves
Deep overhangs or parapets



REINVENTING STREAMLINE MODERNE

Here are a few ways to bring Streamline Moderne into the 21st Century:

- Emphasize woven layers of materials. Accentuate vertical and horizontal lines, create opportunities for recessed doors and windows.
Re-think siding materials. Introduce wood toned products, panel siding with sleek channels, and horizontal screening
Create a double step in engaged columns and recesses. Step back the parapet to reinforce the Streamline Moderne vernacular.
Provide deep awnings above windows, they not only reinforce the style, they provide passive solar cooling opportunities.
Use lighting to accentuate vertical and horizontal rhythms and forms.

It is recommended that building elevations include some of the following elements:

- A material chosen to be "woven" in from an adjacent building
Repetitive vertical or horizontal elements along the facade
Flat roof forms
Brick masonry
Wood-toned siding
Recessed windows and doors
Window awnings
Street level, horizontal accent roof forms
Select rounded elements
Long horizontal lines or horizontal grooves
Deep (minimum 24") overhangs or parapets
Architectural lighting that accentuates vertical or horizontal forms



MASSING AND FORM

Being the built representation of a transit-oriented hub, the architecture will emphasize movement, pattern and form.

Multi-Family Considerations:

- While stretches of simple elevation massing are encouraged, building entries, corners and areas of heightened circulation should be emphasized with greater articulation and grander gestures.
Additional articulation will be required on high visibility streetscapes.
Buildings will have a discernible hierarchy, showing a base, middle and top.
Top story, of multi-story buildings four stories and above, will strategically step back to further reinforce building hierarchy.
Private outdoor balconies are strongly encouraged.

Single-Family Attached Considerations:

Continuing the spirit of the District Neighborhood, townhome architecture should have shared elements that reinforce the identity of the district. Massing should continue to reflect the Streamline Moderne style, with connections, intersections and overlaying modes. Massing and materials are to appear woven together.

- Brick masonry
Wood-toned siding
Recessed windows and doors
Low-sloping roof forms (4:12 and below) or flat roofs with parapets
A wood-tone accent siding or architectural feature
Select rounded elements
Passive-solar shading opportunities
Private outdoor living spaces



1.0 BUILDING FORM & ARCHITECTURAL CHARACTER

Intent:

- To create inviting and active ground floor frontages along internal streets
To encourage ground floor activity and pedestrian scale along street frontages
To create four-sided buildings which orient to the streets.
Scale, texture, and color of materials to represent a local, contemporary design or interpretation
Architectural detailing to contribute to the identity of the place through local materials, craftsmanship and traditions

Guidelines:

- Building types might include townhouses, live/work units, multifamily housing, mixed-use, office, retail and/or restaurant buildings or a combination thereof.
Buildings edges facing Creekside Avenue should include materials which compliment the natural landscape and should use materials such as wood, architectural concrete, stone or brick.
Along semi-active ground floors, architectural or landscape features should functionally allow for residential or live/work uses to coexist. This may include patios as a transition space, walk-up, stoop, or additional landscaping techniques.

Standards (required):

- Buildings will have a discernible hierarchy, showing a base, middle and top.
All setbacks shall be followed as depicted on the Overall Site Plan (see sheet 4).
Non-townhome ground floor residential uses shall have a minimum of a 10'-0" floor-to-floor height to accommodate live/work or shop-front uses. Ground floor commercial uses shall have a minimum of a 12'-0" floor-to-floor height to accommodate a variety of uses over time. (market conditions might not allow for live/work or commercial opportunities in the early phases. Residential or civic uses are encouraged for the interim)
Buildings shall be constructed with highly durable building materials on all four sides.
Northern and western property edges shall use materials, colors and building articulations to respond to the adjacent existing landscape.



2.0 BUILDING FACADES

Intent:

- To create visually interesting high-quality facades, particularly those that face streets or public open space.
To avoid large areas of undifferentiated or blank facades
To provide pedestrian scale, character and detail.
To create visual interest through the interplay of light and shadow.

Guidelines:

- Where balconies and terraces are used, they should be incorporated into the vertical and horizontal shifts in building massing wherever possible to avoid facades dominated by cantilevered balcony projections.
Awnings or shading elements which are solely cosmetic and non-functional should not be used.

Standards (required):

- Each building facade oriented to the street or public space shall express high levels of design, material quality, and detailing.
Building facades shall include architectural variety and scale through such elements as: expression of building structure; window pattern, door or other openings that provide surface variation through change of place; change in color; change in texture; change in material module or pattern.
Primary building facades at the street level shall include some elements that provide a change in plane that create interest though the interplay of light and shadow. Examples of such elements include:
Windows recessed a minimum of three (3) inches
Recessed entries and doors
Projecting sills
Projecting pilasters, columns, bays
Projecting cornices and roofs



3.0 BUILDING ENTRANCES

Intent:

- To promote inviting and open entries along ground-floor commercial and active live/work frontages through frequent points of entry.
To provide clear and understandable entry points for mixed use and residential buildings for easy way-finding year-round, day or night.
To enhance the scale, activity and function of the public streets.

Guidelines:

- Entries should have a scale and level of detail appropriate to the design, scale and number of units or storefronts provided.
Primary building entries of commercial uses should be clearly defined and generally break the storefront/ground-floor facade pattern.
Mixed use buildings should have separate clearly marked entries for residential and commercial uses.

Standards (required):

- Primary entries shall face a public street or plaza, be clearly defined and marked with an address and/or appropriate signage.
Primary building entries shall be emphasized by recessing the door a minimum of four (4) inches, by changes in wall plane or building massing, by diffraction in material or color, a greater level of detail, and/or enhanced lighting.
Service access for buildings shall be located out of sight from the primary building entry such as in an alley, back of building, or interior parking lot or structure.



CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
OWNERS NAME
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK COOP I, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

NOT FOR
CONSTRUCTION

DATE:
FDP-01-03/16/2023
FDP-02-07/07/2023

DRAFT

SHEET TITLE:
GENERAL DESIGN
STANDARDS

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AT CLEAR CREEK  
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO  
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:  
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GENERAL DESIGN STANDARDS (CONTINUED)

4.0 BUILDING MATERIALS & COLOR

Streamline Moderne naturally lends itself to the architectural emphasis of movement, pattern, and inter-woven forms. This is a minimalistic, pure-form approach, making sophisticated gestures towards a historic style. Color palettes are to be subdued.

Intent:

- To use low maintenance and lasting materials which hold up to vandalism and age well.
- To use new synthetic materials in ways that reflect their intrinsic characteristics.

Guidelines:

- Building materials should include new technologies and materials that contribute to the development's character and promote environmental sustainability as well as architectural methods and materials that are energy resource responsible.

Standards (required):

- 4.a Facades facing a street or public open space shall be composed primarily of primary materials as listed below.
- 4.b Primary Materials: brick, stone, architectural precast concrete, architecturally cast concrete, cast stone, specially treated concrete masonry units, terra-cotta, glass, and durable synthetic materials such as glass fiber-reinforced concrete, metal panels or green wall systems
- 4.c Secondary Materials: exterior insulation and finishing systems, simple concrete masonry units, and hard-cost stucco
- 4.d Building materials shall be selected with the objectives of quality and durability appropriate to the prevailing climate conditions.



5.0 BUILDING FENESTRATION, TRANSPARENCY & REFLECTIVE GLASS

Intent:

- To animate public spaces with transparent building facades, while providing a sense of security through "eyes on the street".
- To create transparent viewing though glazing at the ground floor to provide pedestrians the opportunity to view activities inside and outside the building.
- To provide adequate transparency on upper floors to create a secondary level of activity and to be able to view activities To promote a high level of transparency at the ground level of commercial uses.
- To limit the use of reflective glass with high glare.

Guidelines:

- To allow for the use of high-performance reflective glass, while reducing possible glare, and maintaining some transparency, the reflective coating should be on the second or third surface.

Standards (required):

- 5.a All ground-floor commercial uses shall have no less than 60% of transparency.
- 5.b All upper-level commercial glazing shall have no less than 40% of transparency.
- 5.c Highly reflective and first-surface reflective coatings shall not be used.



6.0 BUILDING LIGHTING

Intent:

- To illuminate architectural elements including building entries, cornices, structural bays or other significant features.
- To encourage the use of interior lighting through its fenestration both on the ground-floor as well as upper-levels.

Standards (required):

- 6.a Lighting fixtures shall be of architectural quality and consistent with the design of the building. No utilitarian lighting is allowed.
- 6.b Lighting of service areas and parking structure areas shall be controlled so that it does not illuminate onto adjacent areas or buildings.
- 6.c Areas of ground floor activity should provide a consistent glow to encourage exploring and visiting of businesses at night.
- 6.d Lighting elements should draw attention to major building entries.

7.0 ROOFTOP DESIGN & MECHANICAL SCREENING

Intent:

- To maintain a consistent look and not disrupt the continuity of the roof, rooftop or parapet.
- To avoid the random placement of mechanical or electrical equipment as seen from the street.
- To promote sustainable design through green roofs and other methods to reduce heat gain in summer months and to retain heat in winter months.
- To encourage usable rooftop gardens and gathering spaces.
- To reduce the visual impact from upper floors looking down on adjacent buildings' rooftops.

Guidelines:

- When possible outdoor rooftop spaces such as terraces, shared public or private spaces should be provided to take advantage of mountain views, Colorado's year-round weather and 300+ days of sunshine.
- Green roofs should be included where feasible through regionally appropriate vegetative and drought tolerant plantings. Rooftop spaces might consider urban permaculture through providing functional gardens which produce seasonal fruits, vegetables and/or spices.

Standards (required):

- 7.a All rooftop mechanical and electrical equipment, satellite dishes, or antennae shall be screened and organized as such that limits the visual disruption of the roof.



8.0 VEHICULAR ENTRIES

Intent:

- To provide the safe and efficient movement of all users including: vehicles, buses, pedestrians and bicyclists.
- To be spaced to allow for cueing of vehicles along the public street and not disrupt adjacent traffic or turning vehicles.

Guidelines:

- Entry points should be obvious, provide a break in facade or show a material change to indicate as visual cue for pedestrians.

Standards (required):

- 8.a Vehicular entries, especially public ones, shall be clearly marked to allow proper way-finding for motorists.
- 8.b Vehicular entry points shall be in locations that minimize the disruption of pedestrian circulation.

9.0 PARKING

Intent:

- To mitigate any negative visual aspects of parking as viewed from the street or adjacent uses.
- To limit or avoid permanent of-street surface parking.
- To encourage structured, tuck-under, or other methods of non-surface parking.

Guidelines:

- Temporary surface parking in initial phases should be designed to be aesthetically pleasing and safe through landscaping and proper lighting treatments.
- Parking structure facades that are facing amenity courts, adjacent to leasing/amenity spaces, or highly visible from community entrances along Federal Blvd., will be strongly encouraged to have additional screening, in the form of brick detailing, kinetic screens, green walls or art installations that cover a minimum of 50% of the first two stories of parking structure along that façade, and reinforce the theme of interwoven connectivity.

Standards (required):

- 9.a Surface, tuck-under or structured parking shall be located internally to each block and/or have limited exposure to adjacent streets and uses.
- 9.b Parking areas shall be screened from public view by wrapping them with development.



10.0 PARKING STRUCTURES

Intent:

- To provide a high quality pedestrian experience along the street environment.
- To provide uses or art along the public street to encourage pedestrian activity.
- To avoid large areas of undifferentiated or blank facades at the street level

Guidelines:

- The ground floor of wrapped parking structures should be designed with a pedestrian scale and allow for a variety uses or tenants to change and evolve over time.

Standards (required):

- 10.a Parking structures exposed to an adjacent street shall have a high quality facade to reduce negative visual impacts.
- 10.b Structured parking shall be designed so that vehicles parked on all levels of the facility are predominately screened from public view.
- 10.c Parking structure facades facing public streets shall be designed to integrate or blend into their context. This might include integrating structural bays, unique use of a material or vegetative cover/living wall treatment.



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GENERAL DESIGN STANDARDS (CONTINUED)

11.0 SERVICE AREAS, TRASH ENCLOSURES AND UTILITY APPURTENANCES

- Intent:
- To reduce the visibility of loading and service areas, recycling or trash enclosures and mechanical/electrical equipment to public streets, adjacent development or open spaces.

- Guidelines:
- Service areas and trash enclosures should not front onto streets and public open spaces. Service areas should be located to the rear or side of buildings, and screened from view from street and/or public open space.
  - Loading and service areas should be concentrated in common courts when possible to minimize any visual impacts.

- Standards (required):
- 11.a Utility appurtenances such as light fixtures and signal boxes shall be located behind the sidewalk and out of the tree lawn or sidewalk amenity zone whenever possible. When it must be in the tree lawn, or amenity zone, such equipment shall be centered on the tree line and aligned with but no closer than 42 inches from the face of curb.
  - 11.b Service areas shall be located internal to the development blocks, hidden from public view and away pedestrian circulation paths.
  - 11.c Where fully internal service areas are not feasible, the service areas shall be bounded on three sides by the building being served, with only one side open to the service drive. The open side shall be screened to the greatest extent possible.
  - 11.d Service areas should not be located within 25 feet of primary building entrances.

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GENERAL DESIGN STANDARDS (CONTINUED)

SITE / LANDSCAPE NOTES

1.

All work shall conform to Adams County codes.
2.

All landscape plantings within site boundaries shall be automatically irrigated, with the exception of detention basins. Tap size and location to be determined with final irrigation plans.
3.

All new planting beds and turf areas shall receive three (3) cubic yards of organic matter per one thousand (1,000) square feet of bed to be planted.Organic matter could include aged manure, sphagnum peat moss, humus, compost, or aged sawdust.
4.

All mulch bed areas shall receive 3" minimum depth wood, stone or gravel mulch depending upon plant type and location.
5.

Final landscape plans shall reflect public safety measures according to CEPTD guidelines.
6.

All pedestrian areas shall meet ADA requirements.
7.

Trash enclosures and service areas shall be effectively screened through the use of landscape materials and/or screen walls of materials and colors to match building architecture where trash enclosures are located outside of building envelope.
8.

All buildings, parking and landscaping shall not obstruct required sight triangles at intersections.
9.

All landscape areas located outside the building envelopes as defined in this FDP shall be maintained by the Clear Creek Transit Metropolitan District No. 1, or a Property Owner's Association. The Landscape Berm and Fence Easement (Book 4701, page 983 - Adams County Clerk and Recorder) shall be maintained by the Aloha Beach Neighborhood Association.
10.

Re-vegetation below floodplain shall adhere to Mile High Flood District requirements.
11.

Regional trail improvements at Clear Creek shall conform to ADA and AASHTO standards, and be built to conform to Adams County concrete trail specifications. Funding and implementation is subject to a future IGA or other agreement with Adams County or other applicable agencies TBD. Off-site trail improvements are intended to be included to on-site trail to the existing Clear Creek regional trail. Offsite trail improvements shall include concrete trail, associated grading and landscape restoration planting within disturbed areas. Offsite trail improvements and license agreements shall be coordinated between developer and Adams County.

LANDSCAPE STANDARDS

The landscape standards are intended to establish minimum planting standards for all landscaped areas within Clear Creek Transit Village. The site / landscape notes on this sheet establish standards for irrigation, soil amendments, mulch, edger, and other non-living landscape materials.

Federal Blvd.

- A.

Minimum one tree per 40 linear feet of street frontage, excluding areas encumbered by easements, curb cuts, sight triangle and other constraints.
- B.

Minimum 20% landscape area between building envelope and Federal Blvd. R.O.W. Rain gardens shall be included in minimum landscape area calculation. Minimum one 5 gal. shrub or two 1 gal. perennials / groundcovers per 200 square feet of landscape area.
- C.

All landscape areas shall be planted such that vegetative cover at plant maturity achieves a minimum 70% living coverage with the exception of rain gardens. Rain garden plantings shall be included in conformance with engineered allowances.
- D.

No turf is permitted.

Interior Streets

- A.

Minimum one tree per 40 linear feet of street frontage, excluding areas encumbered by easements, curb cuts, sight triangle and other constraints.
- B.

Minimum one 5 gal. shrub or two 1 gal. perennials / groundcovers per 200 square feet of landscape area.
- C.

All landscape areas shall be planted such that vegetative cover at plant maturity achieves a minimum 70% living coverage.

Village Green (Planning Area 4)

- A.

Minimum one tree per 40 linear feet of street frontage, excluding areas encumbered by easements, curb cuts, sight triangle and other constraints.
- B.

Minimum one 5 gal. shrub or two 1 gal. perennials / groundcovers per 20 square feet of shrub bed area.
- C.

Turf is permitted where active recreational use is intended.

North Landscape Buffer (Tract B)

- A.

Minimum one evergreen tree per 30 linear feet
- B.

Minimum six foot metal fence.

West Landscape Buffer (Tract T)

- A.

Minimum one evergreen tree per 30 linear feet
- B.

Minimum six foot metal fence.

Clear Creek Frontage

- A.

Minimum one tree per 4,000 square feet of landscape area. Existing trees over 4" cal. shall be replaced at one new tree per existing tree removed.
- B.

Minimum ten 5 gal. shrubs or twenty 1 gal. perennial / groundcovers per 4,000 square feet of non-turf landscape area.
- C.

Turf is permitted where active recreational use is intended
- D.

Native plantings are encouraged.

Interior Open Spaces

- A.

Minimum 5% landscape area required within each planning area.
- B.

Minimum one tree per 1,000 square feet of landscape area.
- C.

Minimum one 5 gal. shrub or two 1 gal. perennials / groundcovers per 200 square feet of non-turf landscape area.
- D.

All landscape areas shall planted such that vegetative cover at plant maturity achieves a minimum 70% living coverage.
- E.

Turf is permitted where active recreational use is intended.

DEFINITIONS OF PLACEMAKING AREAS

Approximate locations of placemaking areas are defined within the Placemaking, Circulation and Signage Plan as shown on sheet 21 within this final development plan. Final and exact locations of placemaking areas are subject to change and to be determined with construction documents to meet the intent of the final development plan. Definitions of different placemaking area are defined below.

PLACEMAKING AREA - PRIMARY PARK PLAZA

Primary Park Plaza is intended for the Village Green and serves the intent of providing an outdoor communal gathering space with seating and tables, shade, and is accessible to all planning areas. Primary Park Plaza shall include the following;

- A minimum of 1,000 square feet of paving area. Enhanced Paving Surfaces are required for 100% of Primary Park Plaza. See Enhanced Paving Surfaces definition.

•

A minimum of (1) 500 square foot shade shelter is required.

•

Seating with table surfaces, and a minimum of (3) different seating locations are required.

•

Landscape Lighting is required. See Landscape Lighting definition.

PLACEMAKING AREA - SECONDARY PLAZA

Secondary Plaza is intended to serve as a supplementary seating area for adjacent active recreation spaces and shall include the following:

- A minimum of 500 square feet of paving area. Enhanced Paving Surfaces are required for a minimum of 50% of the Secondary Plaza.

•

A minimum of (2) seating options, benches are encouraged.

•

Landscape Lighting is required.

PLACEMAKING AREA - GATHERING NODE

Gathering Nodes are intended to be included with Planning Areas 1, 2, 3, 4, and 5. Gathering Nodes shall serve the intent of providing exterior gathering spaces, facilitating multi-modal transportation by ensuring safe circulation in high pedestrian traffic areas and providing bike racks. Gathering Nodes shall be designed with the intent of providing an accessible offstreet location for one or more of the following: serving as an off-street trailhead location, exterior building entrance, pedestrian space, or rideshare pickup location. Gathering Nodes shall include the following;

- A minimum of 300 square feet of paving area. Enhanced Paving Surfaces are not required, but encouraged for gathering nodes.

•

A minimum of 3 bicycle parking spaces.

•

Locations for alternative transportation such as bicycle and scooter shares are encouraged.

•

Secondary Signage is encouraged but not required at locations where Primary Signage is not provided. See provided signage definitions.

•

Landscape Lighting is encouraged but not required where exterior building lighting is provided.

LANDSCAPE DESIGN - SITE FURNISHINGS

Site furnishings shall be intended to enhance the pedestrian and cyclist experience, provide opportunity for seating, dining and social interaction. Site furnishings shall be of high quality exterior rated materials with similar design character which could be defined as streamlined, modern or contemporary. Materials may be any combination of metal, concrete, wood or synthetic wood material. Colors may include the natural material color, stained (wood) in neutral colors, or powdercoated (metal) in colors complimentary to the exterior architectural color palette. ADA accessible seating options shall be provided. Site furnishings shall include the following but not limited to;

- Freestanding Benches - backed and backless
- Wall-Mounted Benches
- Seat Wall
- Cafe / Picnic Tables
- Trash / Recycle Receptacles
- Pet Pick-up Stations
- Bicycle Racks/Parking

LANDSCAPE DESIGN - PLAYGROUND

(1) Playground area shall be provided in Planning Area 4. Playground equipment shall be consistently themed and regionally inspired play equipment is encouraged. Playground shall include the following;

- A minimum of 2,500 square feet of playground surfacing.

•

A minimum of (1) swingset, including a minimum of (2) swings, one of which shall be bucket-style seat.

•

A minimum of (1) 2-5 age play equipment.

•

A minimum of (1) 5-12 age play equipment.



LANDSCAPE DESIGN - SHADE SHELTER

One shade shelter shall be provided in Planning Area 4. Shade shelters shall be designed to the following parameters;

- A minimum of 500 square feet of shelter area, and a maximum of 1,000 square feet.

•

Shade shelter shall be designed to match architectural design styles, materials and colors, and may include metal, wood, and masonry.

•

Shade shelter shall not exceed 18' in height.

•

Landscape lighting shall be required at shade shelter location.



LANDSCAPE DESIGN - ENHANCED PAVING AREAS

Enhanced Paving Areas are encouraged along streetscapes and required in locations as described by Placemaking Areas. Enhanced Paving Areas shall include the following;

- Masonry Pavers

•

Textured and/or Colored Concrete

No more than (2) different Masonry Pavers shall be used throughout all planning areas, and shall be used in a consistent pattern and installation method and installed in similar locations such as main building entrances and plazas. A geometric pattern and a traditional pattern are encouraged as the two different masonry patterns. Masonry Pavers shall be have a pattern complimentary to building exterior material and style, and color such as a warm gray, tan or brown color. No more than (2) different colors shall be used for paver types, and a consistent grout color shall be used at all locations. Only (1) color of Colored Concrete shall be used throughout all planning areas, except for Planning Area 4 where an alternative option may be provided. Colored Concrete shall be a warm gray, tan or brown, with the exception of an alternative cool-color option within Planning Area 4. Colored Concrete is encouraged at high-traffic areas such as sidewalk landings at pedestrian crosswalks. Colored concrete may include exposed aggregate, acid washing, broom finishes, but must be consistently finished in all applications.



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GENERAL DESIGN STANDARDS (CONTINUED)

LANDSCAPE DESIGN - LANDSCAPE WALLS

Landscape wall finish materials such as veneers, caps, masonry patterns or finishes shall be consistent in design and materiality for each type of wall condition;

- Condition 1: Retaining and parapet walls along streetscapes, multi-family and commercial street frontages. Walls shall be masonry veneer of a neutral/warm gray, warm white, beige, or clay brick red and consistent in color, material, size and coursing pattern throughout all fillings where condition 1 is used. Capstone shall be either be a coursing of the same masonry veneer to match the face, or a consistent precast concrete capstone, with consistent depth and neutral gray color. Condition 1 shall also be applied to Primary Signage walls and pedestals - see Primary Signage definitions.
- Condition 2: Retaining walls in open space, excluding parks and along multi-family and commercial street frontages. Walls shall be precast masonry block with consistent material, pattern, and color. Color shall be either a neutral warm gray, beige, or tan.
- Condition 3: Freestanding and retaining walls in parks and active recreation spaces. Condition 3 may either match the design style of Condition 1, or alternatively may be a neutral gray concrete with a smooth or boardform finish.

Condition 1 Precedent



Condition 2 Precedent



Condition 3 Precedent



LANDSCAPE DESIGN - LANDSCAPE LIGHTING

Landscape Lighting shall be of architectural quality and consistent with architecture. Lighting shall include consistent fixtures for each type of lighting typology throughout all planning areas. Lighting fixtures shall match or compliment color and materials to site furnishings or exterior architecture fixtures. Landscape Lighting shall be designed in accordance with all applicable codes. Landscape lighting shall be intended to enhance pedestrian and bicycle safety, site security and wayfinding while providing aesthetic enhancement. Landscape Lighting may include the following;

- Bollard Lights (full cut-off)
- In-wall / Recessed Downlighting and Stair Lighting
- Pole-Mounted Pedestrian Lights (full cut-off)
- Sign/Wayfinding Wash Lighting and Backlighting
- Shelter Downlighting
- Festoon / Cable Attached Lighting

Bollard Light Precedent



In-Wall / Recessed Downlighting and Stair Lighting



Pole-Mounted Pedestrian Lighting



Sign/Wayfinding Wash Lighting and Backlighting



Shelter Downlighting



Festoon Lighting



SIGNAGE: BUILDING AND TENANT SIGNS

- Building Identification: Individual buildings may wish to express a unique identity within CCTV. Signage for this purpose may be allowed. Maximum sign area allowed for this purpose shall be 0.5 square foot per linear foot of building frontage at each building face. A maximum of two such signs per building is permitted. Signage may be placed above the second floor sill level, provided that the signage does not interfere with other uses, public safety, or building aesthetics.
- Individual Ground Floor Uses in a Retail Setting shall be allowed a maximum of 1.5 square feet of sign area per linear foot of primary street frontage, and 0.8 square feet of sign area per secondary street frontage. Multiple signs and sign types may be allowed, provided that the maximum allowable sign area is not exceeded. (Sign area for two-sided projecting signs shall be measured as the total square footage of one side only) No signage component shall extend above the second floor sill level.
- Individual Ground Floor Uses in a Live-Work Setting (or other Non- Traditional Retail) shall be allowed a maximum of 0.8 square feet of sign area per linear foot of building frontage. Multiple signs and sign types may be allowed, provided that the maximum allowable sign area is not exceeded. (Sign area for two- sided projecting signs shall be measured as the total square footage of one side only) No signage component shall extend above the second floor sill level.
- Non-Ground Floor Uses may also require identity and directional signage at the ground level. For each building containing such uses, all non-ground floor uses combined shall be allowed a maximum of one sign per exterior entrance that accesses said uses. Maximum sign area shall be 12 square feet per sign. Signs must be located on, above, or immediately adjacent to the exterior entrance.

PRIMARY PROJECT SIGNAGE - WALL MOUNTED MONUMENT

Wall Mounted Monument Primary Project Signage is intended to be included at (1) location along Federal Boulevard frontage. This monument is intend to display project and tenant logos/signage. Wall Mounted Primary Signage is intended to be metal or similar material to match exterior architecture in aesthetic, material and color and mounted on retaining or freestanding wall. Wall Mounted Monument Primary Signage shall be a maximum of 80 square feet when measured as a rectangle around text/logo area and shall be a maximum of 10' in height. Landscape lighting at monument is encouraged.



PRIMARY PROJECT SIGNAGE - MONUMENT / WAYFINDING / INFO

Monument / Wayfinding / Info Primary Project Signage is intended to be included a maximum of (4) locations and located along Federal Boulevard and Clear Creek Avenue frontages. Monument / Wayfinding / Info Primary Signage may include tenant logos/signage, directional or wayfinding information including address information, and general seasonal/ event related information. The materials, aesthetic and colors of the monument shall match proposed architectural style. Maximum signage area shall be 160 square feet including all sides of the sign area including sign information and measured as a rectangle along the sign area which lettering or graphics are provided. Sign pedestals may be provided and shall be designed to match landscape or architectural wall finishes. Sign pedestals may be a maximum of 8' height above adjacent finished grade and shall not exceed more than 3x the width of the sign width. Sign pedestals shall not be counted towards sign area calculation except where text or sign information is provided on pedestals. Sign mounted lighting, backlighting, and/or landscape lighting shall be allowed and is encouraged.



SECONDARY SIGNAGE - WAYFINDING / INFO

Wayfinding / Info Secondary Signage is intended to include directional or wayfinding information including address information, and/or regional multi-modal transportation wayfinding such as trail connections, bus stops, RTD stations or other regional wayfinding information or maps. The materials, aesthetic and colors of the monument shall match proposed architectural style. Signs shall not exceed 6' height and shall have a maximum sign area of 30 square feet including all sides of the sign area including sign information and measured as a rectangle along the sign area which lettering or graphics are provided.



NOTE: All images are for illustration purposes and are only to be used to communicate intent for the General Design Standards.

CLEAR CREEK TRANSIT VILLAGE  
FINAL DEVELOPMENT PLAN  
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:  
OWNERS NAME  
CLEAR CREEK VILLAGE, LLC  
THISTLE CREEK QOF I, L.P.  
14034 SOUTH 145th EAST  
DRAPER, UT 84020

NOT FOR  
CONSTRUCTION

DATE:  
FDP-01-03/16/2023  
FDP-02-07/07/2023  
DRAFT

SHEET TITLE:  
GENERAL DESIGN  
STANDARDS



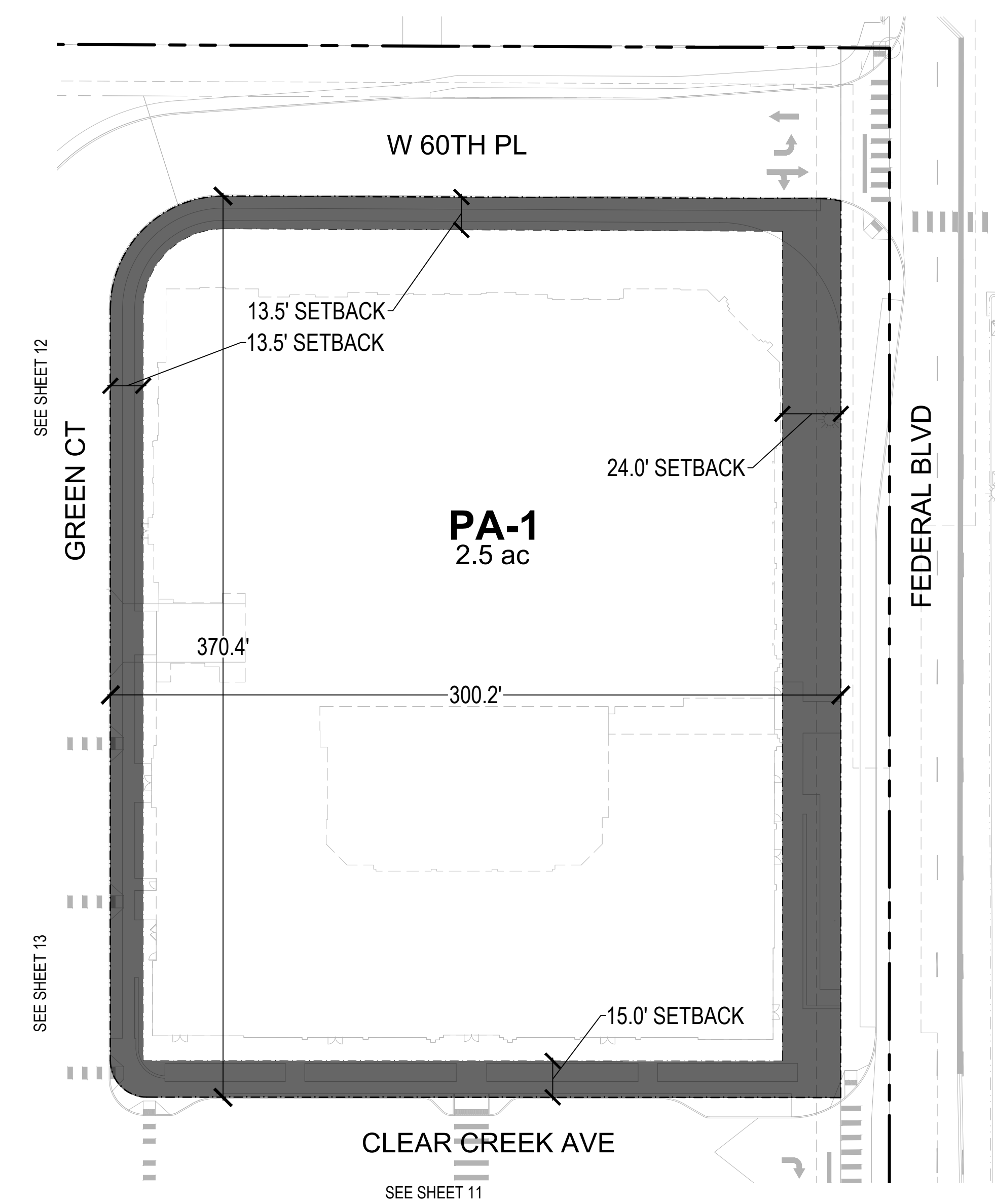
CLEAR CREEK TRANSIT VILLAGE  
AT CLEAR CREEK  
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO  
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:  
PRC2023-00011

**NORRIS DESIGN**  
PEOPLE • PLACEMAKING  
1101 BANNOCK STREET  
DENVER, CO 80204  
P 303.892.1166

NORRIS-DESIGN.COM

PA-1 SITE PLAN



PA-1 DEVELOPMENT STANDARDS								
HOUSING TYPE	PA-1 LOT SIZE	PA-1 MAXIMUM DENSITY <sup>(1)</sup>	NORTH PERIMETER SETBACK	SOUTH PERIMETER SETBACK	EAST PERIMETER SETBACK	WEST PERIMETER SETBACK	MAXIMUM BUILDING HEIGHT	FLOOR AREA RATIO
MULTI-FAMILY	2.5 ac	115 du/ac	13'-6"	15'-0"	24'-0"	13'-6"	95'-0" (7 Story)	1.5 - 5.0

Development Standard Notes:

- Maximum Density is representative of the Planning Area being described. The maximum allowed overall units is limited to 1,125 total residential units with a maximum gross project density of approx 54 du/ac as established in the approved PDP.

**PLANNING AREA - 1:**

PA-1 is intended to be mixed use with ground floor commercial space along Federal Boulevard and Clear Creek Avenue. Floors 2-7 are intended to be occupied by multi-family residential and/or commercial/institutional uses.

**LAND USES:**

- Commercial/Institutional	3% - 15% (of Gross Building Area)
- Residential	85% - 97% (of Gross Building Area)

**MAXIMUM PARKING REQUIREMENT:**

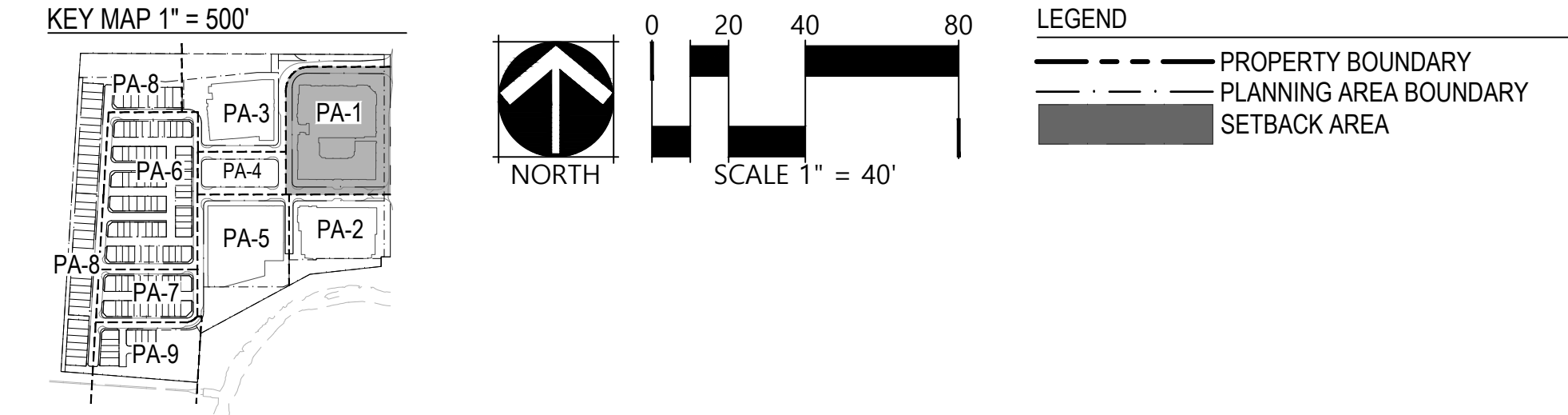
Use	Maximum Parking Ratios
Residential	2 spaces per unit
Retail	4 spaces per 1,000 sq. ft.
Office	3 spaces per 1,000 sq. ft.
Restaurant	8 spaces per 1,000 sq. ft.

**PLANNING AREA PLACEMAKING CONSIDERATIONS:**

This planning area is envisioned as a high density, mixed-use parcel blending multi-family residential with ground floor retail and commercial uses. The Mixed-Use Street Area along Federal Blvd and Clear Creek Ave will be designed to activate the pedestrian realm and provide multi modal connections throughout the development, as well as to the adjacent context. The predominant street type will be urban in nature. The area tree lawn between the street and five foot detached walks will be planted with canopy trees, shrubs and ornamental grasses. Bump outs at intersections will increase pedestrian safety and promote walkability. On-street parking is provided on both sides of the street where curb cuts, utilities and other constraints allow for parking to occur. All private streets will be owned and maintained by a Metro District.

The architecture will be a highly visible element to the neighborhood and will require a high level of design on all four sides with quality materials to create an inviting street scene. Architectural details that will drive the design of the mixed-use buildings can be found on sheets 5 - 7 of this document.

To compliment the architecture, the landscape will also be held to a high standard of design. The landscape will incorporate consistent site furnishings, plant material and design elements that create a distinct but unified neighborhood. For additional landscape standards, please refer to sheets 8 and 9 of this document.



CLEAR CREEK TRANSIT VILLAGE  
FINAL DEVELOPMENT PLAN  
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:  
OWNERS NAME  
CLEAR CREEK VILLAGE, LLC  
THISTLE CREEK QOF 1, L.P.  
14034 SOUTH 145th EAST  
DRAPER, UT 84020

NOT FOR  
CONSTRUCTION

DATE:  
FDP-01-03/16/2023  
FDP-02-07/07/2023  
**DRAFT**

SHEET TITLE:  
PA-1  
SITE PLAN

CLEAR CREEK TRANSIT VILLAGE
AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:
PRC2023-00011
NORRIS DESIGN
PEOPLE • PLACEMAKING
1101 BANNOCK STREET
DENVER, CO 80204
P 303.892.1166

PA-2 SITE PLAN

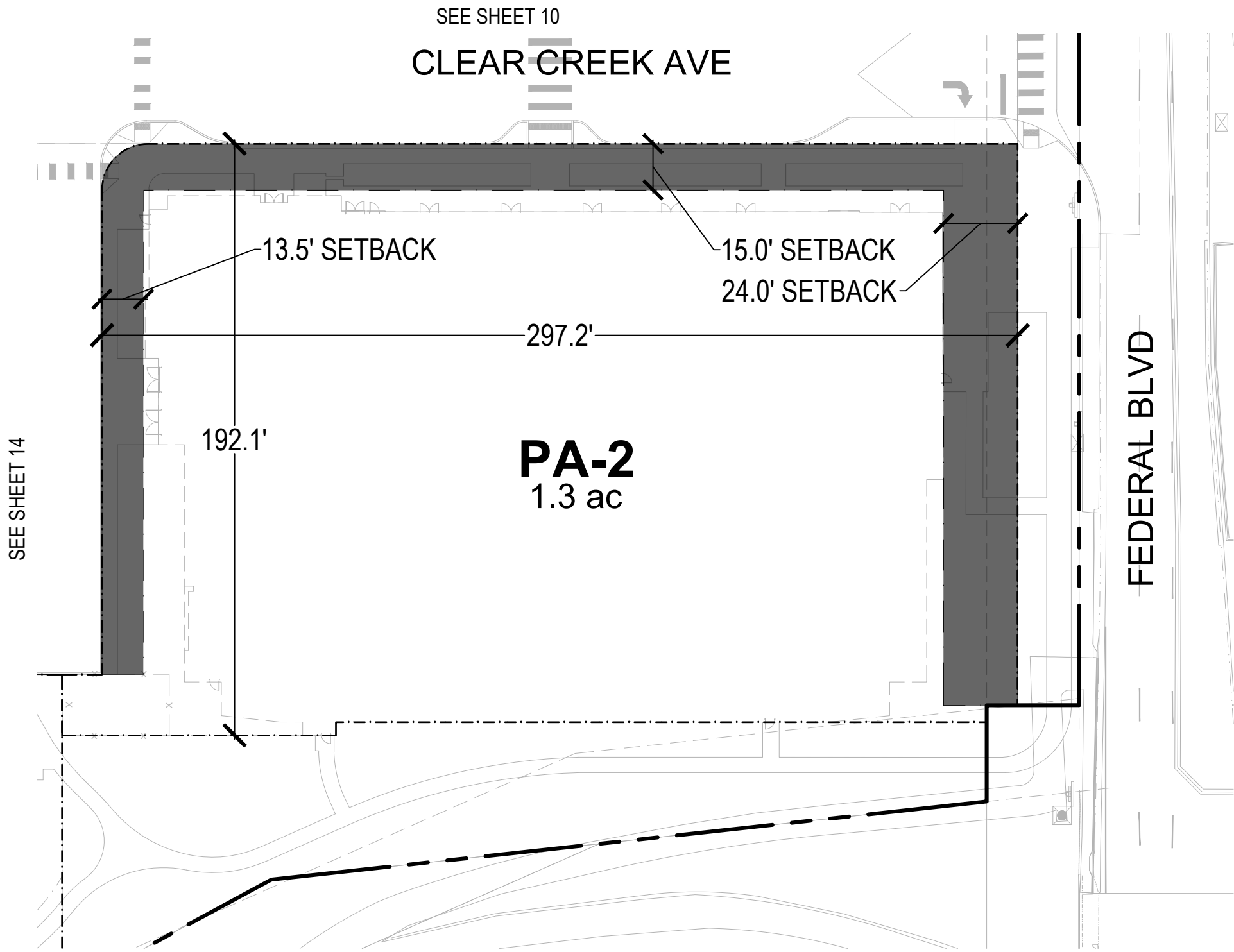


Table with 9 columns: HOUSING TYPE, PA-2 LOT SIZE, PA-2 MAXIMUM DENSITY, NORTH PERIMETER SETBACK, SOUTH PERIMETER SETBACK, EAST PERIMETER SETBACK, WEST PERIMETER SETBACK, MAXIMUM BUILDING HEIGHT, FLOOR AREA RATIO. Row 1: MULTI-FAMILY, 1.3 ac, 135 du/ac, 15'-0", 0'-0", 24'-0", 13'-6", 95'-0" (7 Story), 1.5 - 5.0

- Development Standard Notes:
- Maximum Density is representative of the Planning Area being described. The maximum allowed overall units is limited to 1,125 total residential units with a maximum gross project density of approx 54 du/ac as established in the approved PDP.

PLANNING AREA - 2:
PA-2 is intended to be mixed use with ground floor commercial space along Federal Boulevard and Clear Creek Avenue. Residential and/or commercial/institutional uses will occupy floors 2-7.

- Commercial/Institutional 1% - 10% (of Gross Building Area)
- Residential 90% - 99% (of Gross Building Area)

MAXIMUM PARKING REQUIREMENT:

Table with 2 columns: Use, Maximum Parking Ratios. Rows: Residential (2 spaces per unit), Retail (4 spaces per 1,000 sq. ft.), Office (3 spaces per 1,000 sq. ft.), Restaurant (8 spaces per 1,000 sq. ft.)

PLACEMAKING CONSIDERATIONS:

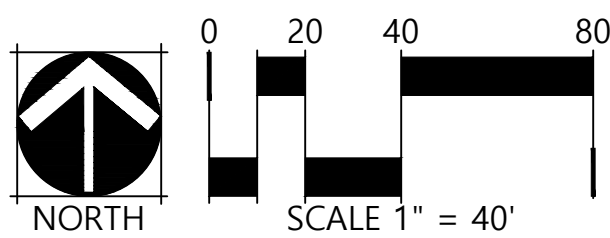
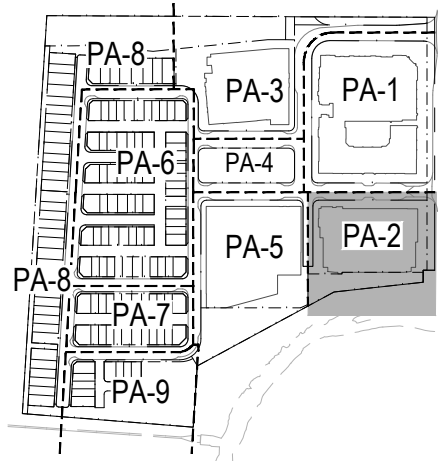
This planning area is envisioned as a high density, mixed-use parcel blending multi-family residential with ground floor retail and commercial uses. The Mixed-Use Street Area along Federal Blvd and Clear Creek Ave will be designed to activate the pedestrian realm and provide multi modal connections throughout the development, as well as to the adjacent context. The predominant street type will be urban in nature. The area tree lawn between the street and five foot detached walks will be planted with canopy trees, shrubs and ornamental grasses. Bump outs at intersections will increase pedestrian safety and promote walkability. On-street parking is provided on both sides of the street where curb cuts, utilities and other constraints allow for parking to occur. All private streets will be owned and maintained by a Metro District.

The architecture will be a highly visible element to the neighborhood and will require a high level of design on all four sides with quality materials to create an inviting street scene. Architectural details that will drive the design of the mixed-use buildings can be found on sheets 5 - 7 of this document.

To compliment the architecture, the landscape will also be held to a high standard of design. The landscape will incorporate consistent site furnishings, plant material and design elements that create a distinct but unified neighborhood. For additional landscape standards, please refer to sheets 8 and 9 of this document.

LAND USES:

KEY MAP 1" = 500'



- LEGEND
- PROPERTY BOUNDARY
  - PLANNING AREA BOUNDARY
  - SETBACK AREA

CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
OWNERS NAME
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK Q00F 1, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

NOT FOR
CONSTRUCTION

DATE:
FDP-01-03/16/2023
FDP-02-07/07/2023

DRAFT

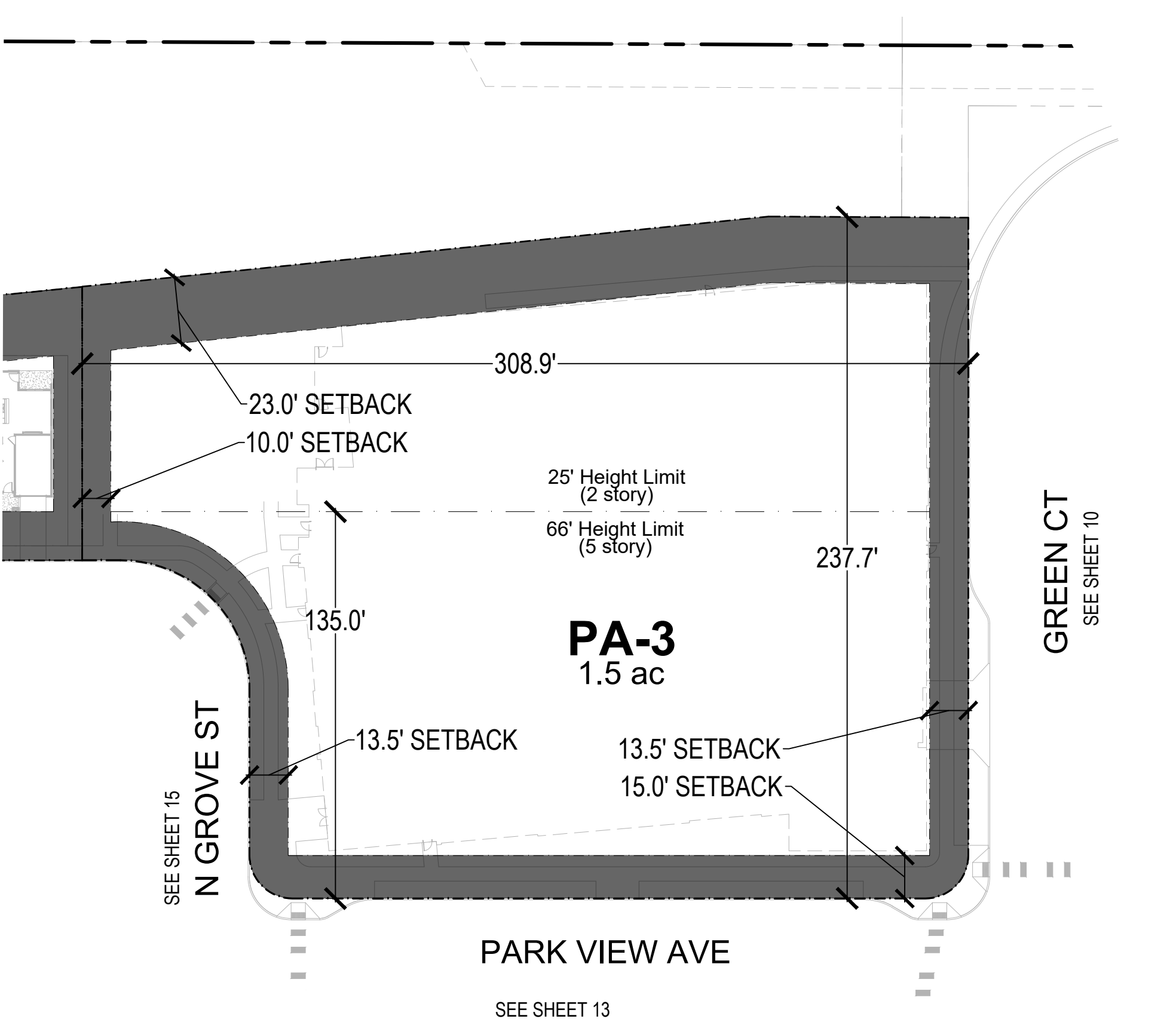
SHEET TITLE:
PA-2
SITE PLAN

CLEAR CREEK TRANSIT VILLAGE  
AT CLEAR CREEK  
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO  
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:  
PRC2023-00011

**NORRIS  
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PEOPLE • PLACEMAKING  
1101 BANNOCK STREET  
DENVER, CO 80204  
P.303.892.1166  
NORRIS-DESIGN.COM

PA-3 SITE PLAN



PA-3 DEVELOPMENT STANDARDS								
HOUSING TYPE	PA-3 LOT SIZE	PA-3 MAXIMUM DENSITY <sup>(1)</sup>	NORTH PERIMETER SETBACK	SOUTH PERIMETER SETBACK	EAST PERIMETER SETBACK	WEST PERIMETER SETBACK	MAXIMUM BUILDING HEIGHT <sup>(2)</sup>	FLOOR AREA RATIO
MULTI-FAMILY	1.5 ac	70 du/ac	23'-0"	15'-0"	13'-6"	13'-6" (N Grove St) 10'-0" (Side)	66'-0" (5 Story)	1.5 - 5.0

- Development Standard Notes:
- Maximum Density is representative of the Planning Area being described. The maximum allowed overall units is limited to 1,125 total residential units with a maximum gross project density of approx 54 du/ac as established in the approved PDP.
  - The northern portion of the planning area has a maximum height restriction of 25'-0" (2 stories) and the southern portion is limited to 66'-0" (5 stories). Refer to site plan for details.

**PLANNING AREA - 3:**  
PA-3 is intended to be mixed use with the possibility of ground floor commercial space along Park View Avenue facing the park/open space. Buildings on the north side of PA-3 will be no higher than two stories. Buildings on the southern portion of PA-3 are intended to be residential and/or commercial/institutional uses up to 5 stories.

**LAND USES:**

- Commercial/Institutional	0% - 8% (of Gross Building Area)
- Residential	92% - 100% (of Gross Building Area)

**PLACEMAKING CONSIDERATIONS:**  
This planning area is envisioned as a high density, mixed-use parcel blending multi-family residential with possible retail and commercial uses. The predominant street type will be urban in nature. The area tree lawn between the street and five foot detached walks will be planted with canopy trees, shrubs and ornamental grasses. Bump outs at intersections will increase pedestrian safety and promote walkability. On-street parking is provided on both sides of the street where curb cuts, utilities and other constraints allow for parking to occur. All private streets will be owned and maintained by a Metro District.

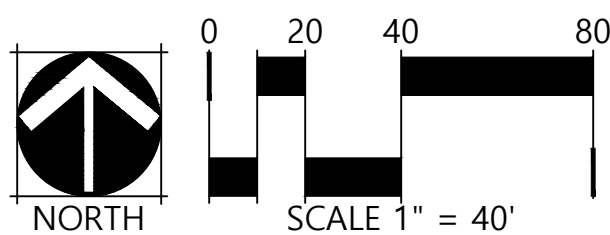
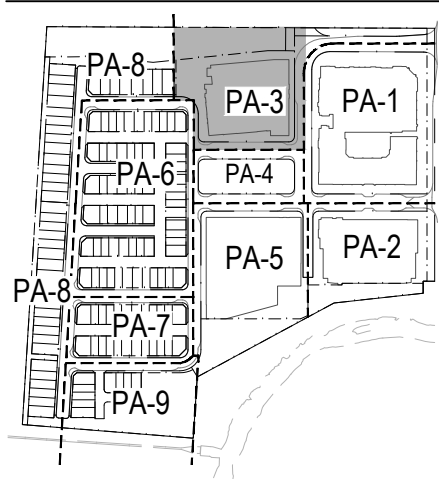
The architecture will be highly visible and will require a high level of design on all four sides with quality materials to create an inviting street scene. Architectural details that will drive the design of the mixed-use buildings can be found on sheets 5 - 7 of this document.

**MAXIMUM PARKING REQUIREMENT:**

Use	Maximum Parking Ratios
Residential	2 spaces per unit
Retail	4 spaces per 1,000 sq. ft.
Office	3 spaces per 1,000 sq. ft.
Restaurant	8 spaces per 1,000 sq. ft.

To compliment the architecture, the landscape will also be held to a high standard of design. The landscape will incorporate consistent site furnishings, plant material and design elements that create a distinct but unified neighborhood. For additional landscape standards, please refer to sheets 8 and 9 of this document.

KEY MAP 1" = 500'



**LEGEND**

---	PROPERTY BOUNDARY
- - -	PLANNING AREA BOUNDARY
■	SETBACK AREA

CLEAR CREEK TRANSIT VILLAGE  
FINAL DEVELOPMENT PLAN  
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:  
OWNERS NAME  
CLEAR CREEK VILLAGE, LLC  
THISTLE CREEK Q00F 1, L.P.  
14034 SOUTH 145th EAST  
DRAPER, UT 84020

NOT FOR  
CONSTRUCTION

DATE:  
FDP-01-03/16/2023  
FDP-02-07/07/2023  
**DRAFT**

SHEET TITLE:  
PA-3  
SITE PLAN

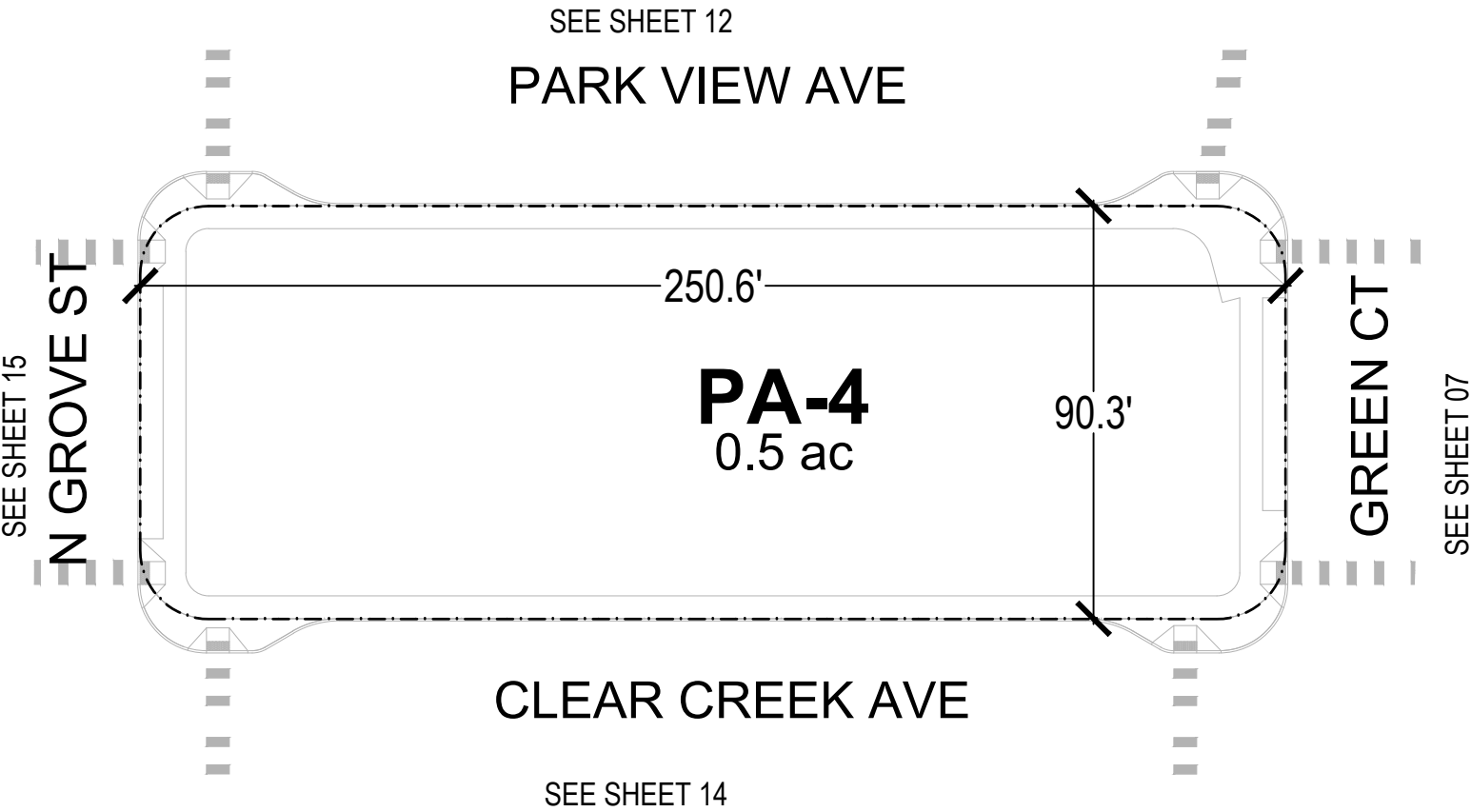


CLEAR CREEK TRANSIT VILLAGE  
AT CLEAR CREEK  
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO  
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:  
PRC2023-00011

**NORRIS  
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1101 BANNOCK STREET  
DENVER, CO 80204  
P.303.892.1166  
NORRIS-DESIGN.COM

PA-4 SITE PLAN



PA-4 DEVELOPMENT STANDARDS							
PA-4 LOT SIZE	PA-4 MAXIMUM DENSITY	NORTH PERIMETER SETBACK <sup>(1)</sup>	SOUTH PERIMETER SETBACK <sup>(1)</sup>	EAST PERIMETER SETBACK <sup>(1)</sup>	WEST PERIMETER SETBACK <sup>(1)</sup>	MAXIMUM BUILDING HEIGHT <sup>(3)</sup>	FLOOR AREA RATIO
0.5 ac	N/A	0'-0"	0'-0"	0'-0"	0'-0"	25'-0" (2 Story)	N/A

Development Standard Notes:

- All overhead structures, such as but not limited to, gazebos, shade structures, pergolas or similar structures will be setback a minimum of ten feet (10') from PA boundary.

PLANNING AREA - 4:

PA-4 is intended to be a public park/open space for the community.

LAND USES:

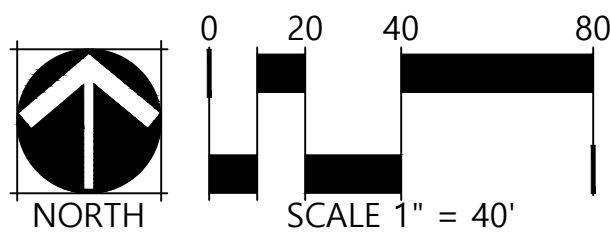
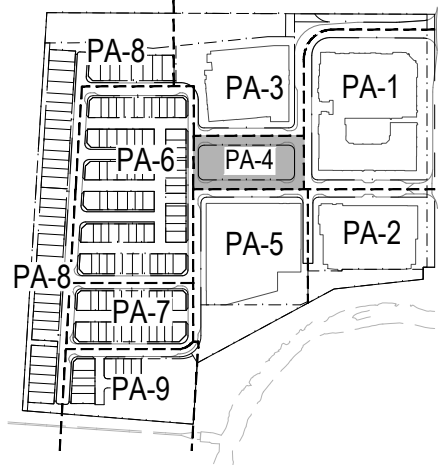
- |   |                 |                   |
|---|-----------------|-------------------|
| - | Park/Open Space | 100% (of PA area) |
|---|-----------------|-------------------|

PLACEMAKING CONSIDERATIONS:

The Village Green is intended to provide a place of relaxation and relief for the future residences of the community. A wide ranges of amenities should be included to insure an equitable variety is provided for the population. This could included, but not limited to, open turf area, splash pads, shade structures, small plaza with bistro tables, benches, playground for multiple age ranges, lighting (pedestrian and accent) and possible public art. The landscape will incorporate consistent site furnishings, plant material and design queue that create a distinct but unified neighborhood. For additional landscape standards, please refer to sheets 8 and 9 of this document.

The perimeter is envisioned to have on-street parking with mostly 5' attached walks and bump outs at the intersections to increase pedestrian safety and promote walkability.

KEY MAP 1" = 500'



LEGEND

- |       |                        |
|-------|------------------------|
| ---   | PROPERTY BOUNDARY      |
| -.-.- | PLANNING AREA BOUNDARY |
| █     | SETBACK AREA           |

CLEAR CREEK TRANSIT VILLAGE  
FINAL DEVELOPMENT PLAN  
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:  
OWNERS NAME  
CLEAR CREEK VILLAGE, LLC  
THISTLE CREEK QOF I, L.P.  
14034 SOUTH 145th EAST  
DRAPER, UT 84020

NOT FOR  
CONSTRUCTION

DATE:  
FDP-01-03/16/2023  
FDP-02-07/07/2023

**DRAFT**

SHEET TITLE:  
PA-4  
SITE PLAN



CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK  
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO

PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:

PRC2023-00011

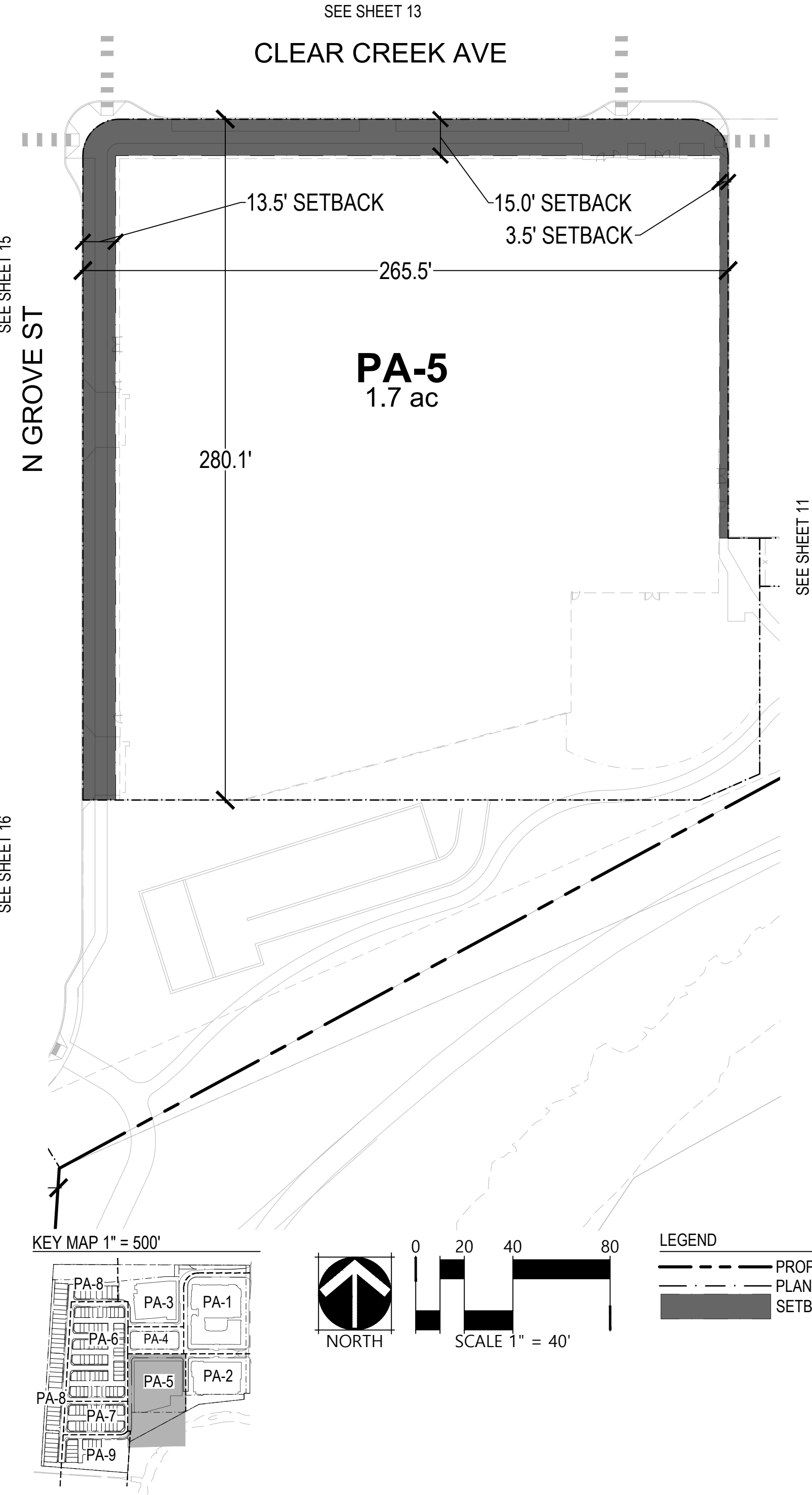
NORRIS  
DESIGN

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1101 BANNOCK STREET  
DENVER, CO 80204  
P 303.892.1166

NORRIS-DESIGN.COM

PA-5 SITE PLAN



PA-5 DEVELOPMENT STANDARDS								
HOUSING TYPE	PA-5 LOT SIZE	PA-5 MAXIMUM DENSITY <sup>(1)</sup>	NORTH PERIMETER SETBACK	SOUTH PERIMETER SETBACK	EAST PERIMETER SETBACK	WEST PERIMETER SETBACK	MAXIMUM BUILDING HEIGHT	FLOOR AREA RATIO
MULTI-FAMILY	1.7 ac	155 du/ac	15'-0"	0'-0"	3'-6"	13'-6"	95'-0" (7 Story)	1.5 - 5.0

Development Standard Notes:

- Maximum Density is representative of the Planning Area being described. The maximum allowed overall units is limited to 1,125 total residential units with a maximum gross project density of approx 54 du/ac as established in the approved PDP.

**PLANNING AREA - 5:**

PA-5 is intended to be mixed use with the possibility of ground floor commercial space along Clear Creek Avenue facing the park/open space. Building floors 1-7 are intended to be occupied by residential and/or commercial/institutional uses.

**LAND USES:**

- Commercial/Institutional	0% - 5% (of Gross Building Area)
- Residential	95% - 100% (of Gross Building Area)

**MAXIMUM PARKING REQUIREMENT:**

Use	Maximum Parking Ratios
Residential	2 spaces per unit
Retail	4 spaces per 1,000 sq. ft.
Office	3 spaces per 1,000 sq. ft.
Restaurant	8 spaces per 1,000 sq. ft.

**PLACEMAKING CONSIDERATIONS:**

This planning area is envisioned as a high density, mixed-use parcel blending multi-family residential with possible retail and commercial uses. The predominant street type will be urban in nature. The area tree lawn between the street and five foot detached walks will be planted with canopy trees, shrubs and ornamental grasses. Bump outs at intersections will increase pedestrian safety and promote walkability. On-street parking is provided on both sides of the street where curb cuts, utilities and other constraints allow for parking to occur. All private streets will be owned and maintained by a Metro District.

The architecture will be highly visible and will require a high level of design on all four sides with quality materials to create an inviting street scene. Architectural standards that will drive the design of the mixed-use buildings can be found on sheets 5 - 7 of this document.

To compliment the architecture, the landscape will also be held to a high standard of design. The landscape will incorporate consistent site furnishings, plant material and design elements that create a distinct but unified neighborhood. For additional landscape standards, please refer to sheets 8 and 9 of this document.

CLEAR CREEK TRANSIT VILLAGE

FINAL DEVELOPMENT PLAN

IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:  
OWNERS NAME

CLEAR CREEK VILLAGE, LLC  
THISTLE CREEK QOF 1, L.P.  
14034 SOUTH 145th EAST  
DRAPER, UT 84020

NOT FOR  
CONSTRUCTION

DATE:  
FDP-01-03/16/2023  
FDP-02-07/07/2023

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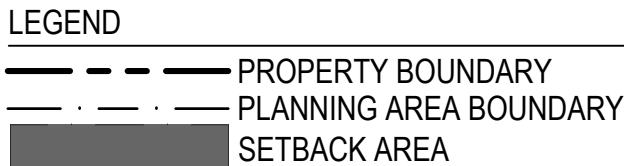
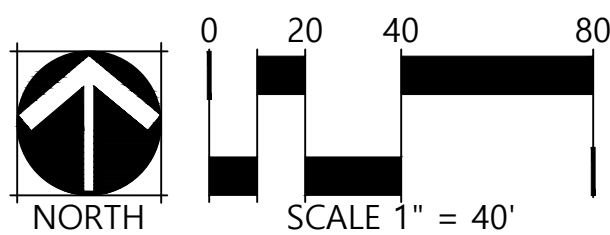
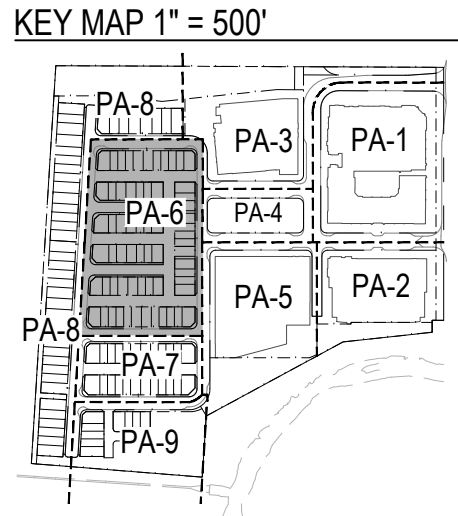
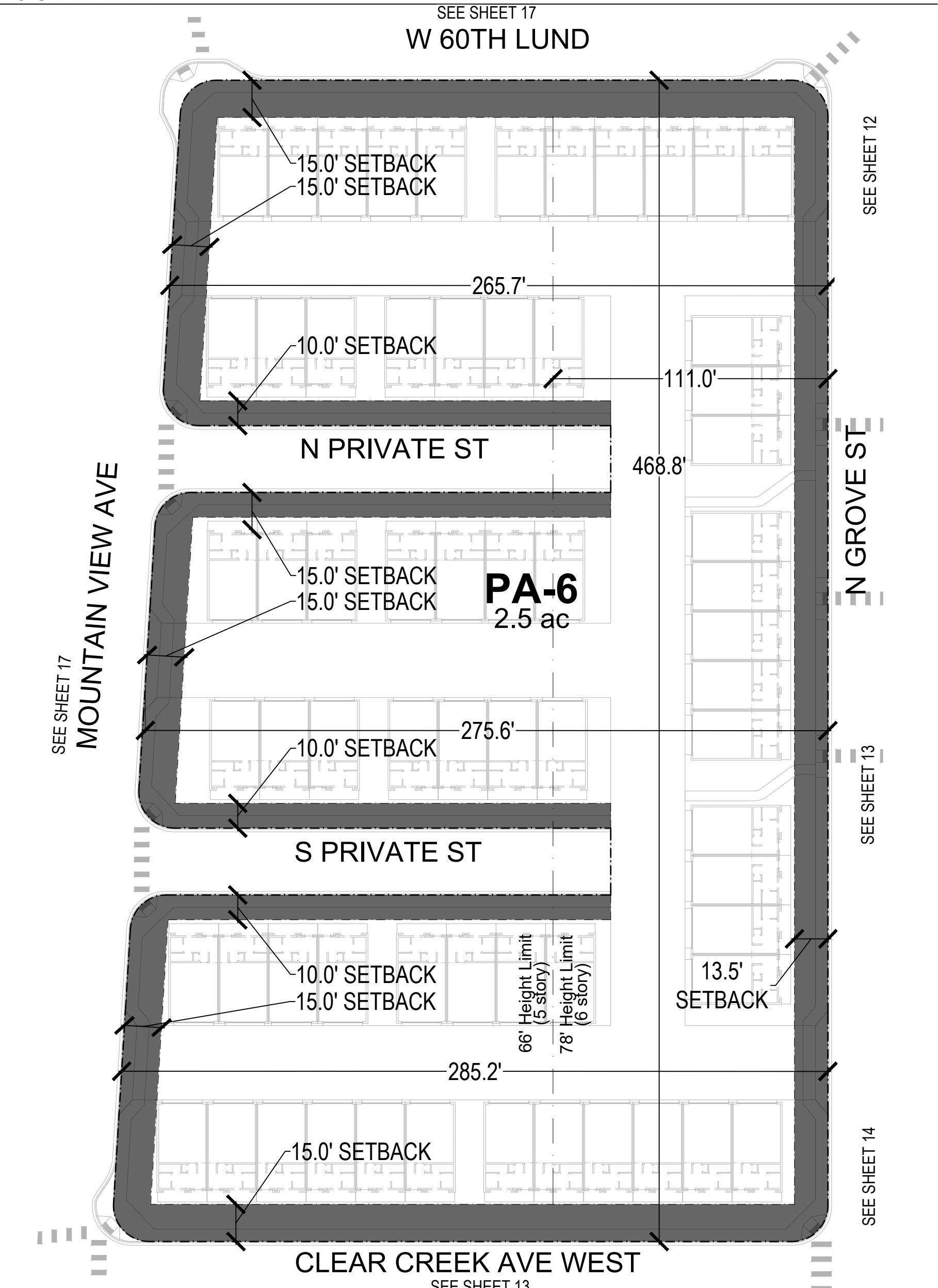
SHEET TITLE:  
PA-5  
SITE PLAN

CLEAR CREEK TRANSIT VILLAGE  
AT CLEAR CREEK  
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO  
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:  
PRC2023-00011

**NORRIS DESIGN**  
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1101 BANNOCK STREET  
DENVER, CO 80204  
P 303.892.1166  
NORRIS-DESIGN.COM

PA-6 SITE PLAN



PA-6 DEVELOPMENT STANDARDS

HOUSING TYPE	MINIMUM LOT SIZE	MINIMUM LOT WIDTH	PA-6 MAXIMUM DENSITY <sup>(1)</sup>	MINIMUM FRONT YARD SETBACK	MINIMUM REAR YARD SETBACK	MINIMUM SIDE YARD SETBACK	MAXIMUM BUILDING HEIGHT <sup>(2)</sup>	MAXIMUM LOT COVERAGE
SINGLE FAMILY ATTACHED REAR LOAD	945 sq	20'-0"	28 du/ac	10'-0"	0'-0"	5'-0" Exterior Wall 0'-0" Interior Wall	78'-0" (6 Story)	85%

Development Standard Notes:

- Maximum Density is representative of the Planning Area being described. The maximum allowed overall units is limited to 1,125 total residential units with a maximum gross project density of approx 54 du/ac as established in the approved PDP.
- The western portion of the planning area has a maximum height restriction of 66'-0" (5 stories) and the eastern portion is limited to 78'-0" (6 stories). Refer to site plan for details.

ARCHITECTURAL STANDARDS

PA-6 is Intended to be single family attached or multi-family residential use with buildings ranging up to 5 or 6 stories.

LAND USES:

- Residential 100% (of PA area)

MAXIMUM PARKING REQUIREMENT:

Use	Maximum Parking Ratios
Residential	2 spaces per unit
Retail	4 spaces per 1,000 sq. ft.
Office	3 spaces per 1,000 sq. ft.
Restaurant	8 spaces per 1,000 sq. ft.

PLACEMAKING CONSIDERATIONS:

This planning area is envisioned as a medium density residential block. The predominant street type will be residential in nature with five foot attached walks and bump outs at intersections to increase pedestrian safety and promote walkability. On-street parking is provided on one side of the street where access, utilities and other constraints allow for it to occur. All private streets will owned and maintained by a Metro District.

The architecture for this parcel is transitioning to the lower building heights found on the west side of the community. To continue the spirit of the neighborhood, massing and materials are to appear woven together with other architectural elements. Architectural standards that will drive the design of the residential buildings can be found on sheets 5 - 7 of this document.

To compliment the architecture, the landscape will also be held to a high standard of design. The landscape will incorporate consistent site furnishings, plant material and design elements that create a distinct but unified neighborhood. For additional landscape standards, please refer to sheets 8 and 9 of this document.

CLEAR CREEK TRANSIT VILLAGE  
FINAL DEVELOPMENT PLAN  
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:  
OWNERS NAME  
CLEAR CREEK VILLAGE, LLC  
THISTLE CREEK QOF I, L.P.  
14034 SOUTH 145th EAST  
DRAPER, UT 84020

NOT FOR  
CONSTRUCTION

DATE:  
FDP-01-03/16/2023  
FDP-02-07/07/2023

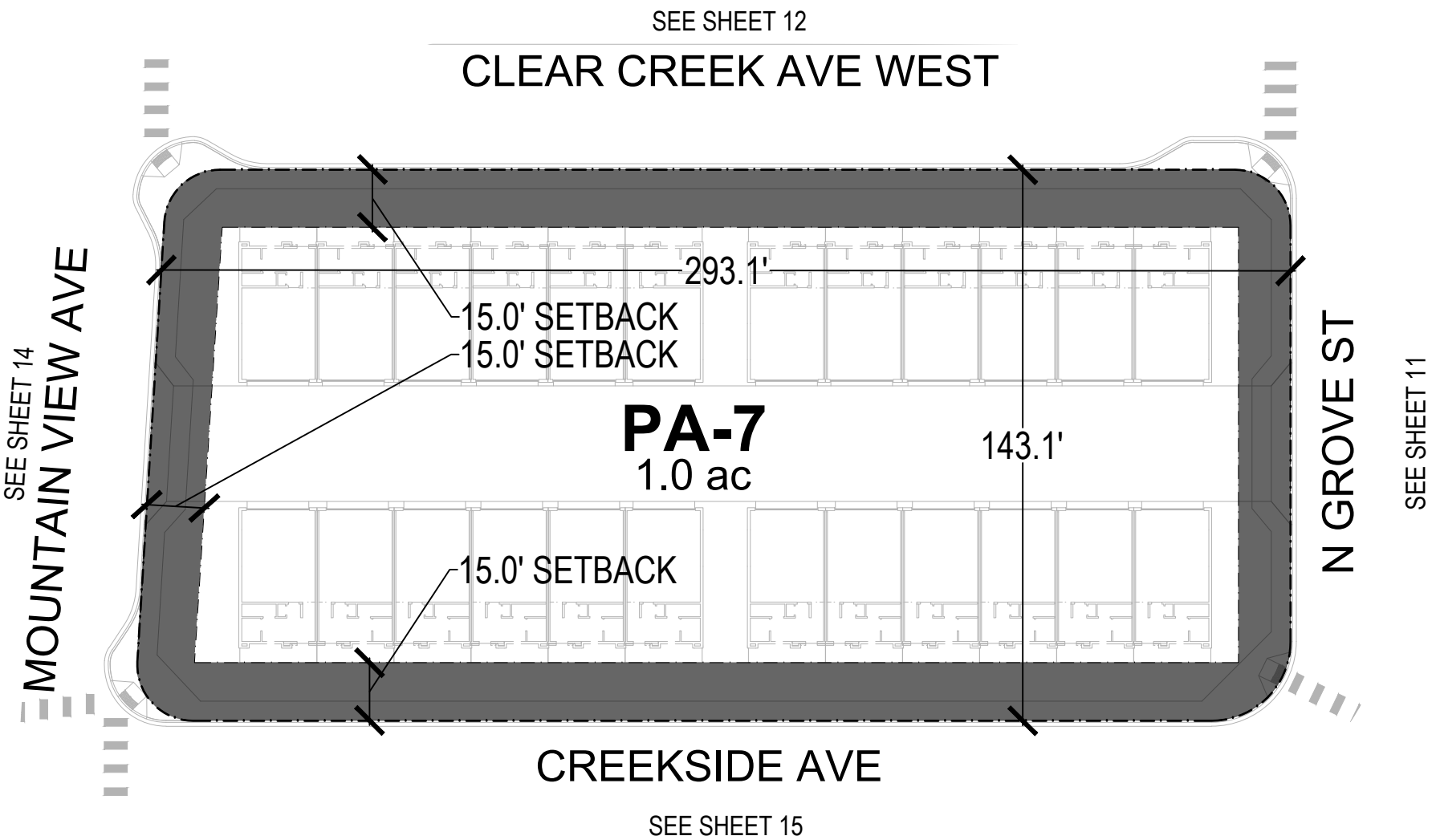
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SHEET TITLE:  
PA-6  
SITE PLAN

CLEAR CREEK TRANSIT VILLAGE
AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:
PRC2023-00011
NORRIS DESIGN
PEOPLE • PLACEMAKING
1101 BANNOCK STREET
DENVER, CO 80204
P.303.892.1166
NORRIS-DESIGN.COM

PA-7 SITE PLAN



PA-7 DEVELOPMENT STANDARDS

HOUSING TYPE	MINIMUM LOT SIZE	MINIMUM LOT WIDTH	PA-7 MAXIMUM DENSITY (1)	MINIMUM FRONT YARD SETBACK	MINIMUM REAR YARD SETBACK	MINIMUM SIDE YARD SETBACK	MAXIMUM BUILDING HEIGHT (3)	MAXIMUM LOT COVERAGE
SINGLE FAMILY ATTACHED REAR LOAD	945 sq	20'-0"	28 du/ac	10'-0"	0'-0"	5'-0" Exterior Wall 0'-0" Interior Wall	95'-0" (7 Story)	85%

Development Standard Notes:

1. Maximum Density is representative of the Planning Area being described. The maximum allowed overall units is limited to 1,125 total residential units with a maximum gross project density of approx 54 du/ac as established in the approved PDP.

PLANNING AREA - 7:

PA-7 is intended to be single family attached or multi-family residential use with buildings up to 7 stories.

LAND USES:

- Residential 100% (of PA area)

MAXIMUM PARKING REQUIREMENT:

Use	Maximum Parking Ratios
Residential	2 spaces per unit
Retail	4 spaces per 1,000 sq. ft.
Office	3 spaces per 1,000 sq. ft.
Restaurant	8 spaces per 1,000 sq. ft.

PLACEMAKING CONSIDERATIONS:

This planning area is envisioned as a medium density residential block. The predominant street type will be residential in nature with five foot attached walks and bump outs at intersections to increase pedestrian safety and promote walkability. On-street parking is provided on one side of the street where access, utilities and other constraints allow for it to occur. All private streets will owned and maintained by a Metro District.

The architecture for this parcel is transitioning to the lower building heights found on the west side of the community. To the continue the spirit of the neighborhood, massing and materials are to appear woven together with other architectural elements. Architectural standards that will drive the design of the residential buildings can be found on sheets 5 - 7 of this document.

To compliment the architecture, the landscape will also be held to a high standard of design. The landscape will incorporate consistent site furnishings, plant material and design elements that create a distinct but unified neighborhood. For additional landscape standards, please refer to sheets 8 and 9 of this document.

CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

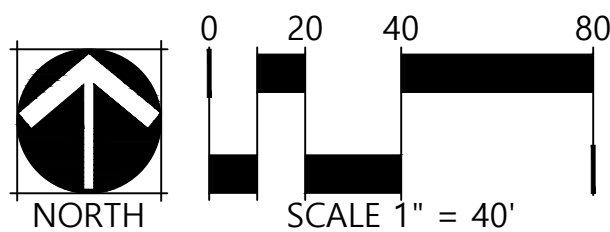
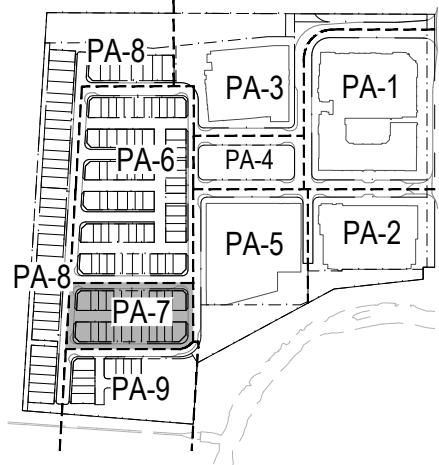
OWNER:
OWNERS NAME
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK QOF 1, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

NOT FOR
CONSTRUCTION

DATE:
FDP-01-03/16/2023
FDP-02-07/07/2023
DRAFT

SHEET TITLE:
PA-7
SITE PLAN

KEY MAP 1" = 500'



LEGEND

---	PROPERTY BOUNDARY
-.-.-	PLANNING AREA BOUNDARY
■	SETBACK AREA



CLEAR CREEK TRANSIT VILLAGE
AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:
PRC2023-00011
NORRIS DESIGN
PEOPLE • PLACEMAKING
1101 BANNOCK STREET
DENVER, CO 80204
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NORRIS-DESIGN.COM

PA-8 SITE PLAN

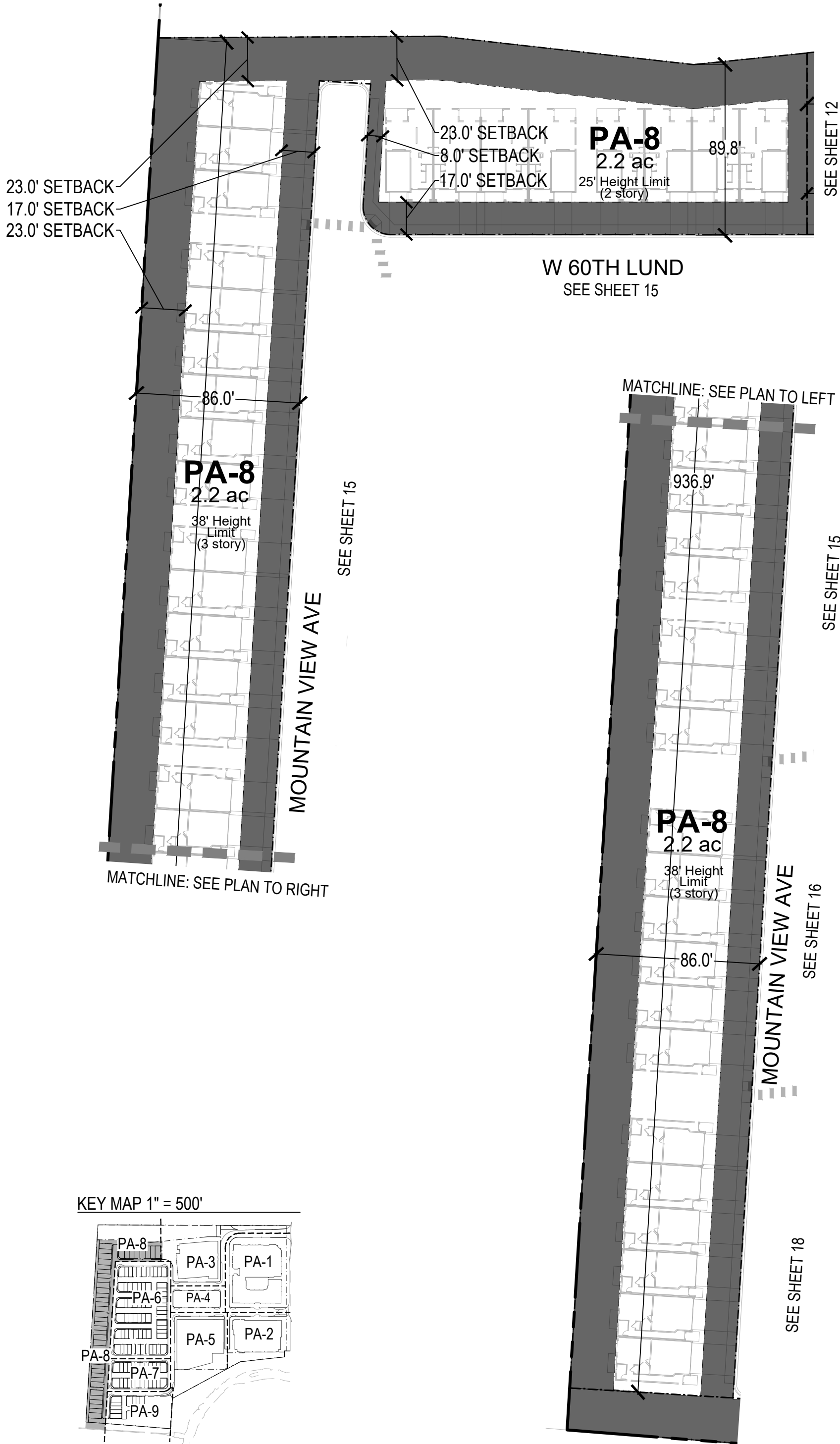


Table with 9 columns: HOUSING TYPE, MINIMUM LOT SIZE, MINIMUM LOT WIDTH, PA-8 MAXIMUM DENSITY (1), MINIMUM FRONT YARD SETBACK, MINIMUM REAR YARD SETBACK, MINIMUM SIDE YARD SETBACK, MAXIMUM BUILDING HEIGHT (3), MAXIMUM LOT COVERAGE. Rows include SINGLE FAMILY ATTACHED FONT LOAD and SINGLE FAMILY ATTACHED REAR LOAD.

- Development Standard Notes:
1. Maximum Density is representative of the Planning Area being described. The maximum allowed overall units is limited to 1,125 total residential units with a maximum gross project density of approx 54 du/ac as established in the approved PDP.
2. The western portion of the planning area has a maximum height restriction of 66'-0" (5 stories) and the eastern portion is limited to 78'-0" (6 stories). Refer to site plan for details.

PLANNING AREA - 8:
PA-8 is intended to be single family attached residential use with buildings up to 3 stories on the western edge and up to 2 stories on the northwestern edge of the site, including garages accessed off of Mountain View Lane and West 60th Lane.

Table with 2 columns: Use, Maximum Parking Ratios. Rows include Residential (100% of PA area), Retail, Office, and Restaurant.

PLACEMAKING CONSIDERATIONS:
This planning area is envisioned as a medium density residential block. The predominant street type will be residential in nature with five foot attached walks and bump outs at intersections to increase pedestrian safety and promote walkability. On-street parking is provided on one side of the street where access, utilities and other constraints allow for it to occur. All private streets will owned and maintained by a Metro District.

The architecture for this parcel contains of lower building heights consistent with single family attached homes. To the continue the spirit of the neighborhood, massing and materials are to appear woven together with other architectural elements. Architectural standards that will drive the design of the residential buildings can be found on sheets 5 - 7 of this document.
To compliment the architecture, the landscape will also be held to a high standard of design. The landscape will incorporate consistent site furnishings, plant material and design elements that create a distinct but unified neighborhood. For additional landscape standards, please refer to sheets 8 and 9 of this document.

CLEAR CREEK TRANSIT VILLAGE

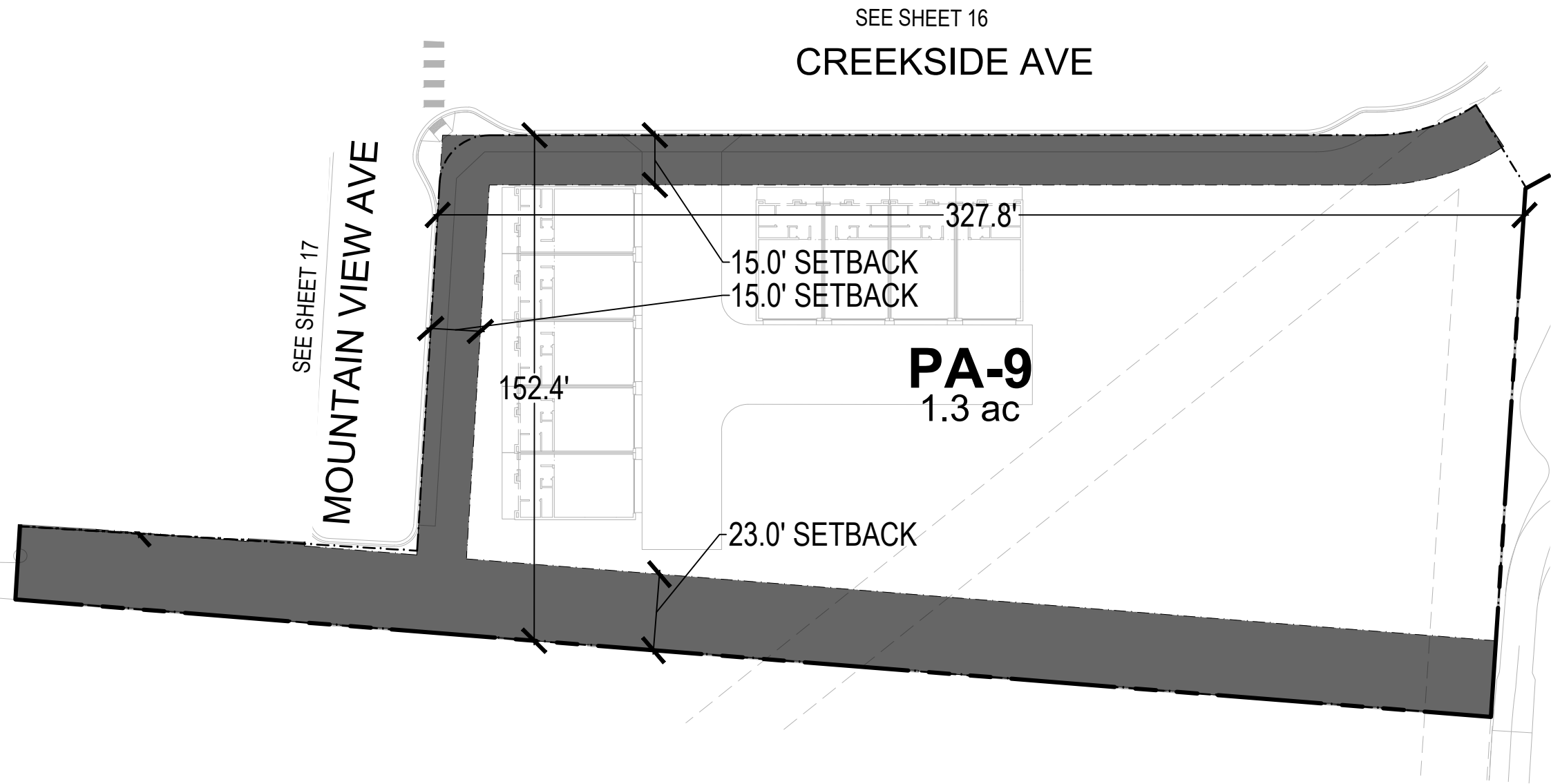
AT CLEAR CREEK  
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO

PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:  
PRC2023-00011

**NORRIS  
DESIGN**  
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1101 BANNOCK STREET  
DENVER, CO 80204  
P 303.892.1166

PA-9 SITE PLAN



PA-9 DEVELOPMENT STANDARDS								
HOUSING TYPE	MINIMUM LOT SIZE	MINIMUM LOT WIDTH	PA-9 MAXIMUM DENSITY <sup>(1)</sup>	MINIMUM FRONT YARD SETBACK	MINIMUM REAR YARD SETBACK	MINIMUM SIDE YARD SETBACK	MAXIMUM BUILDING HEIGHT <sup>(3)</sup>	MAXIMUM LOT COVERAGE
SINGLE FAMILY ATTACHED REAR LOAD	945 sq	20'-0"	28 du/ac	10'-0"	0'-0"	5'-0" Exterior Wall 0'-0" Interior Wall	35'-0" (3 Story)	85%

- Development Standard Notes:
- Maximum Density is representative of the Planning Area being described. The maximum allowed overall units is limited to 1,125 total residential units with a maximum gross project density of approx 54 du/ac as established in the approved PDP.

PLANNING AREA - 9:

PA-9 is intended to be single family attached residential use with buildings up to 3 stories.

LAND USES:

- Residential 100% (of PA area)

MAXIMUM PARKING REQUIREMENT:

Use	Maximum Parking Ratios
Residential	2 spaces per unit
Retail	4 spaces per 1,000 sq. ft.
Office	3 spaces per 1,000 sq. ft.
Restaurant	8 spaces per 1,000 sq. ft.

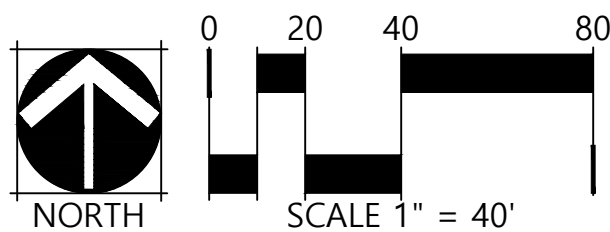
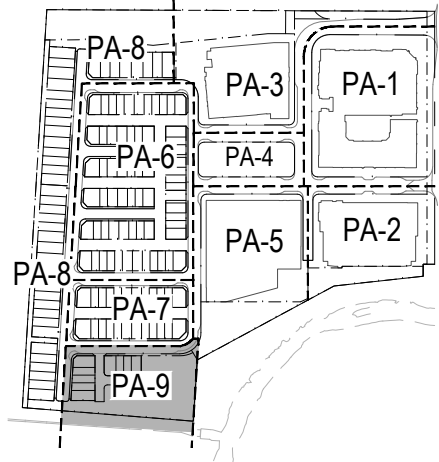
PLACEMAKING CONSIDERATIONS:

This planning area is envisioned as a medium density residential block. The predominant street type will be residential in nature with five foot attached walks and bump outs at intersections to increase pedestrian safety and promote walkability. On-street parking is provided on one side of the street where access, utilities and other constraints allow for it to occur. All private streets will owned and maintained by a Metro District.

The architecture for this parcel contains of lower building heights consistent with single family attached homes. To the continue the spirit of the neighborhood, massing and materials are to appear woven together with other architectural elements. Architectural standards that will drive the design of the residential buildings can be found on sheets 5 - 7 of this document.

To compliment the architecture, the landscape will also be held to a high standard of design. The landscape will incorporate consistent site furnishings, plant material and design elements that create a distinct but unified neighborhood. For additional landscape standards, please refer to sheets 8 and 9 of this document.

KEY MAP 1" = 500'



LEGEND	
	PROPERTY BOUNDARY
	PLANNING AREA BOUNDARY
	SETBACK AREA

CLEAR CREEK TRANSIT VILLAGE  
FINAL DEVELOPMENT PLAN  
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:  
OWNERS NAME  
CLEAR CREEK VILLAGE, LLC  
THISTLE CREEK OOF, L.P.  
14034 SOUTH 145th EAST  
DRAPER, UT 84020

NOT FOR  
CONSTRUCTION

DATE:  
FDP-01-03/16/2023  
FDP-02-07/07/2023  
**DRAFT**

SHEET TITLE:  
PA-9  
SITE PLAN

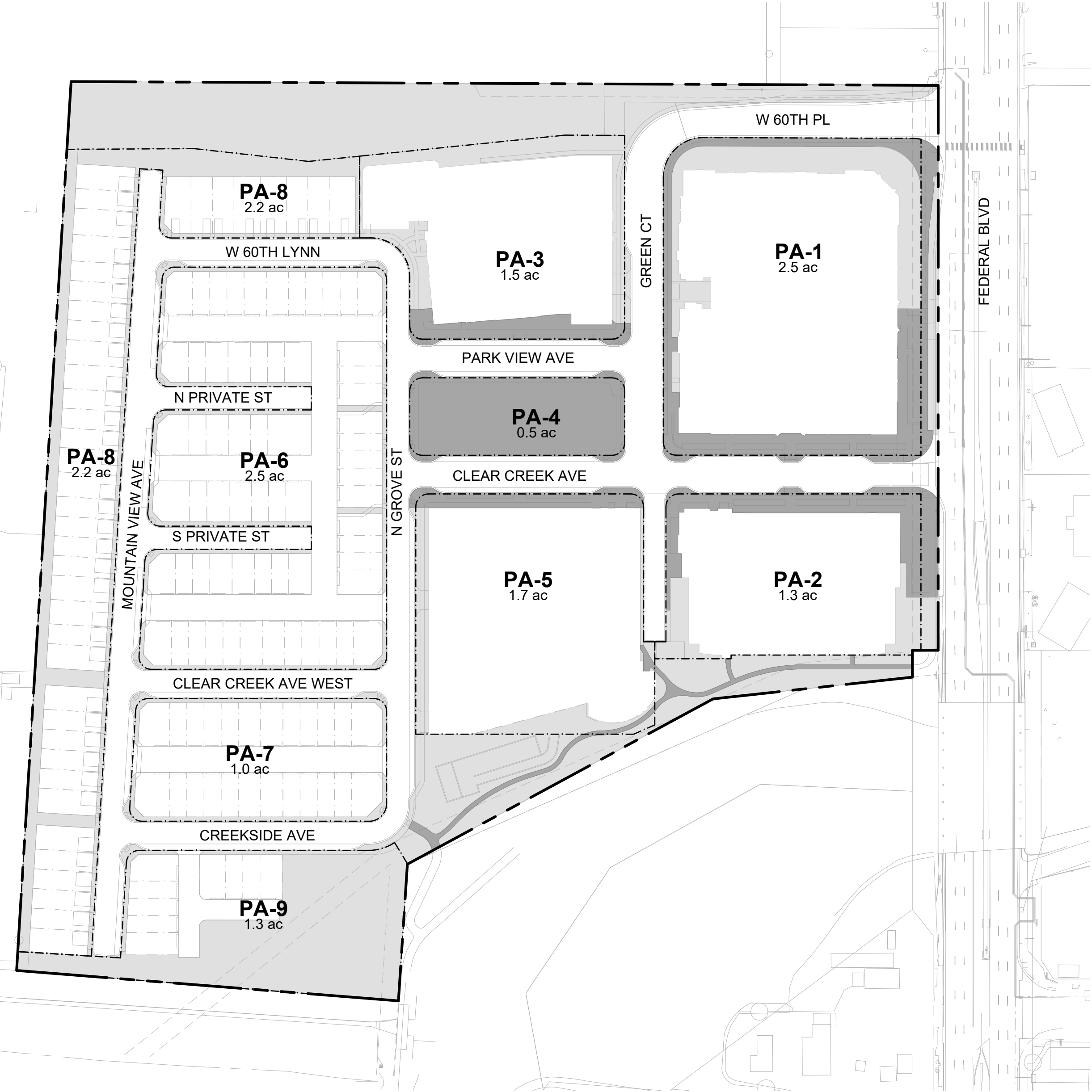


CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK  
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO

PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

OPEN SPACE AND ACTIVE RECREATION PLAN



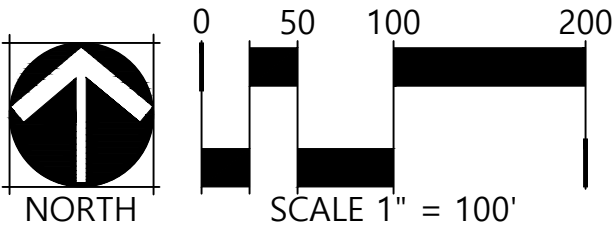
OPEN SPACE SUMMARY				
SITE	OPEN SPACE REQUIRED (30% MIN)	OPEN SPACE PROVIDED	ACTIVE OPEN SPACE REQUIRED	ACTIVE OPEN SPACE PROVIDED
21.1 ACRES	6.3 ACRES	7.2 ACRES	1.6 ACRES	1.7 ACRES

- NOTES:
- Open space includes landscape buffer areas and private access drives.
  - At least thirty percent (30%) of the site shall be open area (6.3 ac). Twenty five percent (25%) of that open area must be active open space (1.6 ac).
  - Active open space includes community amenities such as park, walks connecting to the regional Clear Creek Trail, plaza area in front of retail uses, Federal Blvd streetscape and walks connecting to multi-family entrances.

- OPEN SPACE REQUIREMENTS
- A. Minimum 5% landscape area required within each planning area.
  - B. Minimum one tree per 1,000 square feet of landscape area (with the exception of PA-4).
  - C. Minimum one 5 gal. shrub or two 1 gal. perennials / groundcovers per 200 square feet of non-turf landscape area.
  - D. All landscape areas shall planted such that vegetative cover at plant maturity achieves a minimum 70% living coverage.
  - E. Turf is permitted where active recreational use is intended.

- POTENTIAL ACTIVE RECREATION PROGRAM ELEMENTS
- The following program elements are intended to satisfy the requirement to activate twenty five percent (25%) of the open space. These program elements may include, but are not limited to:

- Mixed-Use Activated Retail Streetscape
- Internal Pedestrian Circulation
- Regional Clear Creek Trail Connection
- Primary Park Plaza
- Secondary Plaza
- Gathering Nodes
- Open Turf Lawn
- Playground Structures
- Splash Pads
- Courtyards
- Swimming Pools
- Rooftop Gardens



LEGEND	
	OPEN SPACE AREA
	ACTIVE OPEN SPACE AREA

CLEAR CREEK TRANSIT VILLAGE

FINAL DEVELOPMENT PLAN  
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:  
OWNERS NAME  
CLEAR CREEK VILLAGE, LLC  
THISTLE CREEK OOF I, L.P.  
14034 SOUTH 145th EAST  
DRAPER, UT 84020

NOT FOR  
CONSTRUCTION

DATE:  
FDP-01-03/16/2023  
FDP-02-07/07/2023

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SHEET TITLE:  
OPEN SPACE AND  
ACTIVE REC PLAN



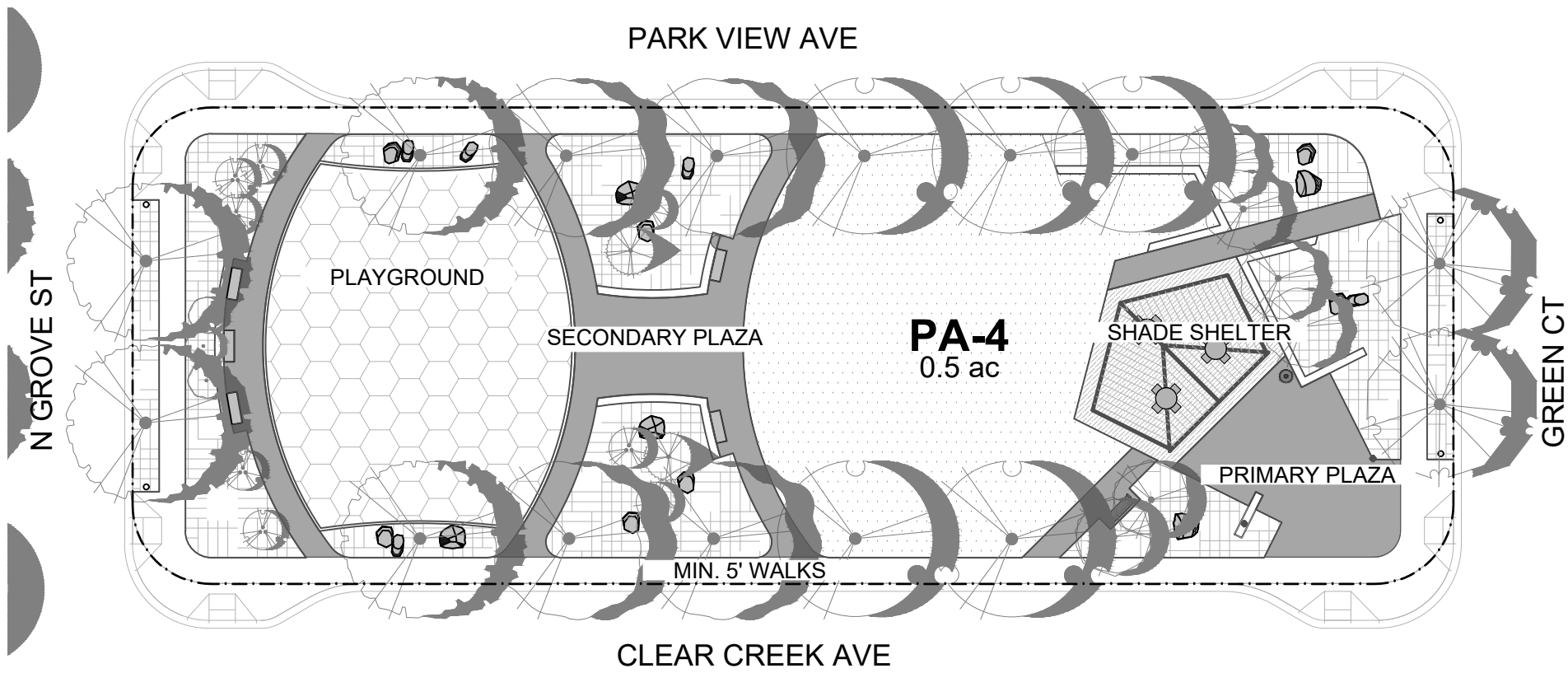
CLEAR CREEK TRANSIT VILLAGE  
AT CLEAR CREEK  
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO  
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:  
PRC2023-00011

**NORRIS  
DESIGN**  
PEOPLE • PLACEMAKING  
1101 BANNOCK STREET  
DENVER, CO 80204  
P 303.892.1166

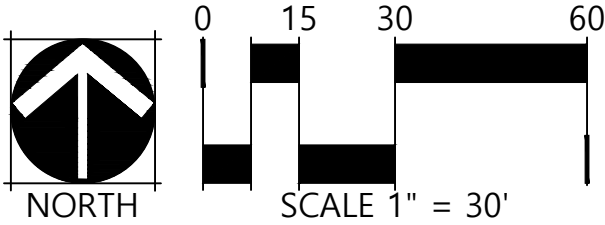
**NORRIS-DESIGN.COM**

VILLAGE GREEN ACTIVE RECREATION CONCEPT (FINAL LAYOUT SUBJECT TO CHANGE)

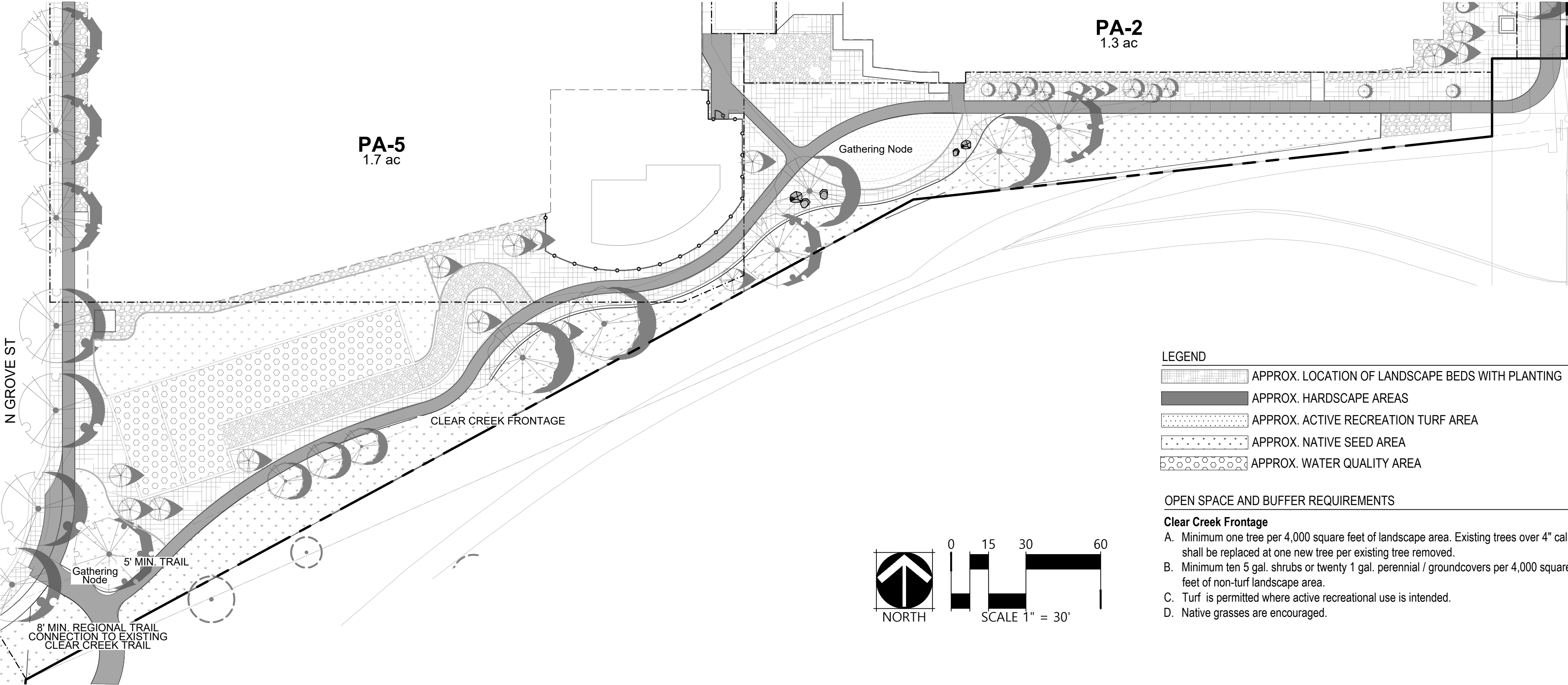


- LEGEND
- APPROX. LOCATION OF LANDSCAPE BEDS WITH PLANTING
  - APPROX. HARDSCAPE AREAS
  - APPROX. ACTIVE RECREATION TURF AREA
  - PLAYGROUND SURFACE

- OPEN SPACE AND BUFFER REQUIREMENTS
- Village Green (PA-4)**
- A. Minimum one 5 gal. shrub or two 1 gal. perennials / groundcovers per 200 square feet of non-turf landscape area.
  - B. All landscape areas shall planted such that vegetative cover at plant maturity achieves a minimum 70% living coverage.
  - C. Street trees are required per Street Tree Plan located, refer to sheet 23. Additional trees are recommended within the Village Green to complement amenities and gathering spaces.
  - D. Turf is permitted where active recreational use is intended.

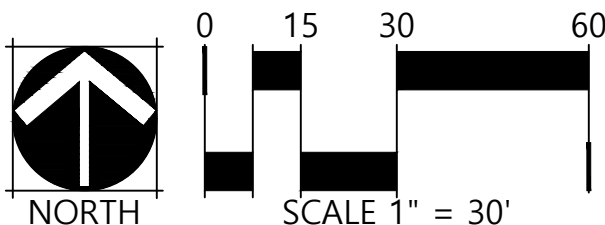


CLEAR CREEK FRONTAGE ACTIVE RECREATION CONCEPT (FINAL LAYOUT SUBJECT TO CHANGE)



- LEGEND
- APPROX. LOCATION OF LANDSCAPE BEDS WITH PLANTING
  - APPROX. HARDSCAPE AREAS
  - APPROX. ACTIVE RECREATION TURF AREA
  - APPROX. NATIVE SEED AREA
  - APPROX. WATER QUALITY AREA

- OPEN SPACE AND BUFFER REQUIREMENTS
- Clear Creek Frontage**
- A. Minimum one tree per 4,000 square feet of landscape area. Existing trees over 4" cal. shall be replaced at one new tree per existing tree removed.
  - B. Minimum ten 5 gal. shrubs or twenty 1 gal. perennial / groundcovers per 4,000 square feet of non-turf landscape area.
  - C. Turf is permitted where active recreational use is intended.
  - D. Native grasses are encouraged.



CLEAR CREEK TRANSIT VILLAGE  
FINAL DEVELOPMENT PLAN  
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:  
OWNERS NAME  
CLEAR CREEK VILLAGE, LLC  
THISTLE CREEK QOF I.L.P.  
14034 SOUTH 145th EAST  
DRAPER, UT 84020

NOT FOR  
CONSTRUCTION

DATE:  
FDP-01-03/16/2023  
FDP-02-07/07/2023

**DRAFT**

SHEET TITLE:  
ACTIVE  
RECREATION  
CONCEPTS



CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK  
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO

PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:  
PRC2023-00011

**NORRIS  
DESIGN**  
PEOPLE • PLACEMAKING  
1101 BANNOCK STREET  
DENVER, CO 80204  
P. 303.892.1166

PLACEMAKING, CIRCULATION, AND SIGNAGE PLAN

PLACEMAKING CONSIDERATIONS:

**Mixed-Use Street Area:** The Mixed-Use Street Area is comprised of Planning Areas 1-5 and consists of higher-density (what is the DUA for MUSA) buildings and uses including residential and retail. These Planning Areas are generally located adjacent to Federal Boulevard within the eastern half of the Clear Creek Transit Village FDP. The Mixed-Use Street Area allows for a range of uses and emphasizes the pedestrian oriented nature of a TOD district. This area includes multi-modal connections including pedestrian access to transit across Federal Boulevard and the internal pedestrian network of the development, as well as access to the Clear Creek Trail to the south via a new trail connection. The proposed sidewalks meet the typical width standards of a minimum of 5 feet to allow for pedestrian movement and the roads provide the necessary travel lanes and on-street parking is provided where applicable.

**Townhome Street Area:** The Townhome Street Area is comprised of Planning Areas 6-9 and consists of moderate density townhomes and is strictly residential in nature. These Planning Areas are in the western half of the Clear Creek Transit Village FDP. This area includes multi-modal connections including pedestrian access to the internal pedestrian network of the development, as well as access to the Clear Creek Trail to the south via a new trail connection. To allow for greater traffic control within the Townhome Street Areas, street widths are approximately 33', including 26' of drive lanes and 7' wide parallel on-street parking located on one side of the street, and typically 5' attached sidewalks. Additional private parking is provided for in garages and driveways.

**Lighting:** Lighting will be provided by either wall mounted, pole mounted, bollard or a combination of to achieve a safe environment.

**Bicycle Parking:** Bicycle parking is encouraged throughout the project and shall be provided at all multi-family building entrances, Creekside Ave Gathering Node and the Village Green Primary Plaza.

CIRCULATION LEGEND

- SIDEWALK - 5' MIN. PEDESTRIAN (DETACHED)
- SIDEWALK - 5' MIN. PEDESTRIAN (ATTACHED)
- SIDEWALK - 5' MIN. PEDESTRIAN WALK / TRAIL (INTERNAL TO PLANNING AREAS, SEE NOTE BELOW)
- SIDEWALK / TRAIL - 8' MIN. PEDESTRIAN AND BIKE CONNECTION
- EXISTING PEDESTRIAN CIRCULATION
- CROSSWALK
- RTD LIGHT RAIL STATION

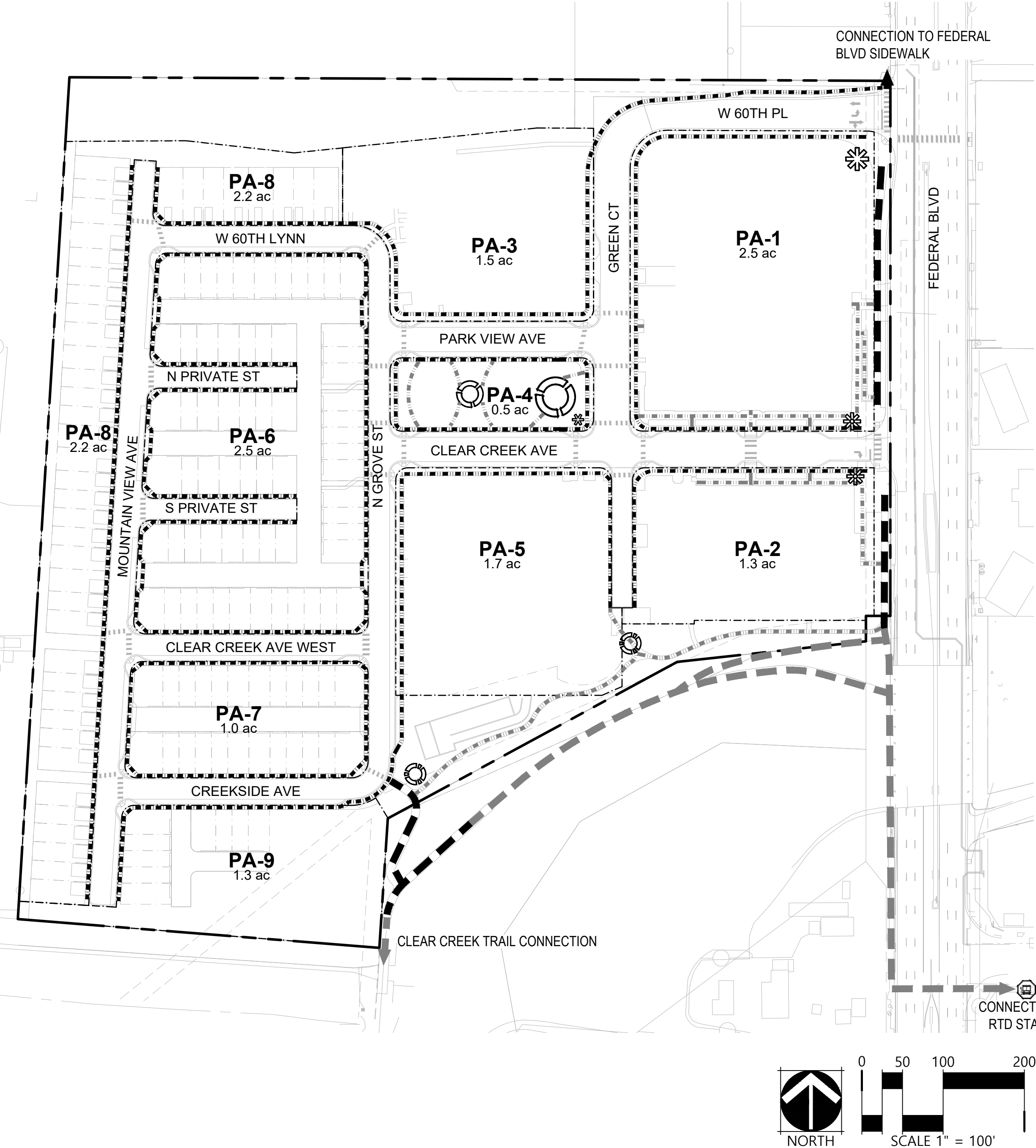
NOTE: WALKS INTERNAL TO PLANNING AREAS SHALL PROVIDE PEDESTRIAN ACCESS TO ALL INGRESS/EGRESS AND ACTIVE RECREATION AREAS - FINAL LOCATIONS MAY VARY.

PLACEMAKING LEGEND

- PRIMARY PARK PLAZA
- SECONDARY PLAZA
- GATHERING NODE

SIGNAGE LEGEND

- PRIMARY PROJECT SIGNAGE - WALL MOUNTED MONUMENT
- PRIMARY PROJECT SIGNAGE - MONUMENT / WAYFINDING / INFO  
(Community identity signage)
- SECONDARY SIGNAGE - WAYFINDING / INFO  
(Final locations to be determined in Final Landscape Plans)



CLEAR CREEK TRANSIT VILLAGE  
FINAL DEVELOPMENT PLAN  
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:  
OWNERS NAME  
CLEAR CREEK VILLAGE, LLC  
THISTLE CREEK OOF I, L.P.  
14034 SOUTH 145th EAST  
DRAPER, UT 84020

NOT FOR  
CONSTRUCTION

DATE:  
FDP-01-03/16/2023  
FDP-02-07/07/2023  
**DRAFT**

SHEET TITLE:  
PLACEMAKING,  
CIRCULATION, AND  
SIGNAGE PLAN

21 of 29

CHECKED BY:  
DRAWN BY:  
XX

CLEAR CREEK TRANSIT VILLAGE

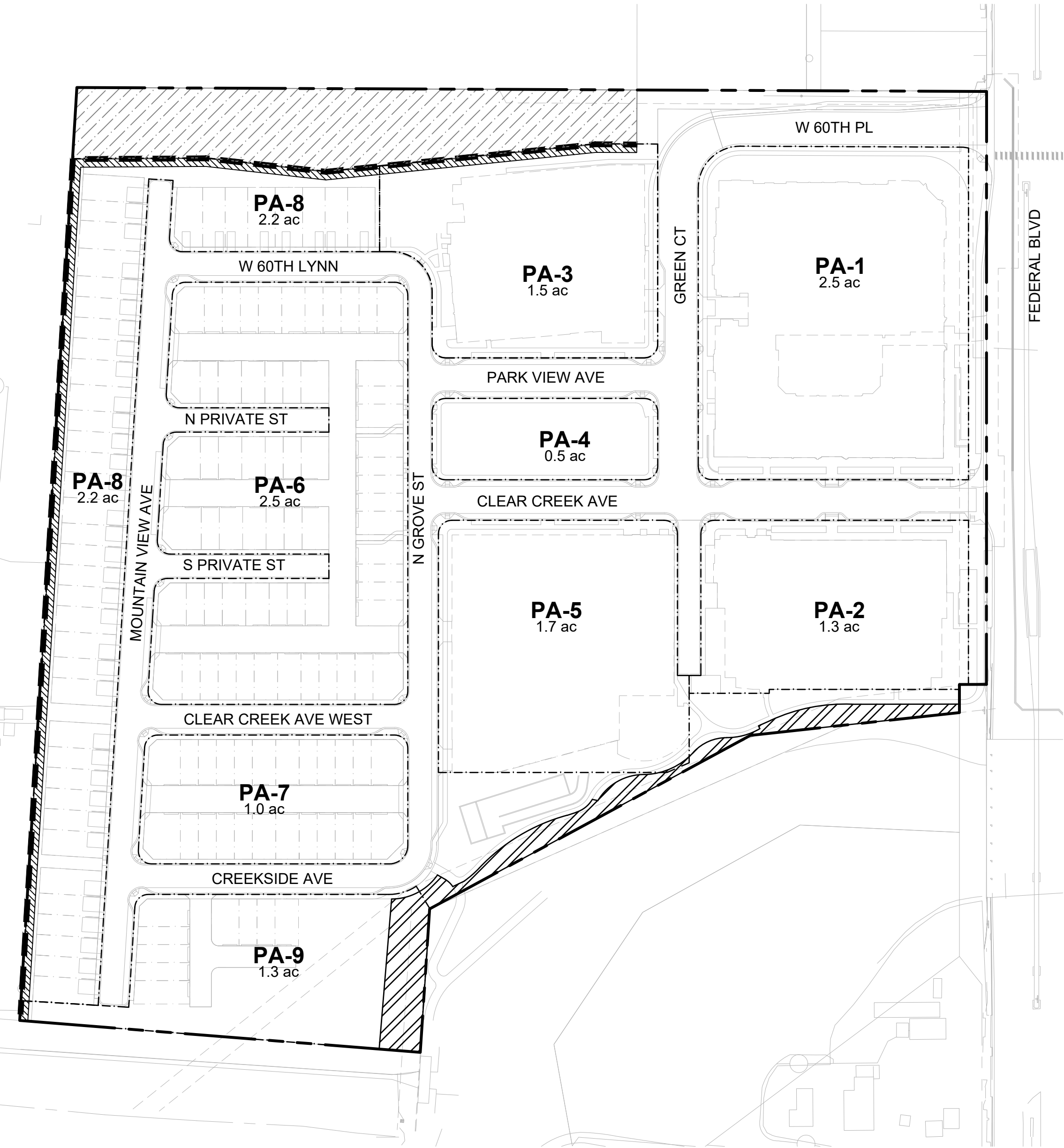
AT CLEAR CREEK  
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO

PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:  
PRC2023-00011

**NORRIS  
DESIGN**  
PEOPLE • PLACEMAKING  
1101 BANNOCK STREET  
DENVER, CO 80204  
P 303.892.1166

FENCE, BUFFER AND FRONTAGE PLAN



LANDSCAPE BUFFER AND FRONTAGE AREA CALCULATION			
AREA	REQUIREMENT CALCULATION	LENGTH / AREA	MINIMUM REQUIREMENT
NORTH BUFFER	1 EVERGREEN TREE PER 30 LF	876 LF	30 EVERGREEN TREES
WEST BUFFER	1 EVERGREEN TREE PER 30 LF	958 LF	32 EVERGREEN TREES
CLEAR CREEK FRONTAGE	1 TREE PER 4000 SF, 10 (5) GAL. SHRUBS OR 20 (1) GAL. PERENNIALS PER 4000 SF OF NON-TURF LANDSCAPE AREA	18,720 SF	5 TREES AND 47 SHRUBS OR 94 PERENNIALS

BUFFER AND FRONTAGE REQUIREMENTS

- North Landscape Buffer**
- A. Minimum one evergreen tree per 30 linear feet
  - B. Minimum six foot metal fence.
- West Landscape Buffer**
- A. Minimum one evergreen tree per 30 linear feet
  - B. Minimum six foot metal fence.
- Clear Creek Frontage**
- A. Minimum one tree per 4,000 square feet of landscape area. Existing trees over 4" cal. shall be replaced at one new tree per existing tree removed.
  - B. Minimum ten 5 gal. shrubs or twenty 1 gal. perennial / groundcovers per 4,000 square feet of non-turf landscape area.
  - C. Turf is permitted where active recreational use is intended,
  - D. Native grasses are encouraged.

- LEGEND
- FENCE - 6' HT. MIN. METAL FENCE
  - EXISTING LANDSCAPE BERM AND FENCE EASEMENT (BOOK 4701, PAGE 983 - ADAMS COUNTY CLERK AND RECORDER) - TO REMAIN AS IS
  - PROPOSED WEST AND NORTH LANDSCAPE BUFFER AREA
  - CLEAR CREEK FRONTAGE AREA (FINAL AREA MAY VARY)

CLEAR CREEK TRANSIT VILLAGE

FINAL DEVELOPMENT PLAN  
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:  
OWNERS NAME  
CLEAR CREEK VILLAGE, LLC  
THISTLE CREEK QOF I, L.P.  
14034 SOUTH 145th EAST  
DRAPER, UT 84020

NOT FOR  
CONSTRUCTION

DATE:  
FDP-01-03/16/2023  
FDP-02-07/07/2023  
**DRAFT**

SHEET TITLE:  
FENCE, BUFFER  
AND FRONTAGE  
PLAN

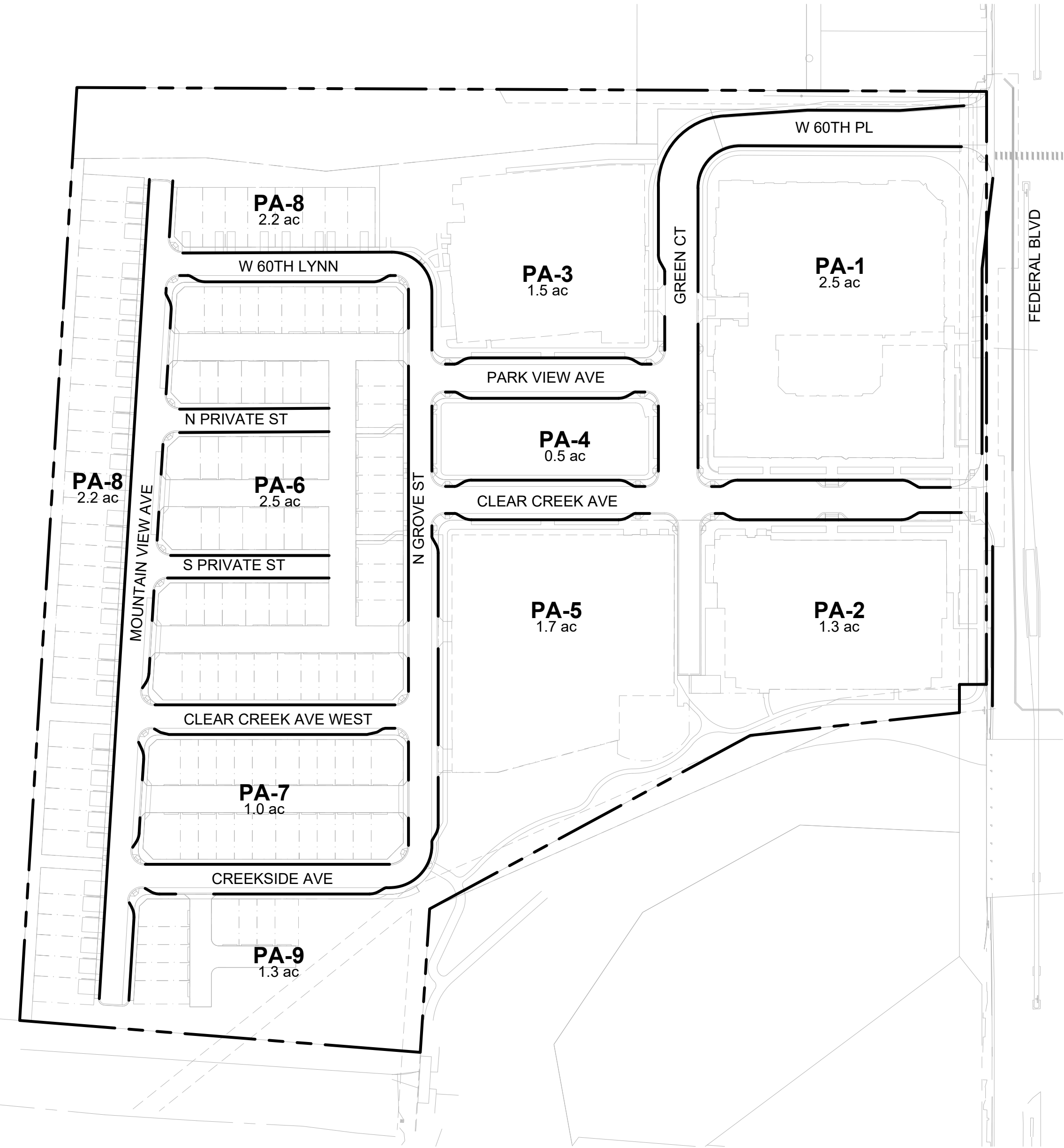


CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK  
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO

PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

STREETSCAPE TREE REQUIREMENT PLAN



Standard Rights-of-Way Street Tree Table		
Street Tree Description	Length (Linear Feet)	Trees Required
W 60TH LN (1 Tree / 40 LF)	509	13
N PRIVATE ST (1 Tree / 40 LF)	332	9
S PRIVATE ST (1 Tree / 40 LF)	355	9
MOUNTAIN VIEW AVE (1 Tree / 40 LF)	1,369	35
CLEAR CREEK AVE (1 Tree / 40 LF)	998	25
CREEKSIDE AVE (1 Tree / 40 LF)	556	14
N GROVE ST (1 Tree / 40 LF)	914	23
PARK VIEW AVE (1 Tree / 40 LF)	457	12
GREEN CT (1 Tree / 40 LF)	587	15
WEST 60TH PL (1 Tree / 40 LF)	608	15
FEDERAL BLVD (1 Tree / 40 LF)	483	12
Totals:	7,168	182

- Notes:**
- Streetscape lengths shall be calculated per Adams County code, with 1 tree provided per 40 linear feet of streetscape.
  - Intersection tangents, private drive intersections, and driveway intersections shall be excluded from calculations. Hardship for easement locations, raingardens or other site infrastructure elements shall be considered, and in instances of hardships required trees shall be relocated to adjacent Planning Areas.
  - Trees placed in front of lots fronting along private streets may be counted towards street tree calculation for private streets.
  - Final street length calculations shall be determined at time of construction documents and subject to change.

**LEGEND**

—

LF OF ROAD

- - -

PROPERTY BOUNDARY

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK  
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO

PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:  
PRC2023-00011



NORRIS-DESIGN.COM

POTENTIAL PLANT SCHEDULE

DECIDUOUS CANOPY TREES			
BOTANICAL NAME	COMMON NAME	ROOT	SIZE
ACER MIYABEI 'JFS-KW3AMI' TM	RUGGED RIDGE MIYABE MAPLE	B & B	2" CAL.
ACER SACCHARUM 'JFS-CADD02' TM	FLASHFIRE SUGAR MAPLE	B & B	2" CAL.
ACER X FREEMANII 'JEFFERSRED' TM	AUTUMN BLAZE FREEMAN MAPLE	B & B	2" CAL.
CATALPA SPECIOSA	NORTHERN CATALPA	B & B	2" CAL.
CELTIS OCCIDENTALIS	COMMON HACKBERRY	B & B	2" CAL.
GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER' TM	SHADEMASTER LOCUST	B & B	2" CAL.
GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE' TM	SKYLINE HONEY LOCUST	B & B	2" CAL.
GYMNOCLADUS DIOICA 'ESPRESSO'	KENTUCKY COFFEETREE	B & B	2" CAL.
QUERCUS MUEHLENBERGII	CHINKAPIN OAK	B & B	2" CAL.
QUERCUS ROBUR	ENGLISH OAK	B & B	2" CAL.
TILIA X EUCHLORA 'REDMOND'	REDMOND LINDEN	B & B	2" CAL.
ULMUS AMERICANA 'NEW HORIZON'	NEW HORIZON ELM	B & B	2" CAL.
ULMUS AMERICANA 'VALLEY FORGE'	VALLEY FORGE AMERICAN ELM	B & B	2" CAL.
ULMUS JAPONICA X WILSONIANA 'MORTON' TM	ACCOLADE ELM	B & B	2" CAL.

EVERGREEN TREES			
BOTANICAL NAME	COMMON NAME	ROOT	SIZE
PICEA PUNGENS	COLORADO SPRUCE	B & B	6' HT.
PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	VANDERWOLF'S PYRAMID LIMBER PINE	B & B	6' HT.
PINUS NIGRA	AUSTRIAN PINE	B & B	6' HT.
PINUS SYLVESTRIS	SCOTCH PINE	B & B	6' HT.

BOTANICAL NAME	COMMON NAME	ROOT	SIZE
JUNIPERUS CHINENSIS 'SPARTAN'	SPARTAN JUNIPER	B & B	5' HT.
JUNIPERUS SCOPULORUM 'COLOGREEN'	COLOGREEN JUNIPER	B & B	5' HT.
JUNIPERUS SCOPULORUM 'MOONGLOW'	MOONGLOW JUNIPER	B & B	5' HT.

BOTANICAL NAME	COMMON NAME	ROOT	SIZE
PICEA GLAUCA 'DENSATA'	BLACK HILLS SPRUCE	B & B	6' HT.
PICEA PUNGENS 'BAKERI'	BAKER COLORADO SPRUCE	B & B	6' HT.
PINUS EDULIS	PINYON PINE	B & B	6' HT.

BOTANICAL NAME	COMMON NAME	ROOT	SIZE
PINUS LEUCODERMIS 'ISELI FASTIGIATE'	ISELI FASTIGIATE BOSNIAN PINE	B & B	5' HT.
PINUS NIGRA 'FRANK'	FRANK AUSTRIAN PINE	B & B	5' HT.

DECIDUOUS ORNAMENTAL TREES			
BOTANICAL NAME	COMMON NAME	ROOT	SIZE
ACER GINNALA 'FLAME'	FLAME AMUR MAPLE	B & B	1.5" CAL.
ACER TATARICUM 'HOT WINGS'	HOT WINGS TATARIAN MAPLE	B & B	1.5" CAL.
PRUNUS CERASIFERA 'NEWPORT'	NEWPORT FLOWERING PLUM	B & B	1.5" CAL.
PRUNUS CERASIFERA 'THUNDERCLOUD'	THUNDERCLOUD PURPLE-LEAF PLUM	B & B	1.5" CAL.
PYRUS CALLERYANA CHANTICLEER	CHANTICLEER PEAR	B & B	1.5" CAL.
SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK JAPANESE TREE LILAC	B & B	1.5" CAL.
BOTANICAL NAME	COMMON NAME	ROOT	SIZE
AMELANCHIER CANADENSIS	CANADIAN SERVICEBERRY	B & B	1" CAL.
AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	B & B	1" CAL.
QUERCUS ROBUR X ALBA 'CRIMSCHMIDT' TM	CRIMSON SPIRE OAK	B & B	1" CAL.

DECIDUOUS SHRUBS			
BOTANICAL NAME	COMMON NAME	ROOT	SIZE
AMELANCHIER ALNIFOLIA 'REGENT'	REGENT SERVICEBERRY	CONT.	5 GAL.
CORNUS SERICEA 'BAILEY'	BAYLEY'S RED TWIG DOGWOOD	CONT.	5 GAL.
LIGUSTRUM VULGARE 'CHEYENNE'	CHEYENNE PRIVET	CONT.	5 GAL.
PHYSOCARPUS OPULIFOLIUS 'COPPERTINA'	COPPERTINA NINEBARK	CONT.	5 GAL.
PHYSOCARPUS OPULIFOLIUS 'DIABOLO'	DIABLO NINEBARK	CONT.	5 GAL.
RHUS TRILOBATA 'AUTUMN AMBER'	AUTUMN AMBER SUMAC	CONT.	5 GAL.
SYRINGA X PRESTONIAE 'MISS CANADA'	MISS CANADA PRESTON LILAC	CONT.	5 GAL.
VIBURNUM LANTANA 'MOHICAN'	MOHICAN WAYFARING TREE	CONT.	5 GAL.

BOTANICAL NAME	COMMON NAME	ROOT	SIZE
AMELANCHIER ALNIFOLIA 'STANDING OVATION' TM	STANDING OVATION SERVICEBERRY	CONT.	5 GAL.
ARONIA MELANOCARPA 'ELATA'	GLOSSY BLACK CHOKEBERRY	CONT.	5 GAL.
COTINUS COGGYGRIA 'NCC01' TM	WINECRAFT BLACK SMOKE TREE	CONT.	5 GAL.
ERICAMERIA NAUSEOSA VAR. NAUSEOSIA	TALL BLUE RABBITBRUSH	CONT.	5 GAL.
PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	CONT.	5 GAL.
PHILADELPHUS LEWISII 'CHEYENNE'	LEWIS MOCK ORANGE	CONT.	5 GAL.

DECIDUOUS SHRUBS (CONTINUED)			
SYRINGA MEYERI 'PALIBIN'	DWARF KOREAN LILAC	CONT.	5 GAL.
SYRINGA PATULA 'MISS KIM'	MISS KIM LILAC	CONT.	5 GAL.
BOTANICAL NAME	COMMON NAME	ROOT	SIZE
CARYOPTERIS X CLANDONENSIS 'BLUE MIST'	BLUE MIST BLUEBEARD	CONT.	5 GAL.
CORNUS SERICEA 'ARCTIC FIRE'	ARCTIC FIRE DOGWOOD	CONT.	5 GAL.
ERICAMERIA NAUSEOSA SPECIOSA	DWARF BLUE RABBITBRUSH	CONT.	5 GAL.
FRANGULA ALNUS 'COLUMNARIS'	TALL HEDGE BUCKTHORN	CONT.	5 GAL.
LIGUSTRUM VULGARE 'LODENSE'	LODENSE PRIVET	CONT.	5 GAL.
PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE' TM	LITTLE SPIRE RUSSIAN SAGE	CONT.	5 GAL.
POTENTILLA FRUTICOSA 'MCKAY'S WHITE'	MCKAY'S WHITE BUSH CINQUEFOIL	CONT.	5 GAL.

EVERGREEN SHRUBS			
BOTANICAL NAME	COMMON NAME	ROOT	SIZE
JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR CREEPING JUNIPER	CONT.	5 GAL.
JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP JUNIPER	CONT.	5 GAL.
BOTANICAL NAME	COMMON NAME	ROOT	SIZE
JUNIPERUS SABINA 'BUFFALO'	BUFFALO JUNIPER	CONT.	5 GAL.
PICEA ABIES 'PUMILA'	DWARF GLOBE NORWAY SPRUCE	CONT.	5 GAL.
PINUS MUGO 'PUMILIO'	DWARF MUGO PINE	CONT.	5 GAL.

ORNAMENTAL GRASSES			
BOTANICAL NAME	COMMON NAME	ROOT	SIZE
ANDROPOGON GERARDII	BIG BLUESTEM	CONT.	1 GAL.
MISCANTHUS SINENSIS 'PURPURESCENS'	FLAME GRASS	CONT.	1 GAL.
SCHIZACHYRIUM SCOPARIUM 'BLAZE'	BLAZE LITTLE BLUESTEM	CONT.	1 GAL.
BOTANICAL NAME	COMMON NAME	ROOT	SIZE
CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	CONT.	1 GAL.
PANICUM VIRGATUM 'HEAVY METAL'	BLUE SWITCH GRASS	CONT.	1 GAL.
PANICUM VIRGATUM 'PRAIRIE SKY'	PRAIRIE SKY SWITCH GRASS	CONT.	1 GAL.

PERENNIALS			
BOTANICAL NAME	COMMON NAME	ROOT	SIZE
AGASTACHE RUPESTRIS	LICORICE MINT HYSSOP	CONT.	1 GAL.
AGASTACHE X 'BLUE FORTUNE'	BLUE FORTUNE ANISE HYSSOP	CONT.	1 GAL.
AMSONIA HUBRICHTII	ARKANSAS BLUESTAR	CONT.	1 GAL.
ARTEMISIA X 'POWIS CASTLE'	POWIS CASTLE ARTEMISIA	CONT.	1 GAL.
LAVANDULA X INTERMEDIA 'NIKO' TM	PHENOMENAL LAVENDIN	CONT.	1 GAL.
NEPETA FAASSENII 'SIX HILLS GIANT'	SIX HILLS GIANT CATMINT	CONT.	1 GAL.
PENSTEMON STRICTUS	ROCKY MOUNTAIN PENSTEMON	CONT.	1 GAL.
SALVIA X SYLVESTRIS 'MAINACHT'	MAINACHT SAGE	CONT.	1 GAL.
SALVIA X SYLVESTRIS 'SNOW HILL'	SNOW HILL MEADOW SAGE	CONT.	1 GAL.

BOTANICAL NAME	COMMON NAME	ROOT	SIZE
AGASTACHE CANA	TEXAS HUMMINGBIRD MINT	CONT.	1 GAL.
COREOPSIS VERTICILLATA 'MOONBEAM'	MOONBEAM TICKSEED	CONT.	1 GAL.
ECHINACEA PURPUREA	PURPLE CONEFLOWER	CONT.	1 GAL.
GAILLARDIA ARISTATA	NATIVE BLANKET FLOWER	CONT.	1 GAL.
LINUM LEWISII 'BLUE FLAX'	BLUE FLAX	CONT.	1 GAL.

CLEAR CREEK TRANSIT VILLAGE

FINAL DEVELOPMENT PLAN

IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:  
OWNERS NAME

CLEAR CREEK VILLAGE, LLC  
THISTLE CREEK Q001 L.P.  
14034 SOUTH 145th EAST  
DRAPER, UT 84020

NOT FOR  
CONSTRUCTION

DATE:  
FDP-01-03/16/2023  
FDP-02-07/07/2023

DRAFT

SHEET TITLE:  
POTENTIAL  
PLANT SCHEDULE



CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK  
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO

PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:

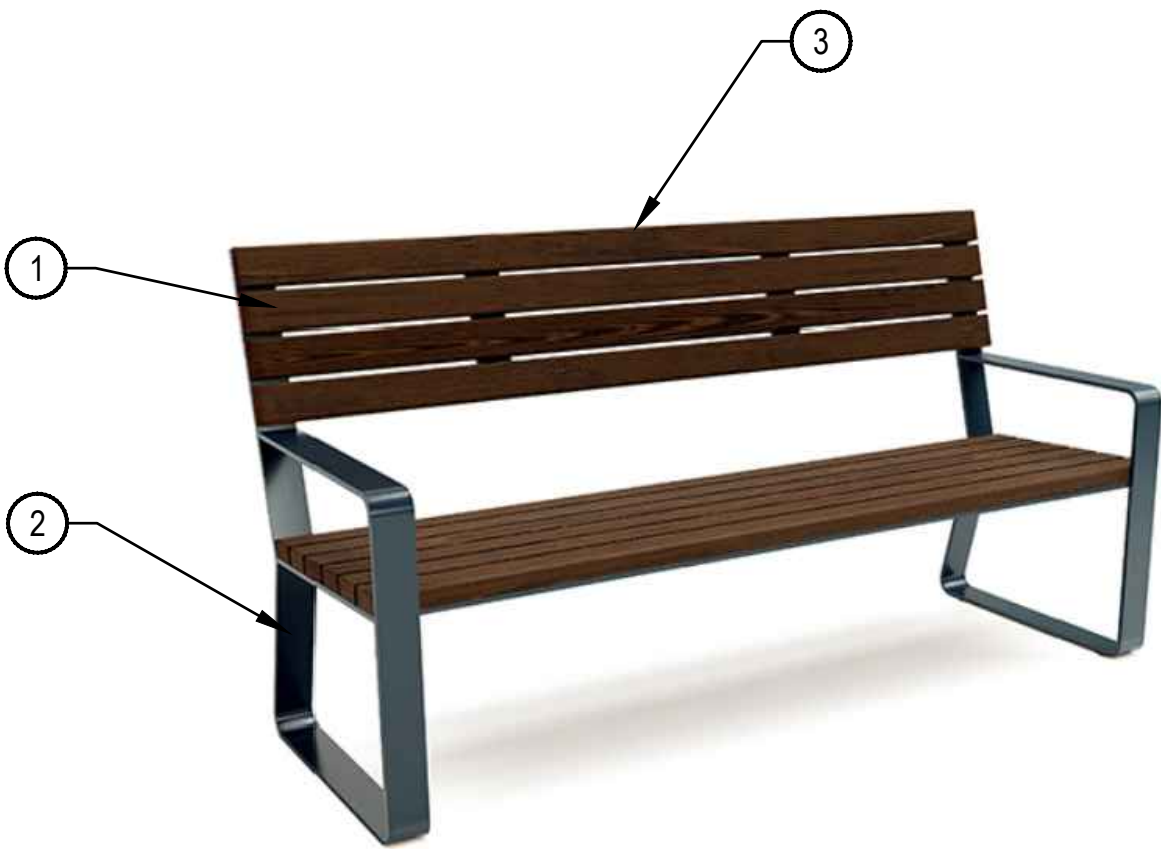
PRC2023-00011

NORRIS  
DESIGN

PEOPLE + PLACEMAKING

1101 BARNOCK STREET  
DENVER, CO 80204  
P 303.892.1166

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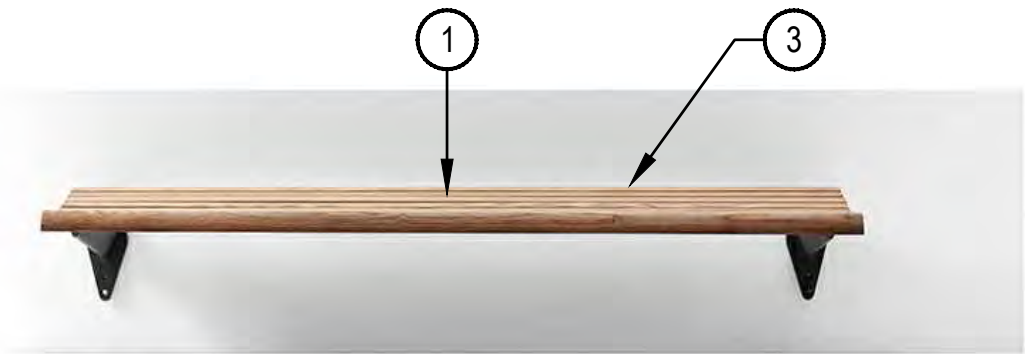


- 1 WOOD OR METAL BENCH  
SLATS
- 2 METAL FRAME WITH  
POWDERCOAT FINISH
- 3 SIZE: APPROX. 6' LENGTH, 3'  
HEIGHT, 2' WIDTH

1

BACKED BENCH

SCALE: N.T.S.



- 1 WOOD OR METAL BENCH  
SLATS
- 2 METAL FRAME WITH  
POWDERCOAT FINISH
- 3 SIZE: APPROX. 6' LENGTH, 2'  
HEIGHT, 2' WIDTH

- NOTES:
1. WALL MOUNT PER MANUFACTURER SPECIFICATIONS.
2. REFER TO LANDSCAPE PLAN FOR FINAL LAYOUT.

3

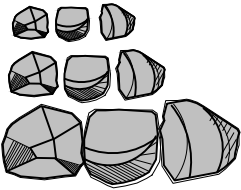
WALL MOUNTED BENCH

SCALE: 1/2" = 1'-0"



- NOTES:
1. BUFF SANDSTONE BOULDERS FROM ON-SITE OR  
NEARBY QUARRY, BOULDER SHOULD BE SIMILAR TO  
ROCK FOUND THROUGHOUT SITE
2. REFER TO PLANS FOR LOCATIONS.
3. BOULDERS SHALL MEET OR EXCEED SIZE  
REQUIREMENTS

BOULDER SIZES	
ITEM	APPROX. SIZE
'A' SIZED BOULDER	24 - 30" DIAMETER X 18" MIN. HT.
'B' SIZED BOULDER	30 - 48" DIAMETER X 24" MIN. HT.
'C' SIZED BOULDER	48 - 60" DIAMETER X 24" MIN. HT.

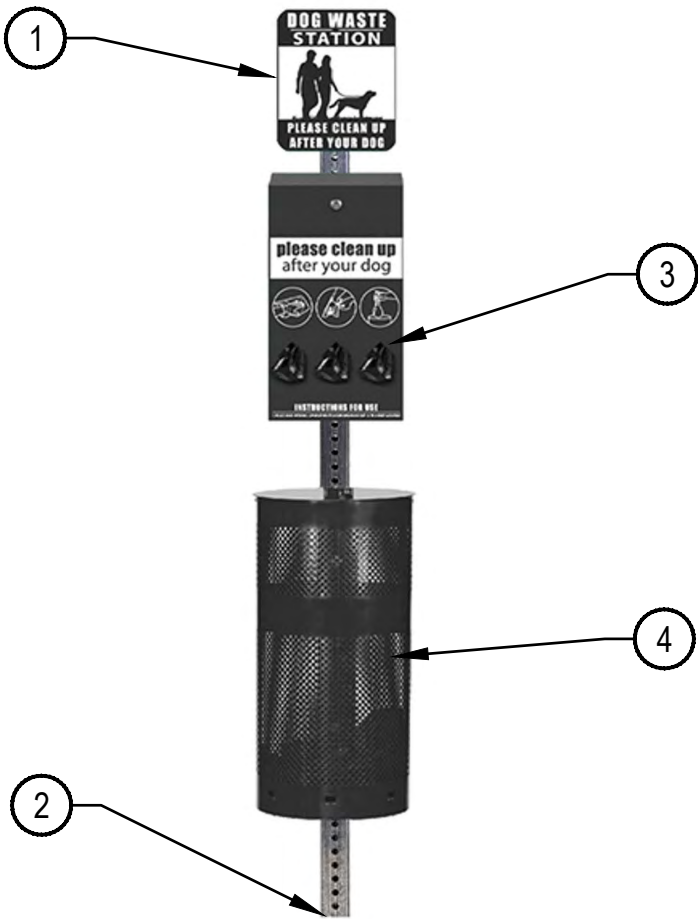


2

LANDSCAPE BOULDER

1/24

SCALE: N.T.S.



- 1 PET WASTE STATION
- 2 FINISHED GRADE, SEE PLAN FOR  
LANDSCAPE CONDITION
- 3 TRASH BAG DISPENSER
- 4 PET WASTE RECEPTACLE

- NOTES:
1. REFER TO LANDSCAPE PLAN FOR  
CRUSHER FINES PAD AND PET STATION  
LOCATION.
2. REFER TO LANDSCAPE PLAN FOR  
ADJACENT LANDSCAPE CONNECTIONS.
3. INSTALL WITHIN 18" OF CONCRETE WALK  
AND WITHIN ADA REACH RANGE.

4

PET WASTE STATION

SCALE: N.T.S.

CLEAR CREEK TRANSIT VILLAGE

FINAL DEVELOPMENT PLAN

IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:

OWNERS NAME

CLEAR CREEK VILLAGE, LLC

THISTLE CREEK QOF I, L.P.

14034 SOUTH 140th EAST

DRAPER, UT 84020

NOT FOR  
CONSTRUCTION

DATE:

FDP-01-03/16/2023

FDP-02-07/07/2023

DRAFT

SHEET TITLE:

CONCEPTUAL  
DETAILS



CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK  
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO

PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:

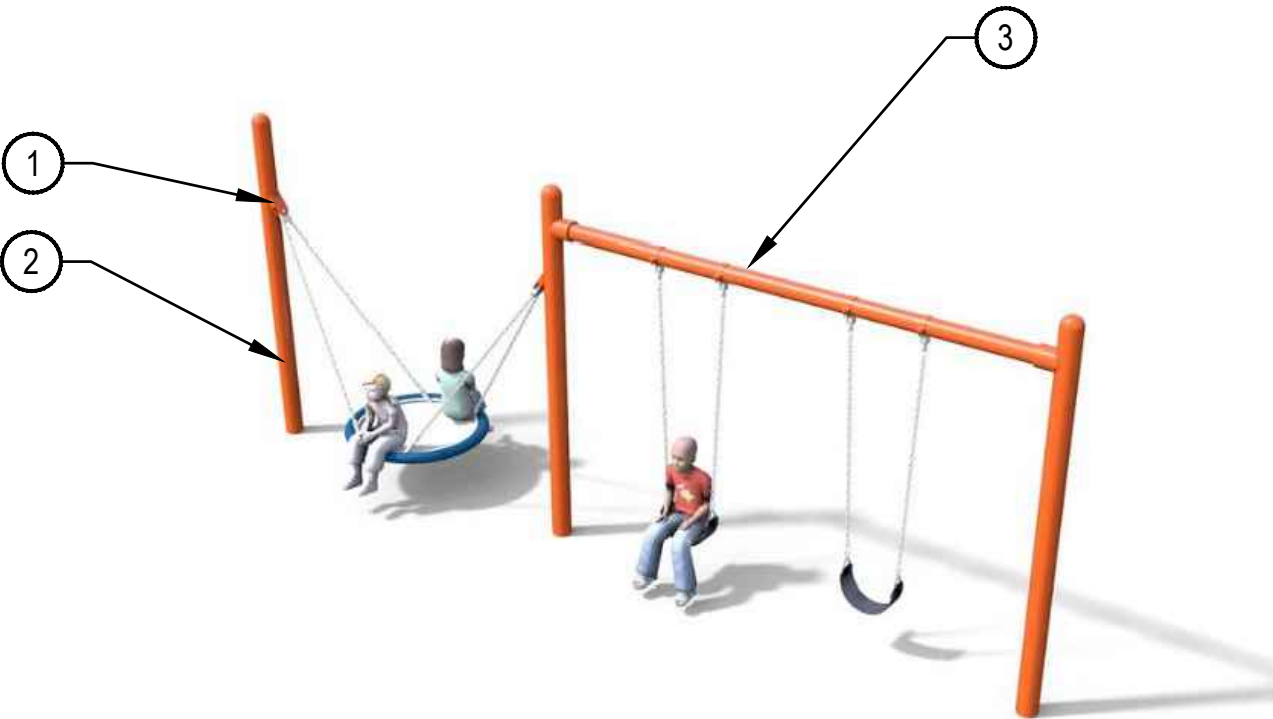
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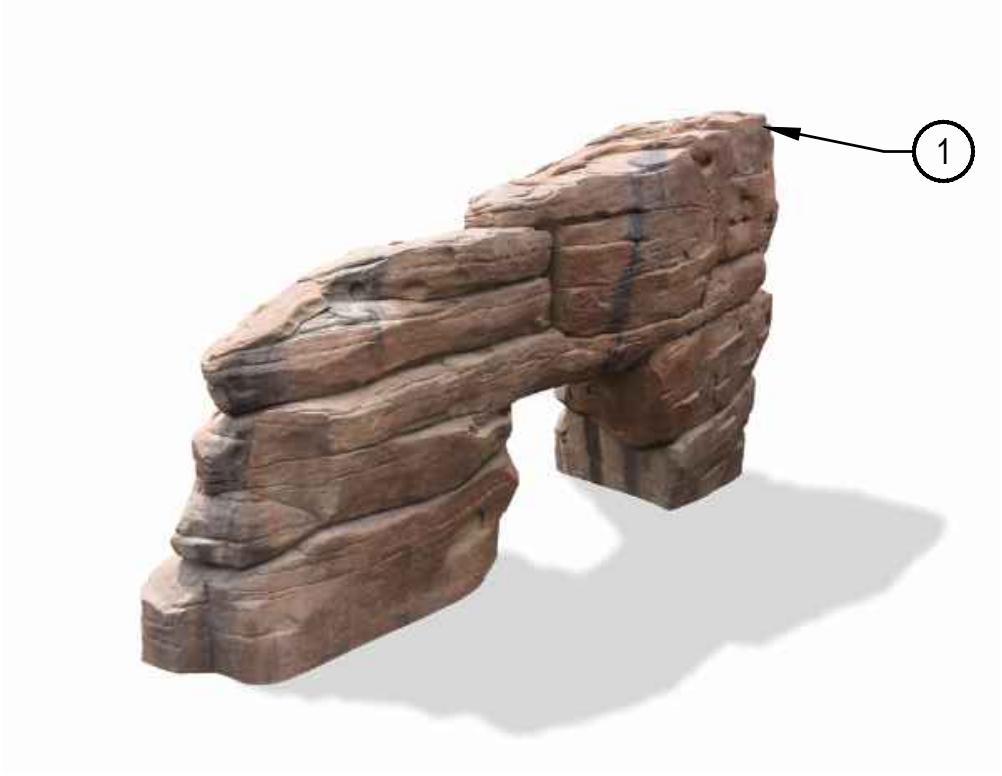
- 1 STEEL TUBE STRUCTURE PER MANUFACTURER
- 2 STANDARD POWDER COAT FINISH TO MATCH PLAYGROUND COLORS
- 3 SIZE: APPROX. 22' WIDE

- NOTES:
1. DETAIL FOR REFERENCE ONLY.
2. ALL PRODUCT FEATURES SHALL BE BUILT AND INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS.
3. WHERE REQUIRED, THE NO-ENCROACHMENT ZONE SHALL BE AN OBSTACLE-FREE ZONE THAT MEETS THE REQUIREMENTS OF THE PROTECTIVE SURFACING ZONE. SEE APPLICABLE STANDARD FOR MORE INFORMATION.

1

PLAYGROUND SWINGS

SCALE: NTS



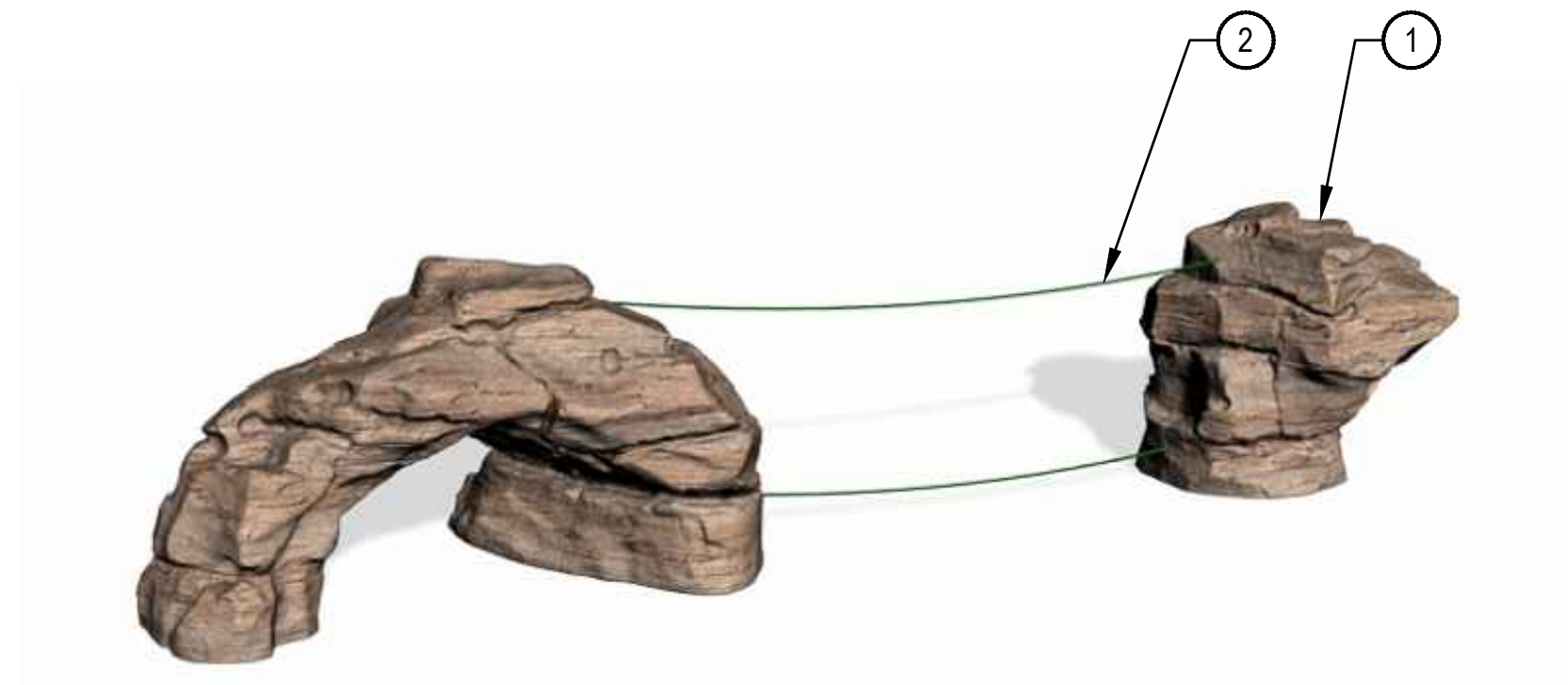
- 1 NATURE INSPIRED CLIMBING STRUCTURE, MAX. 10' HT., OR SIMILAR FEATURE

- NOTES:
1. DETAIL FOR REFERENCE ONLY.
2. THE AMERICANS WITH DISABILITIES ACT (ADA) MAY REQUIRE THE PLAY AREA TO BE ACCESSIBLE. CONSULT WITH AN ADA PROFESSIONAL TO ENSURE COMPLIANCE.
3. MIN 6' USE ZONE (TO BE VERIFIED BY INSTALLER)

2

CLIMBING ARCH

SCALE: NTS



- NOTES:
1. DETAIL FOR REFERENCE ONLY.
2. THE AMERICANS WITH DISABILITIES ACT (ADA) MAY REQUIRE THE PLAY AREA TO BE ACCESSIBLE. CONSULT WITH AN ADA PROFESSIONAL TO ENSURE COMPLIANCE.
3. MIN 6' USE ZONE (TO BE VERIFIED BY INSTALLER)

- 1 NATURE INSPIRED CLIMBING STRUCTURE, MAX 7' HT., OR SIMILAR FEATURE
- 2 ROPE CLIMBING FEATURE OR SIMILAR

3

CLIMBING AND ROPE FEATURE

SCALE: NTS

4

CLEAR CREEK TRANSIT VILLAGE

FINAL DEVELOPMENT PLAN

IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:

OWNERS NAME

CLEAR CREEK VILLAGE, LLC

THISTLE CREEK QOF I, L.P.

14034 SOUTH 140th EAST

DRAPER, UT 84020

NOT FOR CONSTRUCTION

DATE:

FDP-01-03/16/2023

FDP-02-07/07/2023

DRAFT

SHEET TITLE:

CONCEPTUAL DETAILS

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK  
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO

PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:

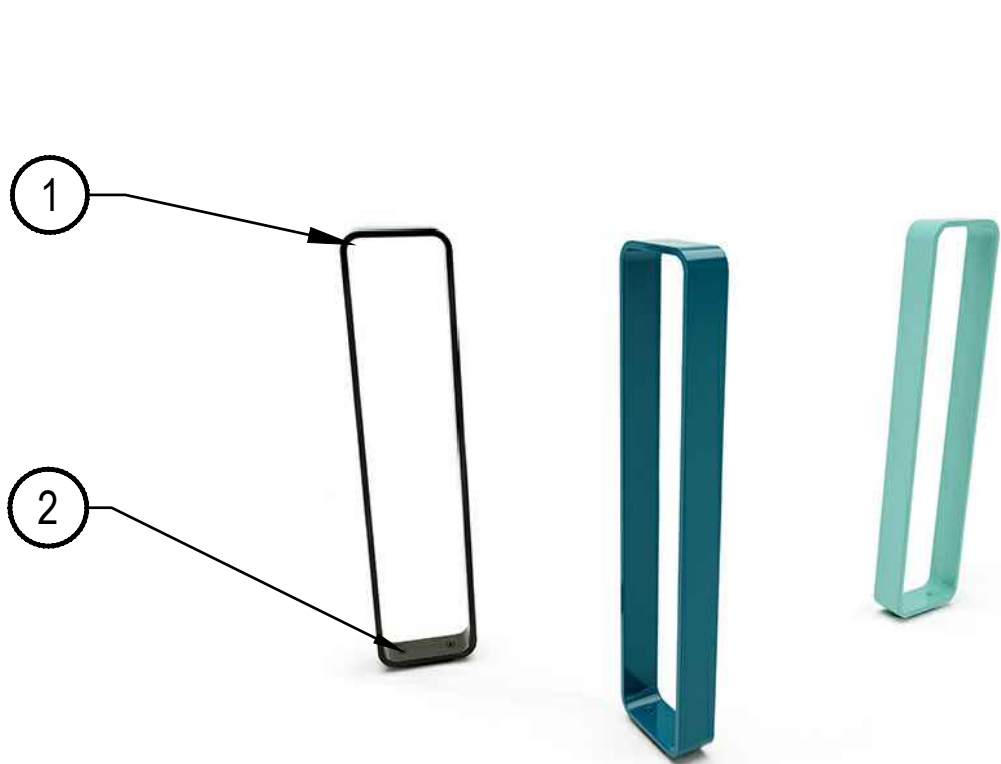
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DENVER, CO 80204  
P 303.892.1166

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- 1 POWDERCOATED  
STEEL BIKE RACK,  
APPROX. 3' HEIGHT
- 2 SURFACE MOUNT PER  
MANUFACTURER



- 1 APPROX. 77" DIA. TABLE TOP,  
29.3" HEIGHT
- 2 BACKLESS SEAT WITH WOOD OR  
METAL SLATS, APPROX. 18"  
HEIGHT

- NOTES:
1. SURFACE MOUNT PER MANUFACTURER SPECIFICATIONS
2. REFER TO LANDSCAPE PLAN FOR FINAL LAYOUT

- NOTES:
1. SURFACE MOUNT PER MANUFACTURER'S  
SPECIFICATIONS
2. 4 SEAT AND 3 SEAT ADA OPTIONS, REFER TO  
LANDSCAPE PLAN FOR LOCATIONS OF EACH  
TYPE.

1 BIKE RACK

SCALE: NTS

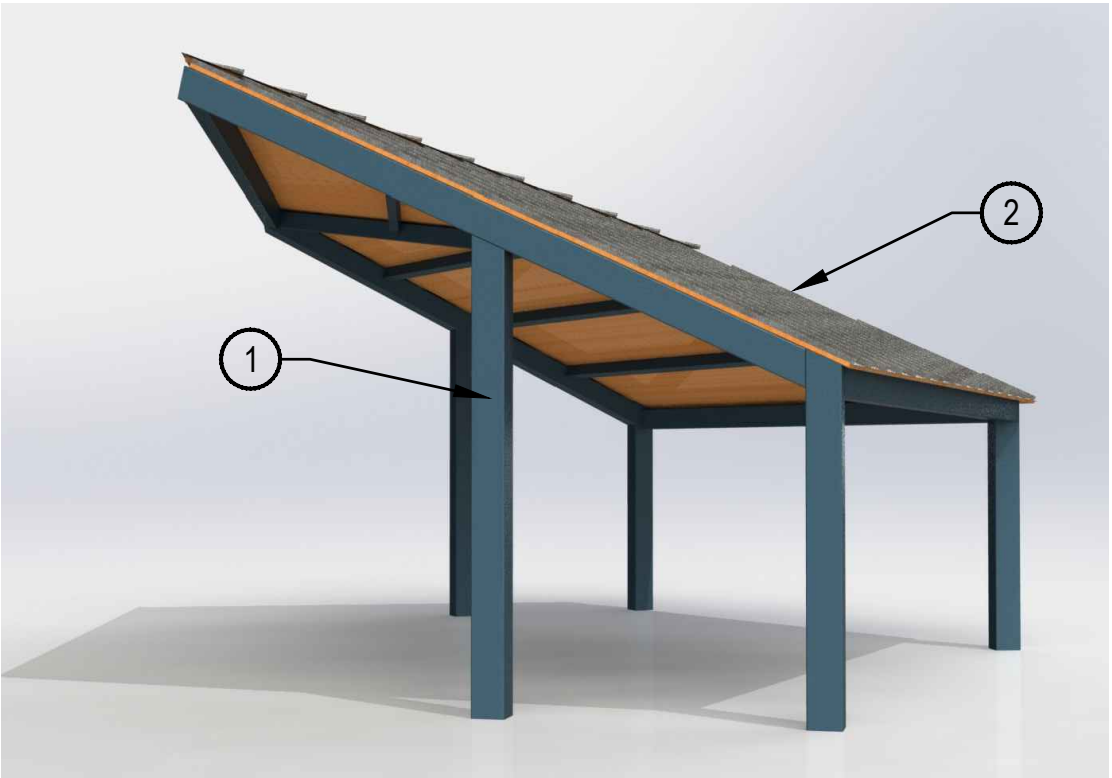
2 PARK TABLE

SCALE: NTS



- 1 SPLIT STREAM TRASH AND  
RECYCLE UNIT, METAL WITH  
POWDERCOAT FINISH
- 2 SIZE: APPROX. 3' 6" HEIGHT, 2'-3"  
WIDTH, 15" DEPTH

- NOTES:
1. SURFACE MOUNT PER MANUFACTURER SPECIFICATIONS.
2. REFER TO LANDSCAPE PLAN FOR FINAL LAYOUT.



- 1 METAL FRAME WITH  
POWDERCOAT FINISH
- 2 ROOF TO MATCH  
ARCHITECTURAL STYLE,  
POWDERCOAT METAL SEAM  
OR SHINGLE.
- 3 SIZE: APPROX. 26' LENGTH, 16'  
HEIGHT, 36' WIDTH

- NOTES:
1. STEEL STRUCTURE SHALL BE STRUCTURALLY ENGINEERED PER SHELTER MANUFACTURER.
2. FOOTING DESIGN AND DEPTH SHALL BE STRUCTURALLY ENGINEERED PER SHELTER MANUFACTURER.

3 TRASH AND RECYCLE BIN

SCALE: NTS

4 PARK SHELTER

SCALE: NTS

CLEAR CREEK TRANSIT VILLAGE

FINAL DEVELOPMENT PLAN

IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:

OWNERS NAME

CLEAR CREEK VILLAGE, LLC

THISTLE CREEK QOF I, L.P.

14034 SOUTH 140th EAST

DRAPER, UT 84020

NOT FOR  
CONSTRUCTION

DATE:

FDP-01-03/16/2023

FDP-02-07/07/2023

DRAFT

SHEET TITLE:

CONCEPTUAL  
DETAILS



CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK  
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO

PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:  
PRC2023-00011

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DENVER, CO 80204  
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- ① STEEL TUBE FENCE POST WITH  
CAP - SET IN CONCRETE FOOTER,  
REFER TO FENCE SPECIFICATIONS  
FOR FOOTER INFORMATION
- ② SIZE: APPROX. 6' HEIGHT

NOTES:  
1. CONCRETE FOOTING TO FROST  
DEPTH. FOOTING SPECIFICATION,  
DIMENSION, COMPACTION AND  
DRAINAGE PER FENCE MANUFACTURER.  
2. FENCING SHALL BE RACKED ALONG  
SLOPES.



- NOTES:
1. RAILS SHALL FACE EXTERIOR OF FENCE ENCLOSURE.
2. FASTEN RAILS WITH GALVANIZED SCREWS, SET FLUSH.
3. WOOD MAY BE ARCHITECT KNOTTY OR BETTER WESTERN RED CEDAR, STANDARD  
ROUGH SAWN, AND KILN-DRIED OR APPROVED ALTERNATIVE

1

PERIMETER FENCE

SCALE: N.T.S.

2

3-RAIL FENCE

SCALE: 1/2" = 1'-0"

CLEAR CREEK TRANSIT VILLAGE

FINAL DEVELOPMENT PLAN

IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:  
OWNERS NAME  
CLEAR CREEK VILLAGE, LLC  
THISTLE CREEK QOF I, L.P.  
14034 SOUTH 140th EAST  
DRAPER, UT 84020

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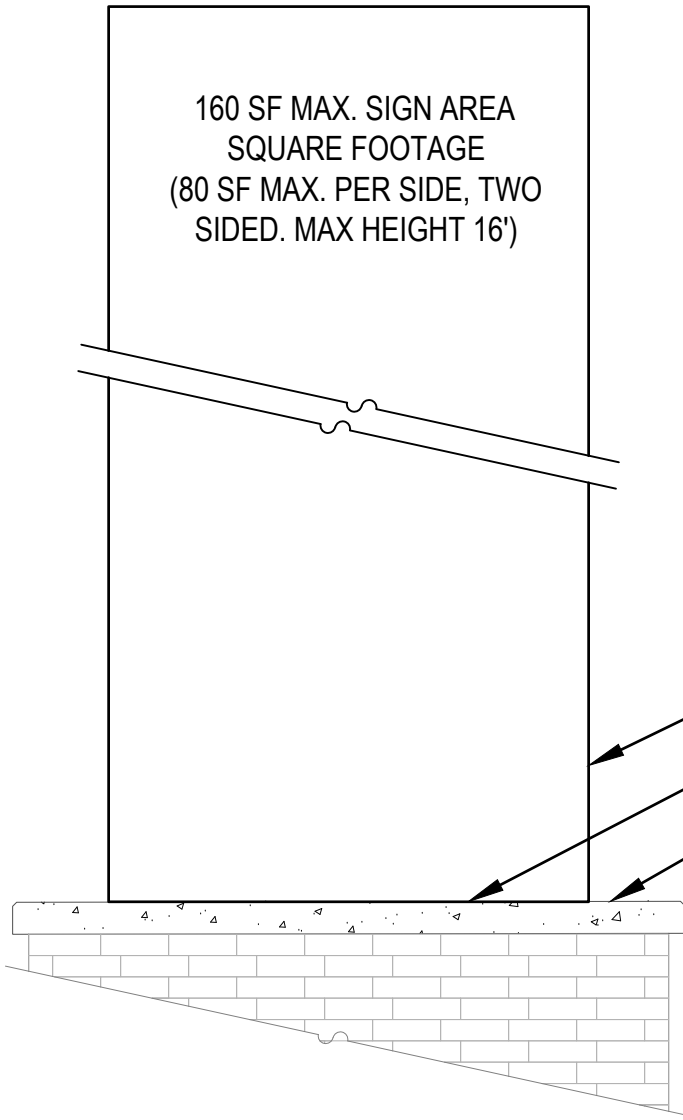
SHEET TITLE:  
CONCEPTUAL  
DETAILS



CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK  
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO

PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)



- 1 PROJECT IDENTITY SIGN
- 2 SIGN STRUCTURE AND FOOTING, SEE NOTES
- 3 MONUMENT PEDESTAL, SEE DETAIL
- 4 SIZE: APPROX 5' WIDTH, 16' HEIGHT

- NOTES:
- FINAL PROJECT IDENTITY SIGN SHALL BE DEVELOPED PER SIGN MANUFACTURER SHOP DRAWINGS, TO MEET THE PDP REQUIREMENTS;
    - TO DISPLAY PROJECT AND TENANT LOGOS/SIGNAGE, DIRECTIONAL INFORMATION, OR GENERAL SEASONAL/EVENT RELATED INFORMATION
    - MATERIALS TO BE STONE AND/OR CONCRETE WITH METAL ACCENT.
  - PROJECT IDENTITY SIGN STRUCTURE, FOOTING, AND LIGHTING PER SIGN MANUFACTURER ENGINEERED SHOP DRAWINGS.
  - LETTERING, FONT, AND TEXT TO BE REVIEWED AND APPROVED BY OWNERSHIP REPRESENTATIVE WITH SIGN MANUFACTURER.

SCALE: N.T.S.

2

1

COMMUNITY IDENTITY SIGNAGE

3

OWNER:  
OWNERS NAME

CLEAR CREEK VILLAGE, LLC  
THISTLE CREEK QOF I, L.P.  
14034 SOUTH 140th EAST  
DRAPER, UT 84020

NOT FOR  
CONSTRUCTION

DATE:  
FDP-01-03/16/2023  
FDP-02-07/07/2023

DRAFT

SHEET TITLE:  
CONCEPTUAL  
DETAILS

# CLEAR CREEK TRANSIT VILLAGE

\*\*\* FINAL PLAT \*\*\*

PRC2023-00011

A PORTION OF THE WEST HALF (W 1/2) OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST  
OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 1 OF 15

## CERTIFICATE OF DEDICATION AND OWNERSHIP

KNOW ALL MEN BY THESE PRESENTS, THAT THE UNDERSIGNED, CLEAR CREEK DEVELOPMENT, LLC, A DELAWARE LIMITED LIABILITY COMPANY, BEING THE OWNER OF THE LAND DESCRIBED AND CONVEYED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED JUNE 23, 2020 AT RECEPTION No. 2020000056492, AS SHOWN IN THIS PRELIMINARY PLAT AND DESCRIBED AS FOLLOWS:

LOT 2, BLOCK 1, BRANNAN'S SUBDIVISION FILING NO. 2, ACCORDING TO THE PLAT RECORDED MAY 12, 1994 AT RECEPTION NO/ B1247454, AND AS AMENDED BY AFFIDAVIT OF CORRECTION RECORDED JANUARY 19, 1995 IN BOOK 4455 AT PAGE 542, EXCEPT THAT PART CONVEYED TO THE COUNTY OF ADAMS BY WARRANTY DEED MADE A PART OF RESOLUTION RECORDED MAY 25, 1995 IN BOOK 4518 AT PAGE 777, COUNTY OF ADAMS, STATE OF COLORADO.

TOGETHER WITH TRACT A, BRANNAN'S SUBDIVISION – FILING NO. 1, ACCORDING TO THE PLAT RECORDED OCTOBER 31, 1973 AT RECEPTION NO. A020815, COUNTY OF ADAMS, STATE OF COLORADO.

THE ABOVE DESCRIBED SUBJECT PROPERTY IS ALSO DESCRIBED AS FOLLOWS:

A PORTION OF THE WEST HALF (W 1/2) OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF THE NORTHWEST QUARTER (NW 1/4) OF SAID SECTION 8, FROM WHENCE THE SOUTHEAST CORNER OF SAID NORTHWEST QUARTER (NW 1/4) BEARS SOUTH 00°00'36" WEST A DISTANCE OF 2635.75 FEET, WITH ALL BEARINGS HEREIN RELATED THERETO; THENCE ALONG THE EAST LINE OF SAID NORTHWEST QUARTER (NW 1/4), SOUTH 00°00'36" WEST, 1977.44 FEET TO A POINT; THENCE LEAVING SAID EAST LINE, NORTH 89°45'17" WEST, 50.00 FEET TO THE WEST LINE OF FEDERAL BOULEVARD, AND BEING THE NORTHEAST CORNER OF TRACT A OF BRANNAN'S SUBDIVISION FILING No. 1, AND BEING THE POINT OF BEGINNING;

THENCE ALONG SAID WEST LINE, SOUTH 00°00'36" WEST, 658.53 FEET TO A POINT;  
THENCE LEAVING SAID WEST LINE, SOUTH 89°51'23" WEST, 30.00 FEET TO A POINT;  
THENCE SOUTH 00°00'04" WEST, 31.23 FEET TO A POINT;  
THENCE SOUTH 83°46'03" WEST, 233.62 FEET TO A POINT;  
THENCE SOUTH 61°35'26" WEST, 404.96 FEET TO A POINT ON THE BOUNDARY OF LOT 2 OF BRANNAN'S SUBDIVISION FILING No. 2;  
THENCE ALONG SAID BOUNDARY THE FOLLOWING FOUR (4) COURSES:

- SOUTH 03°44'30" WEST, 159.68 FEET TO A POINT;
- NORTH 85°27'01" WEST, 446.37 FEET TO A POINT;
- NORTH 03°30'34" EAST, 1038.07 FEET TO A POINT;
- SOUTH 89°45'17" EAST, 1010.39 FEET TO THE POINT OF BEGINNING.

CONTAINING ±918,826 SQUARE FEET OR ±21.093 ACRES OF LAND, MORE OR LESS.

HAS BY THESE PRESENTS LAID OUT, PLATTED, AND SUBDIVIDED THE SAME INTO LOTS, STREETS, TRACTS AND EASEMENTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF CLEAR CREEK TRANSIT VILLAGE, AND DOES HEREBY DEDICATE ALL PUBLIC STREETS TO ADAMS COUNTY FOR PUBLIC USE. THE UNDERSIGNED DOES HEREBY DEDICATE, GRANT AND CONVEY TO ADAMS COUNTY, THOSE PUBLIC EASEMENTS AS SHOWN ON THE PLAT; AND FURTHER RESTRICTS THE USE OF ALL PUBLIC EASEMENTS TO ADAMS COUNTY AND/OR ITS ASSIGNS, PROVIDED HOWEVER, THAT THE SOLE RIGHT AND AUTHORITY TO RELEASE OR QUITCLAIM ALL OR ANY SUCH PUBLIC EASEMENTS SHALL REMAIN EXCLUSIVELY VESTED IN ADAMS COUNTY.

FOR: CLEAR CREEK DEVELOPMENT, LLC, A DELAWARE LIMITED LIABILITY COMPANY;

BY: THISTLE CREEK QOF I, L.P., A DELAWARE LIMITED PARTNERSHIP, ITS MANAGING MEMBER;

BY: THISTLE CREEK QOF I GP, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS GENERAL PARTNER

BY: MICHAEL CHRISTENSEN, MANAGER DATE

## NOTARY ACKNOWLEDGMENT

STATE OF )  
 ) SS.  
COUNTY OF )

THE FOREGOING CERTIFICATE OF DEDICATION AND OWNERSHIP WAS ACKNOWLEDGED BEFORE ME THIS DAY OF , 20 , BY MICHAEL CHRISTENSEN, MANAGER OF THISTLE CREEK QOF I GP, LLC, A DELAWARE LIMITED LIABILITY COMPANY, GENERAL PARTNER OF THISTLE CREEK QOF I, L.P., A DELAWARE LIMITED PARTNERSHIP, MANAGING MEMBER OF CLEAR CREEK DEVELOPMENT, LLC, A DELAWARE LIMITED LIABILITY COMPANY.

WITNESS MY HAND AND SEAL:

NOTARY PUBLIC MY COMMISSION EXPIRES

ADDRESS OF NOTARY:



VICINITY MAP  
Not to scale

## TABLE OF CONTENTS

1	COVER SHEET
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3	EXISTING CONDITIONS
4, 4A	PROPOSED CONDITIONS / ADDRESS MAP
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6-13	PRELIMINARY PLAT
14-15	TRACT AND EASEMENT DETAILS

## ADAMS COUNTY ATTORNEY'S OFFICE

APPROVED AS TO FORM

## BOARD OF COUNTY COMMISSIONERS APPROVAL

APPROVED BY THE ADAMS COUNTY BOARD OF COMMISSIONERS THIS DAY OF , A.D. 202 .

CHAIR

## SURVEYOR'S CERTIFICATE

I, RICHARD B. GABRIEL, A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS LAND SURVEY PLAT CORRECTLY REPRESENTS THE RESULTS OF A SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION ON OCTOBER 11, 2019, THAT THE MONUMENTS SHOWN HEREON ARE OF THE CHARACTER SHOWN AND OCCUPY THE POSITIONS INDICATED AND THAT ALL NOTES, DIMENSIONS AND IMPROVEMENTS ARE CORRECTLY SHOWN HEREIN TO THE BEST OF MY KNOWLEDGE AND BELIEF.

RICHARD B. GABRIEL, P.L.S.  
Colorado License No. 37929  
For and on behalf of  
Power Surveying Company, Inc.

## CLERK AND RECORDER

THIS FINAL PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE ADAMS COUNTY CLERK AND RECORDER IN THE STATE OF COLORADO, AT M. ON THIS , DAY OF , A.D. 202 .

DEPUTY CLERK AND RECORDER

RECEPTION NUMBER

## COVER SHEET

 6911 BROADWAY DENVER, COLORADO 80221 Established 1989 PH: 303-702-1617 FAX: 303-702-1488 WWW.POWERSURVEYING.COM	TYPE OF SUBMITTAL:	FINAL PLAT
	PREPARATION DATE:	JANUARY 31, 2023
	REVISION DATE:	JULY 12, 2023
	REVISION DATE:	
JOB NO. 19-260		DWG: 19-260 FINAL.dwg
SHEET 1 OF 15		



CLEAR CREEK TRANSIT VILLAGE

\*\*\* FINAL PLAT \*\*\*

PRC2023-00011

A PORTION OF THE WEST HALF (W 1/2) OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST  
OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 2 OF 15

STORM DRAINAGE FACILITIES STATEMENT

THE POLICY OF THE COUNTY REQUIRES THAT MAINTENANCE ACCESS SHALL BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY THE SUBDIVISION DEVELOPMENT AGREEMENT. TRACTS THAT WILL CONTAIN STORM DRAINAGE AND WATER QUALITY INFRASTRUCTURE WILL BE OWNED AND MAINTAINED BY THE CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1. SHOULD THE OWNER FAIL TO MAINTAIN SAID FACILITIES, THE COUNTY SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE SOLE PURPOSE OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COST WILL BE ASSESSED TO THE PROPERTY OWNERS.

TRACT MAINTENANCE NOTE

BY THIS PLAT INGRESS, EGRESS AND REGRESS FOR TRACT C IS LIMITED TO FEDERAL BOULEVARD AS SHOWN ON SHEETS 7 AND 10 OF 14 AND ACCESS IS APPROVED BY CDOT AND ADAMS COUNTY, COLORADO AND WILL BE OWNED AND MAINTAINED BY CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1.

TRACTS F, M, Q, AND W ARE CREATED FOR ALLEYS AND WILL BE OWNED AND MAINTAINED BY CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1. TRACT S IS CREATED FOR SIDEWALKS AND WILL BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION. TRACT Y IS CREATED FOR CDOT ACCESS AND WILL BE OWNED AND MAINTAINED BY CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1. TRACTS D, E, G, H, I, J, K, L, N, O, P AND T ARE CREATED FOR SIDEWALKS AND WILL BE OWNED AND MAINTAINED BY CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1. ADAMS COUNTY ASSUMES NO RESPONSIBILITY OR LIABILITY REGARDING THESE STREETS, ALLEYS, CDOT ACCESS, AND SIDEWALKS, AND WILL NOT PERFORM MAINTENANCE OPERATIONS INCLUDING SNOW REMOVAL.

TRACT A IS CREATED FOR LANDSCAPE AND WILL BE OWNED BY THE CLEAR CREEK DEVELOPMENT LLC AND MAINTAINED BY GRANTEE. TRACT B IS CREATED FOR LANDSCAPE AND WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS' ASSOCIATION. TRACTS R, U, V, X AND Z ARE CREATED FOR LANDSCAPING OR OPEN SPACE AND WILL BE OWNED AND MAINTAINED BY THE CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1.

UTILITY EASEMENT NOTES

1. ALL TRACTS ARE HEREBY DEDICATED FOR UTILITY USE.

2. UTILITY EASEMENTS ARE DEDICATED TO ADAMS COUNTY FOR THE BENEFIT OF THE APPLICABLE UTILITY PROVIDERS FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF ELECTRIC, GAS, TELEVISION, CABLE, AND TELECOMMUNICATIONS FACILITIES (DRY UTILITIES). UTILITY EASEMENTS SHALL ALSO BE GRANTED WITHIN ANY ACCESS EASEMENTS AND PUBLIC STREETS IN THE SUBDIVISION. PERMANENT STRUCTURES, IMPROVEMENTS, OBJECTS, BUILDINGS, WELLS, AND OTHER OBJECTS THAT MAY INTERFERE WITH THE UTILITY FACILITIES OR USE THEREOF (INTERFERING OBJECTS) SHALL NOT BE PERMITTED WITHIN SAID UTILITY EASEMENTS AND THE UTILITY PROVIDERS, AS GRANTEES, MAY REMOVE ANY INTERFERING OBJECTS AT NO COST TO SUCH GRANTEES, INCLUDING, WITHOUT LIMITATION, VEGETATION. PUBLIC SERVICE COMPANY OF COLORADO (PSCO) AND ITS SUCCESSORS RESERVE THE RIGHT TO REQUIRE ADDITIONAL EASEMENTS AND TO REQUIRE THE PROPERTY OWNER TO GRANT PSCO AN EASEMENT ON ITS STANDARD FORM.

3. SIX-FOOT (6') WIDE UTILITY EASEMENTS ARE HEREBY DEDICATED ON PRIVATE PROPERTY ADJACENT TO THE FRONT LOT LINES OF EACH LOT IN THE SUBDIVISION. IN ADDITION, EIGHT-FOOT (8') WIDE DRY UTILITY EASEMENTS ARE HEREBY DEDICATED AROUND THE PERIMETER OF TRACTS, PARCELS AND/OR OPEN SPACE AREAS. THESE EASEMENTS ARE DEDICATED TO ADAMS COUNTY FOR THE BENEFIT OF THE APPLICABLE UTILITY PROVIDERS FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF UTILITIES. UTILITY EASEMENTS SHALL ALSO BE GRANTED WITHIN ANY ACCESS EASEMENTS AND PRIVATE STREETS IN THE SUBDIVISION. PERMANENT STRUCTURES, IMPROVEMENTS, OBJECTS, BUILDINGS, WELLS, WATER METERS AND OTHER OBJECTS THAT MAY INTERFERE WITH THE UTILITY FACILITIES OR USE THEREOF (INTERFERING OBJECTS) SHALL NOT BE PERMITTED WITHIN SAID UTILITY EASEMENTS AND THE UTILITY PROVIDERS, AS GRANTEES, MAY REMOVE ANY INTERFERING OBJECTS AT NO COST TO SUCH GRANTEES, INCLUDING, WITHOUT LIMITATION, VEGETATION.

BASIS OF BEARINGS

BEARINGS ARE BASED UPON THE EAST LINE OF THE NORTHWEST QUARTER OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN ASSUMED TO BEAR SOUTH 00°00'36" WEST A DISTANCE OF 2,635.75 FEET, AS DEFINED AND MEASURED BETWEEN A FOUND 3-1/4" DIAMETER ALUMINUM CAP STAMPED "PLS 26288 COLO DEPT OF TRANSPORTATION" IN A RANGE BOX AT THE NORTH 1/4 CORNER SAID SECTION 8 AND THE CENTER 1/4 SAID SECTION 8 BY A FOUND 3-1/4" DIAMETER ALUMINUM CAP STAMPED "PLS 23519 CHARLES H RUSSELL ADAMS COUNTY" IN A RANGE BOX, AS SHOWN HEREON.

SURVEYOR'S NOTES

1. ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
2. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS, OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, CRS.
3. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY POWER SURVEYING COMPANY INC. TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD, RIGHT-OF-WAY, AND TITLE OF RECORD. POWER SURVEYING COMPANY INC. RELIED UPON OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY'S ORDER NO. ABC70787447.1, EFFECTIVE DATE OF MARCH 6, 2023 AT 5:00 P.M. FOR THIS INFORMATION.
4. FLOOD ZONE DESIGNATION: AS SHOWN ON F.I.R.M. MAP PANEL #08001C0592H, WITH AN EFFECTIVE REVISION DATE OF MARCH 5, 2007, THE SUBJECT PROPERTY LIES WITHIN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AND WITHIN ZONE "AE" (SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY THE 1% PERCENT ANNUAL CHANCE FLOOD - BASE FLOOD ELEVATIONS DETERMINED). REFER TO MAP SHEETS FOR APPROXIMATE LOCATIONS OF FLOOD ZONE BOUNDARIES.
5. FIELD SURVEY COMPLETION COMPLETION DATE: OCTOBER 11, 2019.
6. THE LINEAR UNIT OF MEASUREMENT FOR THIS FINAL PLAT IS THE INTERNATIONAL FOOT, DEFINED AS EXACTLY 0.3048 METER.
7. STATEMENT RESTRICTING ACCESS: INGRESS, EGRESS, AND REGRESS ARE LIMITED TO FEDERAL BLVD. UNLESS APPROVED BY CDOT AND ADAMS COUNTY, COLORADO.
8. PROPERTY ADDRESS: 6001 FEDERAL BLVD, DENVER, CO 80221.
9. THE SUBJECT PROPERTY CONTAINS ±918,826 SQUARE FEET OR ±21.093 ACRES OF LAND.

COVER SHEET - NOTES

 <div>6911 BROADWAY DENVER, COLORADO 80221</div>	TYPE OF SUBMITTAL:	FINAL PLAT
	PREPARATION DATE:	JANUARY 31, 2023
	REVISION DATE:	JULY 12, 2023
	REVISION DATE:	
JOB NO. 19-260		DWG: 19-260 FINAL.dwg
SHEET 2 OF 15		

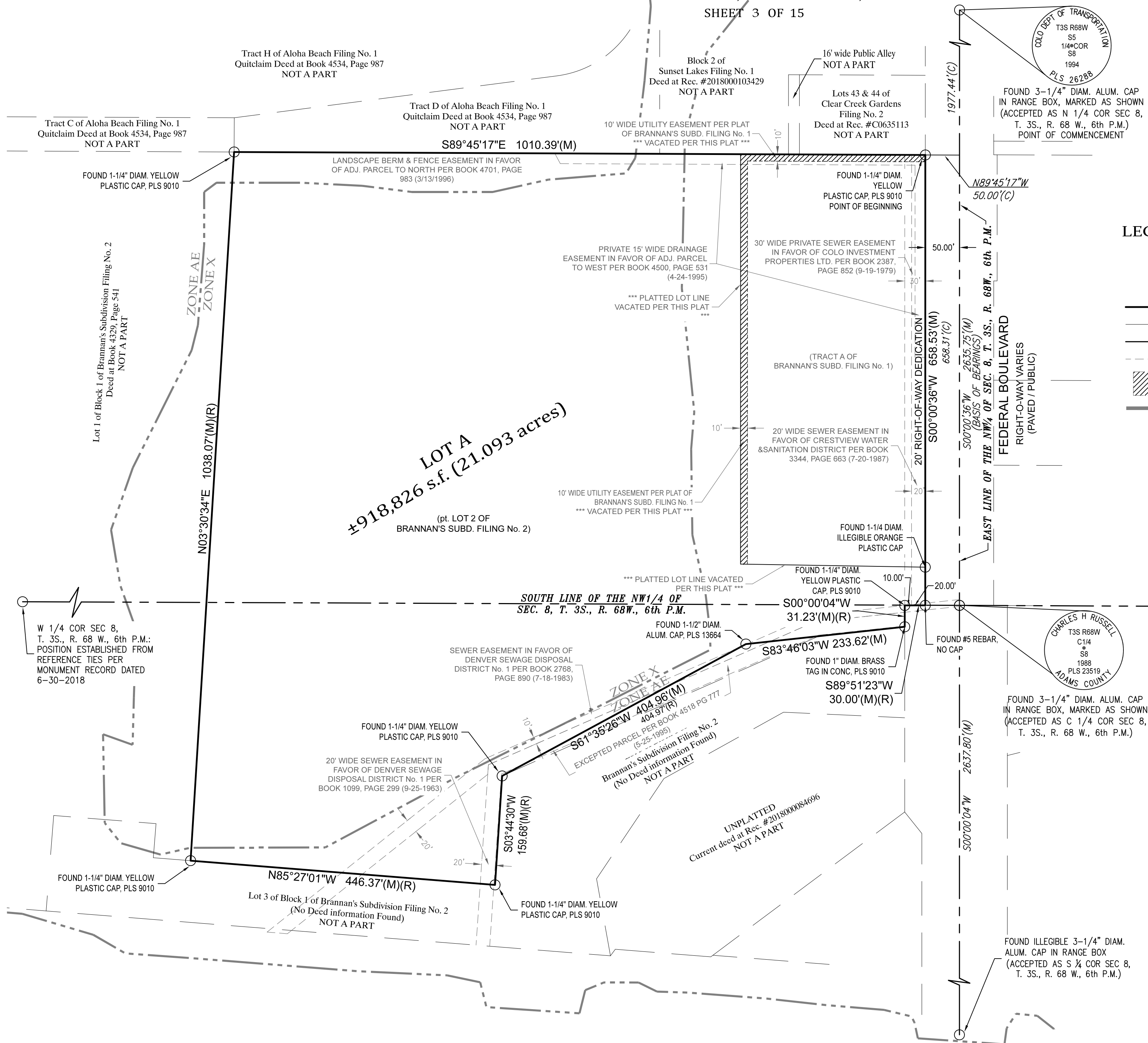
# CLEAR CREEK TRANSIT VILLAGE

\*\*\* FINAL PLAT \*\*\*

A PORTION OF THE WEST HALF (W 1/2) OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST  
OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

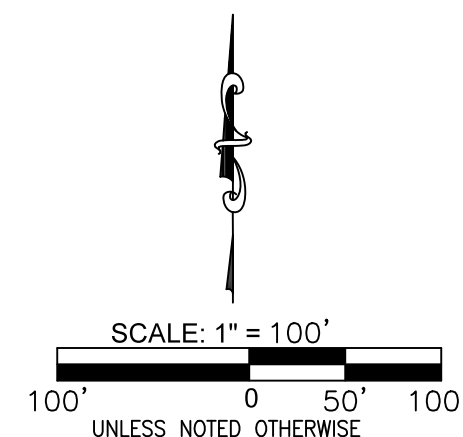
SHEET 3 OF 15

PRC2023-00011



## LEGEND OF SYMBOLS & ABBREVIATIONS

	SET REBAR & 1-1/2" DIAMETER YELLOW PLASTIC CAP, PLS 37929, TYPICAL UNLESS NOTED OTHERWISE
	MONUMENT FOUND, AS NOTED
	PLAT BOUNDARY LIMITS
	ADJOINING PARCEL OR LOT LINE
	PUBLIC LANDS SURVEY SECTION LINE
	EXISTING RECORD EASEMENT LINE
	EXISTING EASEMENT VACATED PER THIS PLAT
	F.I.R.M. ZONE LINE DESIGNATION
	DIAM
	(C)
	(M)
	(R)



BOUNDARY ANALYSIS, EXISTING CONDITIONS

	TYPE OF SUBMITTAL:	FINAL PLAT
	PREPARATION DATE:	JANUARY 31, 2023
	REVISION DATE:	JULY 12, 2023
	REVISION DATE:	
JOB NO. 19-260		DWG: 19-260 FINAL.dwg

SHEET 3 OF 15



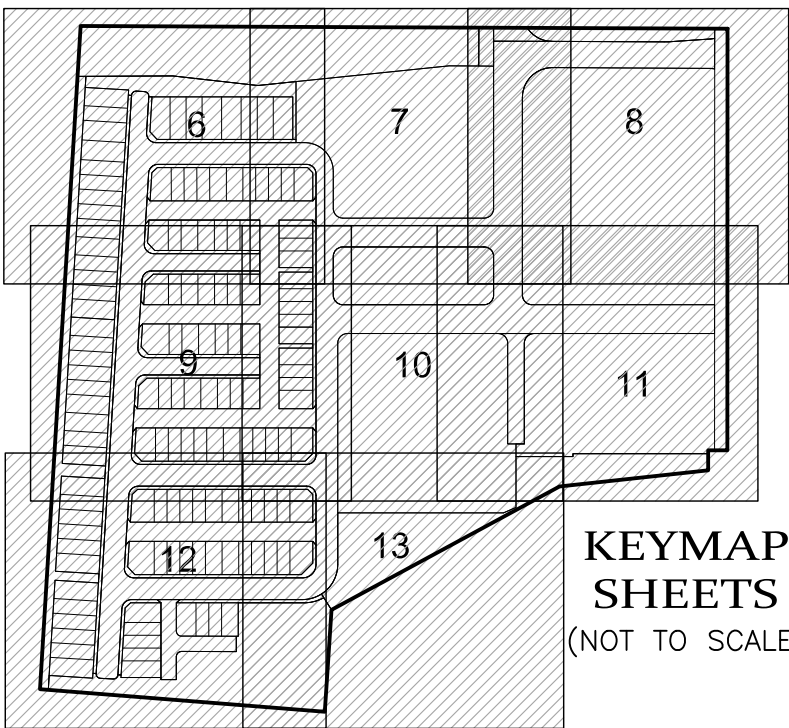
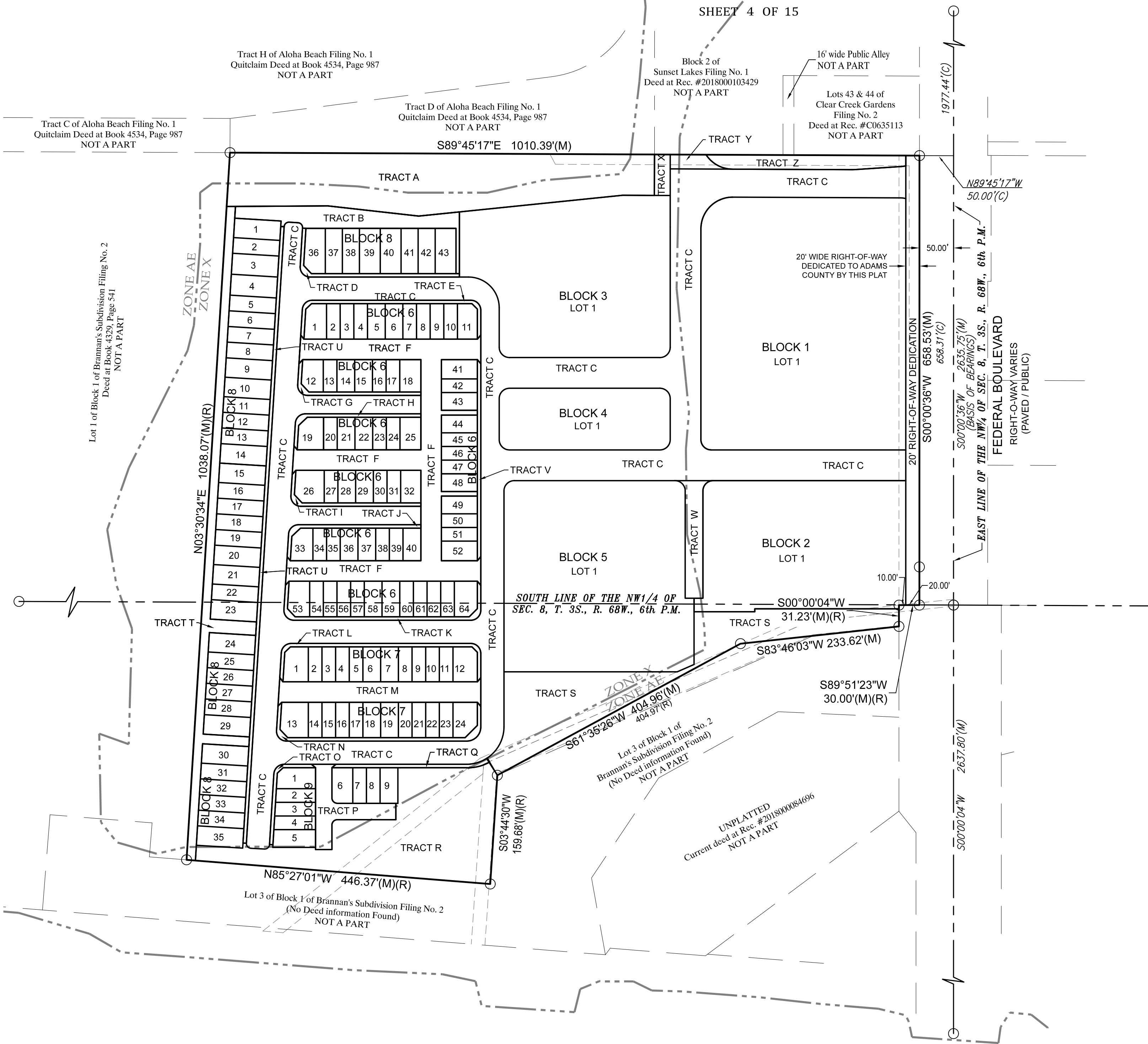
CLEAR CREEK TRANSIT VILLAGE

\*\*\* FINAL PLAT \*\*\*

A PORTION OF THE WEST HALF (W 1/2) OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST  
OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 4 OF 15

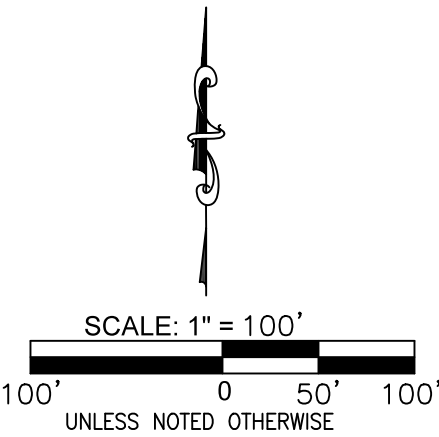
PRC2023-00011



LEGEND OF SYMBOLS & ABBREVIATIONS

- SET REBAR & 1-1/2" DIAMETER YELLOW PLASTIC CAP, PLS 37929, TYPICAL UNLESS NOTED OTHERWISE
- MONUMENT FOUND, AS NOTED
- DIAM DIAMETER
- (C) CALCULATED
- (M) MEASURED
- (R) RECORD
- BLOCK # LOT OR BLOCK NUMBER
- PUBLIC LANDS SURVEY SECTION LINE
- PLAT BOUNDARY LIMITS
- NEW LOT & TRACT LINE PER THIS PLAT
- EXISTING RECORD EASEMENT LINE
- ADJOINING PARCEL OR LOT LINE
- F.E.M.A. FLOOD BOUNDARY (AS NOTED)

FOR ADAMS COUNTY ROAD DEDICATION AND TRACTS B & D-Z DETAILS, SEE SHEETS 14 & 15. FOR LAND USE TABLES, SEE SHEET 5.



PROPOSED CONDITIONS

 6911 BROADWAY DENVER, COLORADO 80221 PH: 303-702-1517 FAX: 303-702-1488 WWW.POWERSURVEYING.COM	TYPE OF SUBMITTAL:	FINAL PLAT
	PREPARATION DATE:	JANUARY 31, 2023
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JOB NO. 19-260		DWG: 19-260 FINAL.dwg
SHEET 4 OF 15		

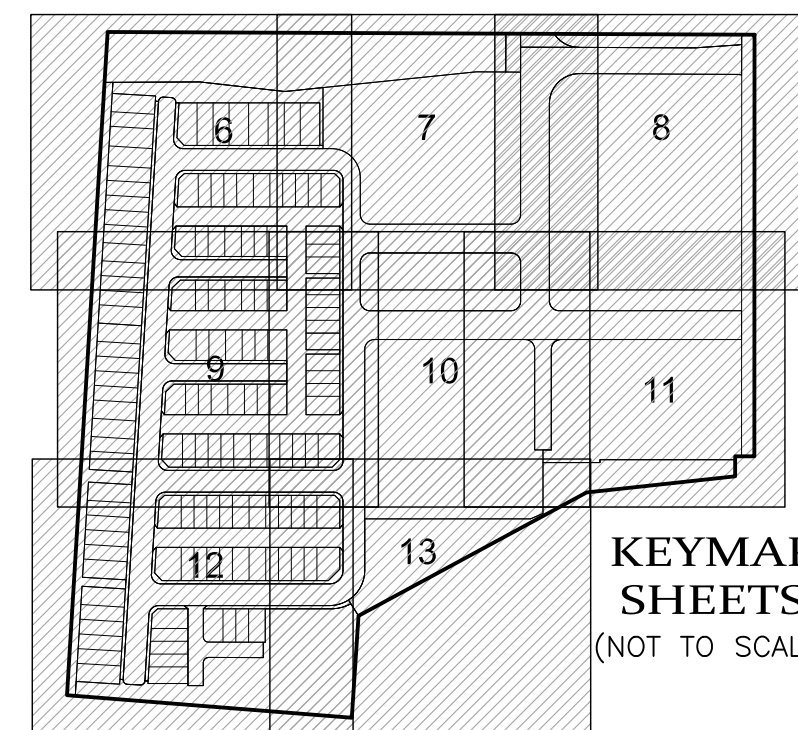
# CLEAR CREEK TRANSIT VILLAGE

\*\*\* FINAL PLAT \*\*\*

A PORTION OF THE WEST HALF (W 1/2) OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST  
OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 4 OF 15

PRC2023-00011



KEYMAP  
SHEETS

(NOT TO SCALE)

## LEGEND OF SYMBOLS & ABBREVIATIONS

● SET REBAR & 1-1/2" DIAMETER  
YELLOW PLASTIC CAP, PLS 37929,  
TYPICAL UNLESS NOTED OTHERWISE

○ MONUMENT FOUND, AS NOTED

DIAM DIAMETER

(C) CALCULATED

(M) MEASURED

(R) RECORD

BLOCK # LOT OR BLOCK NUMBER

--- PUBLIC LANDS SURVEY SECTION LINE

--- PLAT BOUNDARY LIMITS

--- NEW LOT & TRACT LINE PER THIS PLAT

--- EXISTING RECORD EASEMENT LINE

--- ADJOINING PARCEL OR LOT LINE

--- F.E.M.A. FLOOD BOUNDARY (AS NOTED)

FOR ADAMS COUNTY ROAD DEDICATION AND  
TRACTS B & D-Z DETAILS, SEE SHEETS 14 &  
15. FOR LAND USE TABLES, SEE SHEET 5.



SCALE: 1" = 100'  
100' 0 50' 100'  
UNLESS NOTED OTHERWISE

## ADDRESS MAP

	TYPE OF SUBMITTAL:	FINAL PLAT
	PREPARATION DATE:	JANUARY 31, 2023
	REVISION DATE:	JULY 12, 2023
	REVISION DATE:	
JOB NO. 19-260		DWG: 19-260 FINAL.dwg

SHEET 4A OF 15

Tract H of Aloha Beach Filing No. 1  
Quitclaim Deed at Book 4534, Page 987  
NOT A PART

Tract D of Aloha Beach Filing No. 1  
Quitclaim Deed at Book 4534, Page 987  
NOT A PART

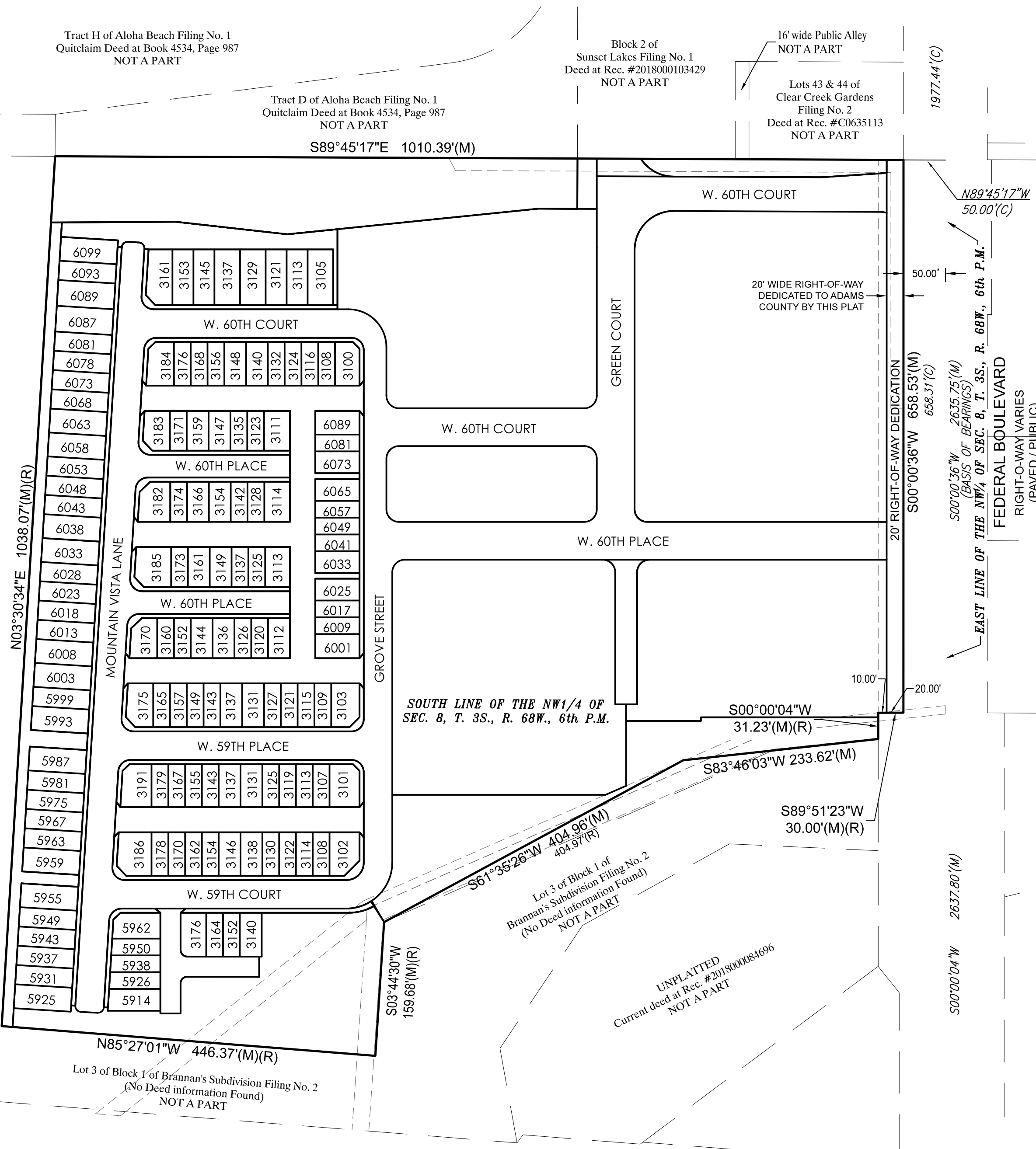
Block 2 of  
Sunset Lakes Filing No. 1  
Deed at Rec. #2018000103429  
NOT A PART

16' wide Public Alley  
NOT A PART

Lots 43 & 44 of  
Clear Creek Gardens  
Filing No. 2  
Deed at Rec. #C0635113  
NOT A PART

Tract C of Aloha Beach Filing No. 1  
Quitclaim Deed at Book 4534, Page 987  
NOT A PART

Lot 1 of Block 1 of Brannan's Subdivision Filing No. 2  
Deed at Book 4329, Page 541  
NOT A PART



Lot 3 of Block 1 of Brannan's Subdivision Filing No. 2  
(No Deed information Found)  
NOT A PART

Lot 3 of Block 1 of  
Brannan's Subdivision Filing No. 2  
(No Deed information Found)  
NOT A PART

UNPLATTED  
Current deed at Rec. #2018000084696  
NOT A PART



# CLEAR CREEK TRANSIT VILLAGE

\*\*\* FINAL PLAT \*\*\*

PRC2023-00011

A PORTION OF THE WEST HALF (W 1/2) OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST  
OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 5 OF 15

## BLOCK / LOT DATA

LOT	BLOCK	SQ. FT.	ACRES
LOT 1	BLOCK 1	110,532	2.537
LOT 1	BLOCK 2	56,297	1.292
LOT 1	BLOCK 3	63,972	1.469
LOT 1	BLOCK 4	22,444	0.515
LOT 1	BLOCK 5	75,550	1.735

BLOCK 6		
LOT	SQ. FT.	ACRES
LOT 1	1,607	0.037
LOT 2	1,040	0.024
LOT 3	1,040	0.024
LOT 4	1,040	0.024
LOT 5	1,352	0.031
LOT 6	1,344	0.031
LOT 7	1,040	0.024
LOT 8	1,040	0.024
LOT 9	1,040	0.024
LOT 10	1,040	0.024
LOT 11	1,486	0.034
LOT 12	1,430	0.033
LOT 13	948	0.022
LOT 14	1,233	0.028
LOT 15	1,233	0.028
LOT 16	948	0.022
LOT 17	948	0.022
LOT 18	1,473	0.034
LOT 19	1,706	0.039
LOT 20	956	0.022
LOT 21	1,242	0.029
LOT 22	1,242	0.029
LOT 23	956	0.022
LOT 24	956	0.022
LOT 25	1,467	0.034
LOT 26	1,979	0.045
LOT 27	954	0.022
LOT 28	1,239	0.028
LOT 29	1,242	0.029
LOT 30	954	0.022
LOT 31	954	0.022
LOT 32	1,417	0.033
LOT 33	1,435	0.033
LOT 34	954	0.022
LOT 35	954	0.022
LOT 36	1,240	0.028
LOT 37	1,240	0.028
LOT 38	954	0.022
LOT 39	954	0.022
LOT 40	1,254	0.029
LOT 41	1,489	0.034
LOT 42	1,054	0.024
LOT 43	1,370	0.031
LOT 44	1,370	0.031
LOT 45	1,054	0.024
LOT 46	1,054	0.024
LOT 47	1,054	0.024
LOT 48	1,370	0.031
LOT 49	1,370	0.031
LOT 50	1,054	0.024
LOT 51	1,054	0.024
LOT 52	1,513	0.035
LOT 53	1,586	0.036
LOT 54	1,044	0.024
LOT 55	1,044	0.024
LOT 56	1,044	0.024
LOT 57	1,044	0.024
LOT 58	1,357	0.031
LOT 59	1,357	0.031
LOT 60	1,044	0.024
LOT 61	1,044	0.024
LOT 62	1,044	0.024
LOT 63	1,044	0.024
LOT 64	1,687	0.039
Total	76,680	1.760

BLOCK 7		
LOT	SQ. FT.	ACRES
LOT 1	1,792	0.041
LOT 2	1,024	0.024
LOT 3	1,024	0.024
LOT 4	1,024	0.024
LOT 5	1,024	0.024
LOT 6	1,331	0.031
LOT 7	1,331	0.031
LOT 8	1,024	0.024
LOT 9	1,024	0.024
LOT 10	1,024	0.024
LOT 11	1,024	0.024
LOT 12	1,796	0.041
LOT 13	2,035	0.047
LOT 14	1,037	0.024
LOT 15	1,037	0.024
LOT 16	1,037	0.024
LOT 17	1,037	0.024
LOT 18	1,348	0.031
LOT 19	1,348	0.031
LOT 20	1,037	0.024
LOT 21	1,037	0.024
LOT 22	1,037	0.024
LOT 23	1,037	0.024
LOT 24	1,690	0.039
Total	29,163	0.670

BLOCK 8		
LOT	SQ. FT.	ACRES
LOT 1	1,938	0.044
LOT 2	1,564	0.036
LOT 3	2,090	0.048
LOT 4	2,090	0.048
LOT 5	1,564	0.036
LOT 6	1,564	0.036
LOT 7	1,564	0.036
LOT 8	1,564	0.036
LOT 9	1,938	0.044
LOT 10	1,938	0.044
LOT 11	1,564	0.036
LOT 12	1,564	0.036
LOT 13	1,564	0.036
LOT 14	1,938	0.044
LOT 15	1,938	0.044
LOT 16	1,564	0.036
LOT 17	1,564	0.036
LOT 18	1,564	0.036
LOT 19	1,564	0.036
LOT 20	1,938	0.044
LOT 21	1,938	0.044
LOT 22	1,564	0.036
LOT 23	1,938	0.044
LOT 24	1,938	0.044
LOT 25	1,564	0.036
LOT 26	1,564	0.036
LOT 27	1,564	0.036
LOT 28	1,564	0.036
LOT 29	1,938	0.044
LOT 30	1,938	0.044
LOT 31	1,564	0.036
LOT 32	1,564	0.036
LOT 33	1,564	0.036
LOT 34	1,564	0.036
LOT 35	1,938	0.044
LOT 36	1,947	0.045
LOT 37	1,659	0.038
LOT 38	1,659	0.038
LOT 39	2,024	0.046
LOT 40	2,024	0.046
LOT 41	1,659	0.038
LOT 42	1,659	0.038
LOT 43	2,023	0.046
Total	74,932	1.720

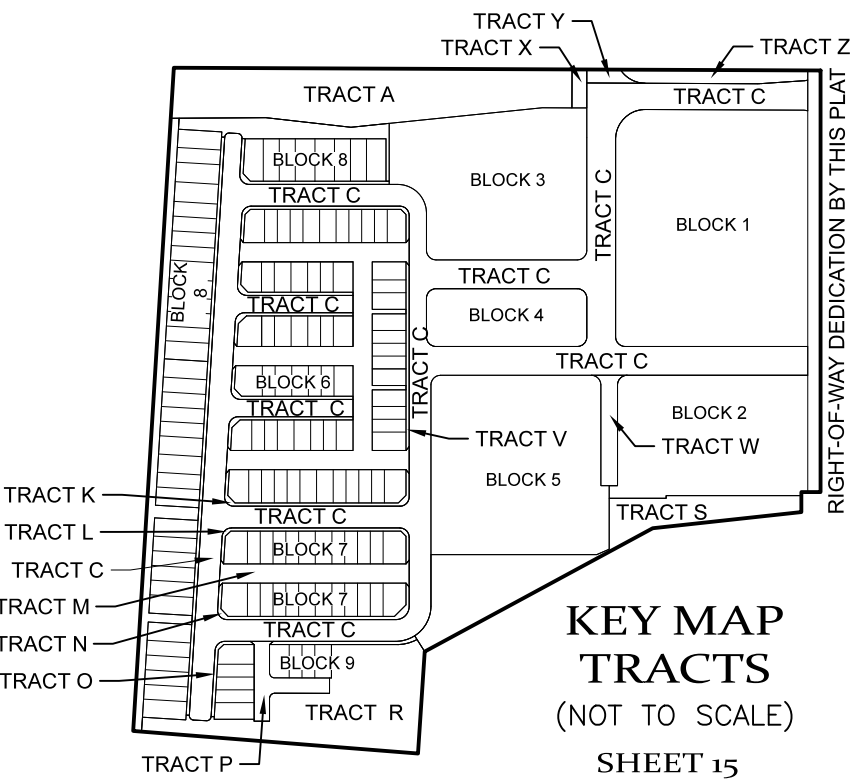
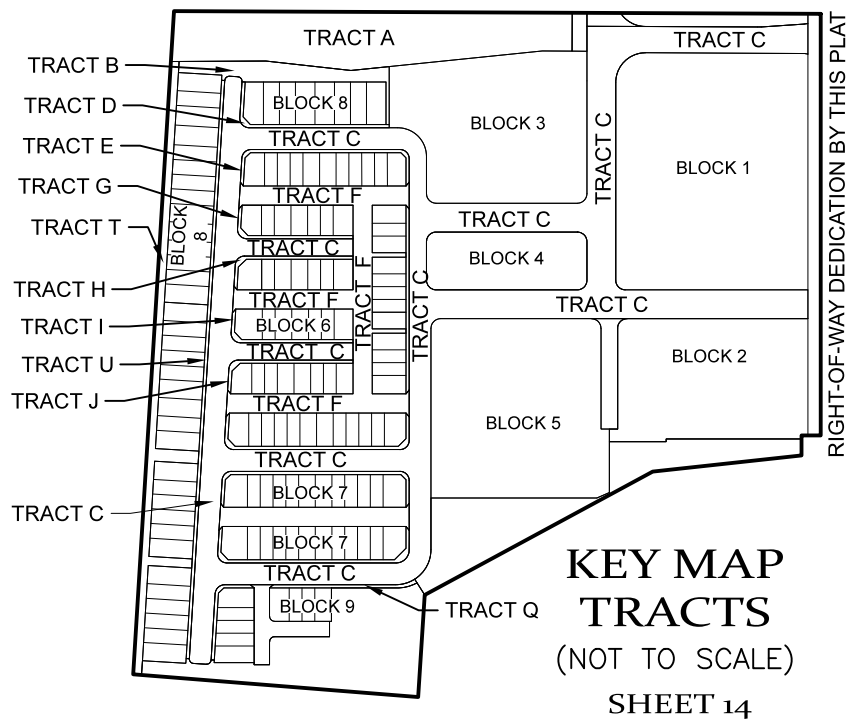
BLOCK 9		
LOT	SQ. FT.	ACRES
LOT 1	1,700	0.039
LOT 2	1,159	0.027
LOT 3	1,184	0.027
LOT 4	1,208	0.028
LOT 5	1,607	0.037
LOT 6	1,583	0.036
LOT 7	1,043	0.024
LOT 8	1,044	0.024
LOT 9	1,362	0.031
Total	11,890	0.273

## TRACT & DEDICATION DATA

TRACT	AREA (SQ.FT.)	AREA (ACRES)	LAND USE	OWNERSHIP
A	48,129	1.105	LANDSCAPE	CLEAR CREEK DEVELOPMENT, LLC
B	8,294	0.190	LANDSCAPE	HOMEOWNERS' ASSOCIATION
C	161,470	3.707	METRO DISTRICT ROADS FOR PUBLIC ACCESS	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
D	1,525	0.035	SIDEWALK TRACTS TO PROVIDE PEDESTRIAN ACCESS TO THE PUBLIC	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
E	1,774	0.041	SIDEWALK TRACTS TO PROVIDE PEDESTRIAN ACCESS TO THE PUBLIC	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
F	31,829	0.731	ALLEY	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
G	1,149	0.026	SIDEWALK TRACTS TO PROVIDE PEDESTRIAN ACCESS TO THE PUBLIC	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
H	1,174	0.027	SIDEWALK TRACTS TO PROVIDE PEDESTRIAN ACCESS TO THE PUBLIC	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
I	1,200	0.028	SIDEWALK TRACTS TO PROVIDE PEDESTRIAN ACCESS TO THE PUBLIC	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
J	1,223	0.028	SIDEWALK TRACTS TO PROVIDE PEDESTRIAN ACCESS TO THE PUBLIC	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
K	1,985	0.045	SIDEWALK TRACTS TO PROVIDE PEDESTRIAN ACCESS TO THE PUBLIC	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
L	1,920	0.044	SIDEWALK TRACTS TO PROVIDE PEDESTRIAN ACCESS TO THE PUBLIC	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
M	8,936	0.205	ALLEY	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
N	2,082	0.048	SIDEWALK TRACTS TO PROVIDE PEDESTRIAN ACCESS TO THE PUBLIC	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
O	841	0.019	SIDEWALK TRACTS TO PROVIDE PEDESTRIAN ACCESS TO THE PUBLIC	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
P	5,304	0.122	ALLEY	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
Q	1,163	0.027	SIDEWALK TRACT	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
R	36,527	0.838	OPEN SPACE	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
S	33,920	0.779	OPEN SPACE	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
T	14,763	0.339	LANDSCAPE	HOMEOWNERS' ASSOCIATION
U	4,525	0.104	SIDEWALK TRACT	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
V	1,443	0.033	SIDEWALK TRACT	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
W	4,577	0.105	ALLEY	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
X	1,388	0.032	LANDSCAPE	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
Y	1,344	0.031	FUTURE ACCESS	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
Z	5,709	0.131	LANDSCAPE	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
DEDICATION	13,172	0.302	RIGHT-OF-WAY DEDICATION	ADAMS COUNTY
TOTAL TRACT + DEDICATION AREA	397,317	9.121		

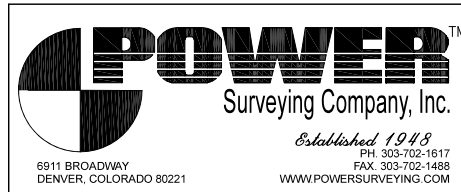
LAND USE	SQ. FT.	ACRES	OWNERSHIP
BLOCK 1	110,532	2.538	CLEAR CREEK DEVELOPMENT, LLC
BLOCK 2	56,297	1.292	CLEAR CREEK DEVELOPMENT, LLC
BLOCK 3	63,972	1.469	CLEAR CREEK DEVELOPMENT, LLC
BLOCK 4	22,444	0.515	CLEAR CREEK DEVELOPMENT, LLC
BLOCK 5	75,599	1.735	CLEAR CREEK DEVELOPMENT, LLC
BLOCK 6	76,680	1.760	CLEAR CREEK DEVELOPMENT, LLC
BLOCK 7	29,163	0.670	CLEAR CREEK DEVELOPMENT, LLC
BLOCK 8	74,932	1.720	CLEAR CREEK DEVELOPMENT, LLC
BLOCK 9	11,890	0.273	CLEAR CREEK DEVELOPMENT, LLC
BLOCK TOTAL	±521,509	±11.972	

LAND USE	SQ. FT.	ACRES
BLOCKS	±521,509	±11.972
TRACTS	±384,145	±8.819
DEDICATION	±13,172	±0.302
TRACT & DEDICATION TOTAL	±397,317	±9.121
SITE TOTAL	±918,826	±21.093



TRACT A: SEE SHEETS 6 & 7  
TRACT C: SEE SHEETS 6-13  
SEE TRACT / DEDICATION DETAILS  
SHEETS 14 & 15

## LAND USE TABLES



TYPE OF SUBMITTAL:	FINAL PLAT
PREPARATION DATE:	JANUARY 31, 2023
REVISION DATE:	JULY 12, 2023
REVISION DATE:	
REVISION DATE:	
JOB NO. 19-260	DWG: 19-260 FINAL.dwg

SHEET 5 OF 15

CLEAR CREEK TRANSIT VILLAGE

\*\*\* FINAL PLAT \*\*\*

A PORTION OF THE WEST HALF (W 1/2) OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST  
OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 6 OF 15

PRC2023-00011

Tract C of Aloha Beach Filing No. 1  
Quitclaim Deed at Book 4534, Page 987  
NOT A PART

Tract D of Aloha Beach Filing No. 1  
Quitclaim Deed at Book 4534, Page 987  
NOT A PART

LEGEND OF SYMBOLS &  
ABBREVIATIONS

● SET REBAR & 1-1/2" DIAMETER  
YELLOW PLASTIC CAP, PLS 37929,  
TYPICAL UNLESS NOTED OTHERWISE

○ MONUMENT FOUND, AS NOTED

DIAM DIAMETER

(C) CALCULATED

(M) MEASURED

(R) RECORD

BLOCK # LOT OR BLOCK NUMBER

--- PUBLIC LANDS SURVEY SECTION LINE

--- PLAT BOUNDARY LIMITS

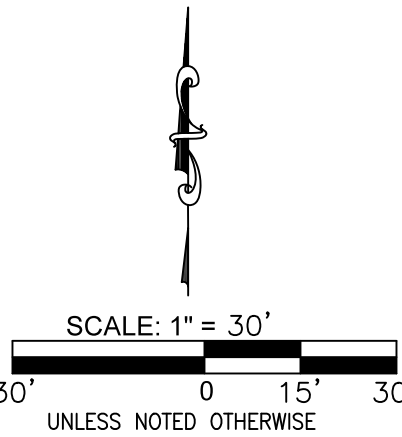
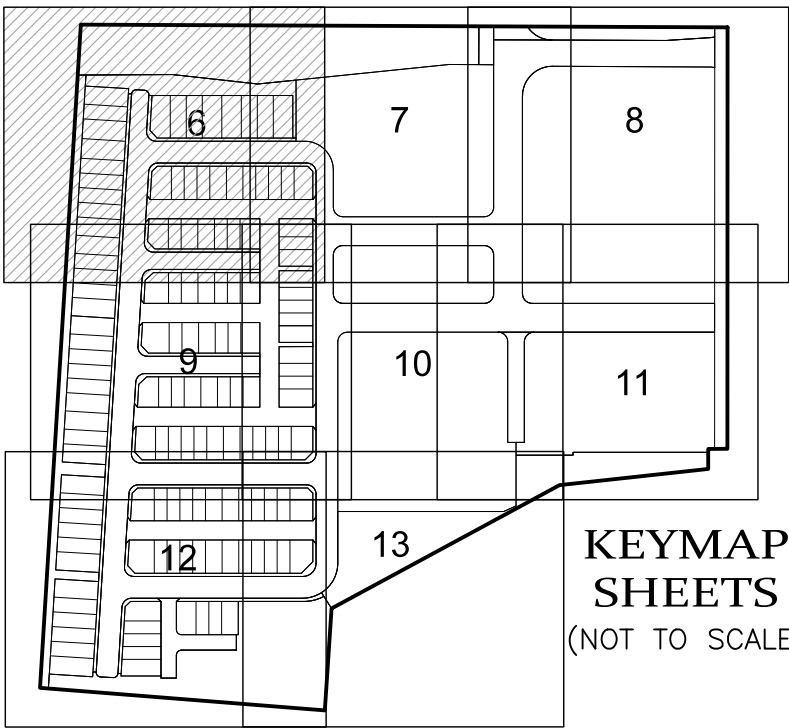
--- NEW LOT & TRACT LINE PER THIS PLAT

--- EXISTING RECORD EASEMENT LINE

--- ADJOINING PARCEL OR LOT LINE

--- F.E.M.A. FLOOD BOUNDARY (AS NOTED)

FOR ADAMS COUNTY ROAD DEDICATION AND  
TRACTS B & D-Z DETAILS, SEE SHEETS 14 &  
15. FOR LAND USE TABLES, SEE SHEET 5.

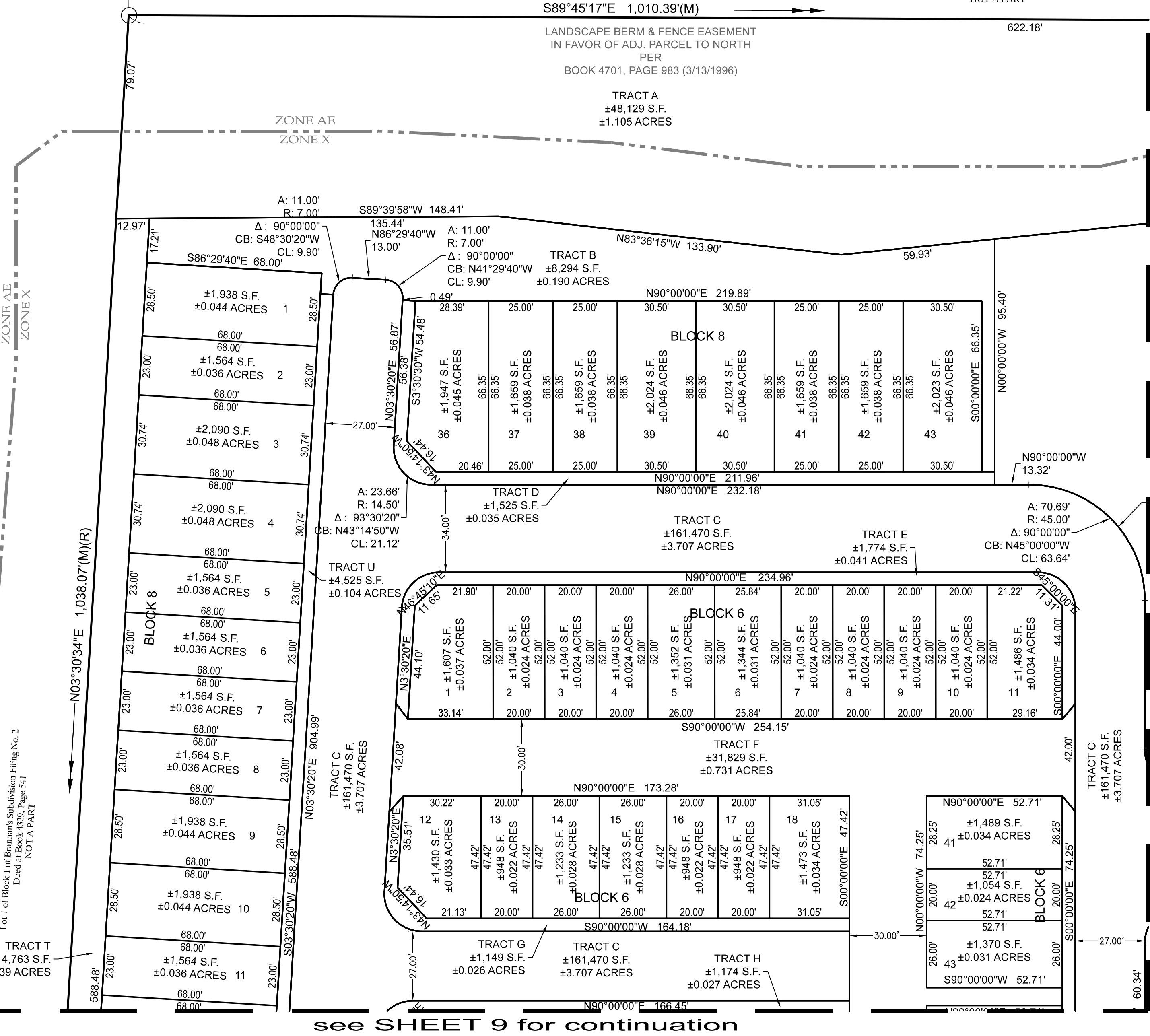


FINAL PLAT



TYPE OF SUBMITTAL:	FINAL PLAT
PREPARATION DATE:	JANUARY 31, 2023
REVISION DATE:	JULY 12, 2023
REVISION DATE:	
REVISION DATE:	
JOB NO. 19-260	DWG: 19-260 FINAL.dwg

SHEET 6 OF 15





\*\*\* FINAL PLAT \*\*\*

SHEET 7 OF 15

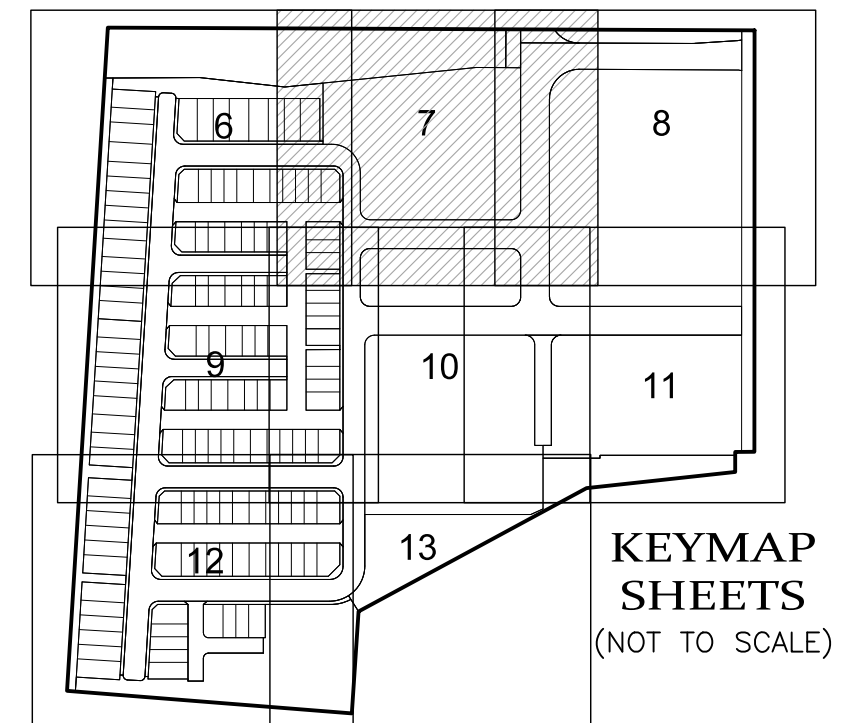
PRC2023-00011

SET REBAR & 1-1/2" DIAMETER  
YELLOW PLASTIC CAP, PLS 37929,  
TYPICAL UNLESS NOTED OTHERWISE

BLOCK#	LOT OR BLOCK NUMBER
--------	---------------------

\_\_\_\_\_ PUBLIC LANDS SURVEY SECTION LINE  
 \_\_\_\_\_ PLAT BOUNDARY LIMITS  
 \_\_\_\_\_ NEW LOT & TRACT LINE PER THIS PLAT  
 - - - - - EXISTING RECORD EASEMENT LINE  
 \_\_\_\_\_ ADJOINING PARCEL OR LOT LINE  
 \_\_\_\_\_ F.E.M.A. FLOOD BOUNDARY (AS NOTED)

FOR ADAMS COUNTY ROAD DEDICATION AND  
TRACTS B & D-Z DETAILS, SEE SHEETS 14 &  
15. FOR LAND USE TABLES, SEE SHEET 5.



KEYMAP  
SHEETS  
(NOT TO SCALE)

SCALE: 1" = 30'

30' 0 15' 30'

UNLESS NOTED OTHERWISE

FINAL PLAT

**POWER**  
Surveying Company, Inc.  
*Established 1948*  
6911 BROADWAY  
DENVER, COLORADO 80221  
PH. 303-702-1617  
FAX: 303-702-1488  
[WWW.POWERSURVEYING.COM](http://WWW.POWERSURVEYING.COM)

TYPE OF SUBMITTAL:	FINAL PLAT
PREPARATION DATE:	JANUARY 31, 2023
REVISION DATE:	JULY 12, 2023
REVISION DATE:	
REVISION DATE:	
JOB NO. 19-260	DWG: 19-260 FINAL.dwg

SHEET 7 OF 15

see SHEET 6 for continuation

— see SHEET 8 for continuation

see SHEET 10 for continuation

CLEAR CREEK TRANSIT VILLAGE

\*\*\* FINAL PLAT \*\*\*

A PORTION OF THE WEST HALF (W 1/2) OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST  
OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 8 OF 15

PRC2023-00011

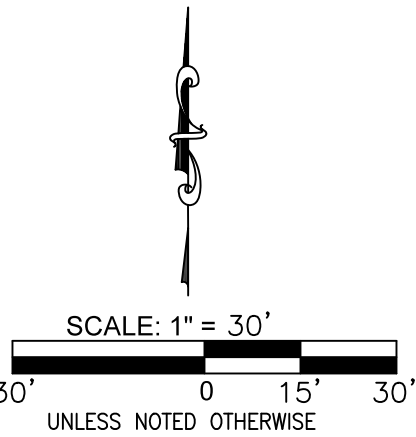
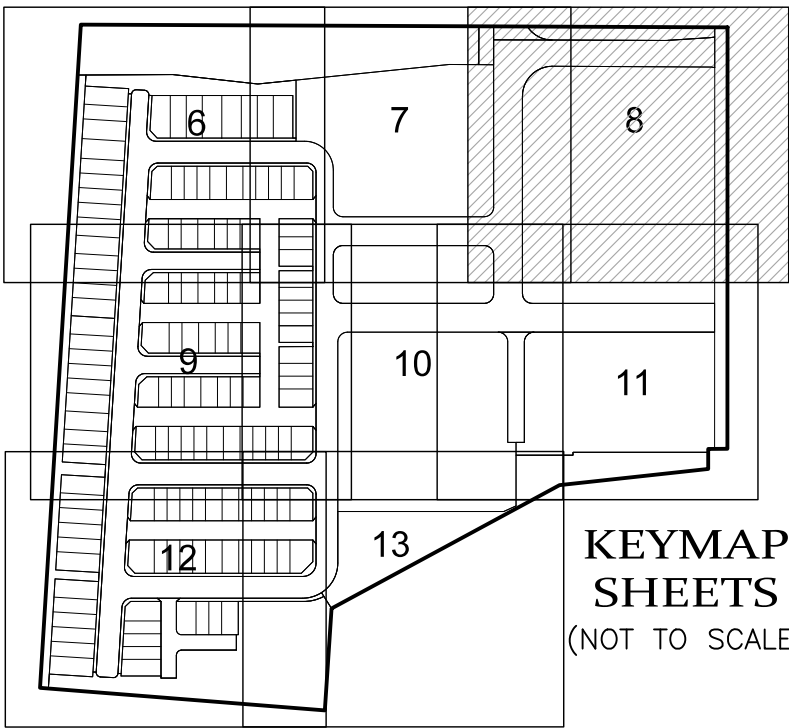
LEGEND OF SYMBOLS &  
ABBREVIATIONS

- SET REBAR & 1-1/2" DIAMETER  
YELLOW PLASTIC CAP, PLS 37929,  
TYPICAL UNLESS NOTED OTHERWISE
- MONUMENT FOUND, AS NOTED
- DIAM DIAMETER
- (C) CALCULATED
- (M) MEASURED
- (R) RECORD

BLOCK # LOT OR BLOCK NUMBER

- PUBLIC LANDS SURVEY SECTION LINE
- PLAT BOUNDARY LIMITS
- NEW LOT & TRACT LINE PER THIS PLAT
- EXISTING RECORD EASEMENT LINE
- ADJOINING PARCEL OR LOT LINE
- F.E.M.A. FLOOD BOUNDARY (AS NOTED)

FOR ADAMS COUNTY ROAD DEDICATION AND  
TRACTS B & D-Z DETAILS, SEE SHEETS 14 &  
15. FOR LAND USE TABLES, SEE SHEET 5.



FINAL PLAT

	TYPE OF SUBMITTAL:	FINAL PLAT
	PREPARATION DATE:	JANUARY 31, 2023
	REVISION DATE:	JULY 12, 2023
	REVISION DATE:	
JOB NO. 19-260		DWG: 19-260 FINAL.dwg

SHEET 8 OF 15

see SHEET 7 for continuation

see SHEET 11 for continuation



# CLEAR CREEK TRANSIT VILLAGE

\*\*\* FINAL PLAT \*\*\*

A PORTION OF THE WEST HALF (W 1/2) OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST  
OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 9 OF 15

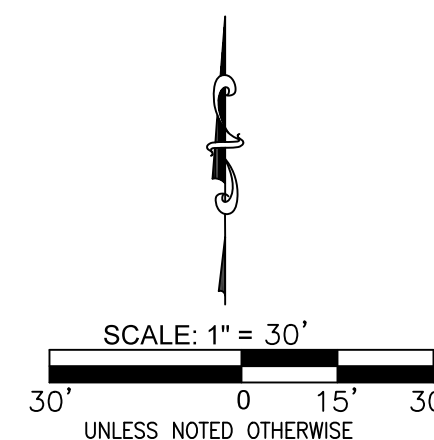
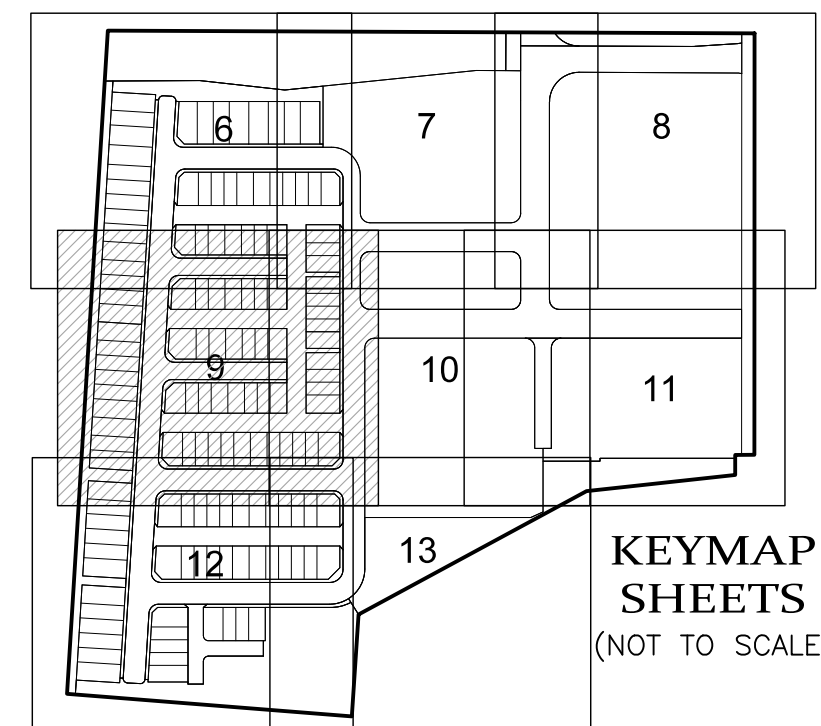
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PRC2023-00011

## LEGEND OF SYMBOLS & ABBREVIATIONS

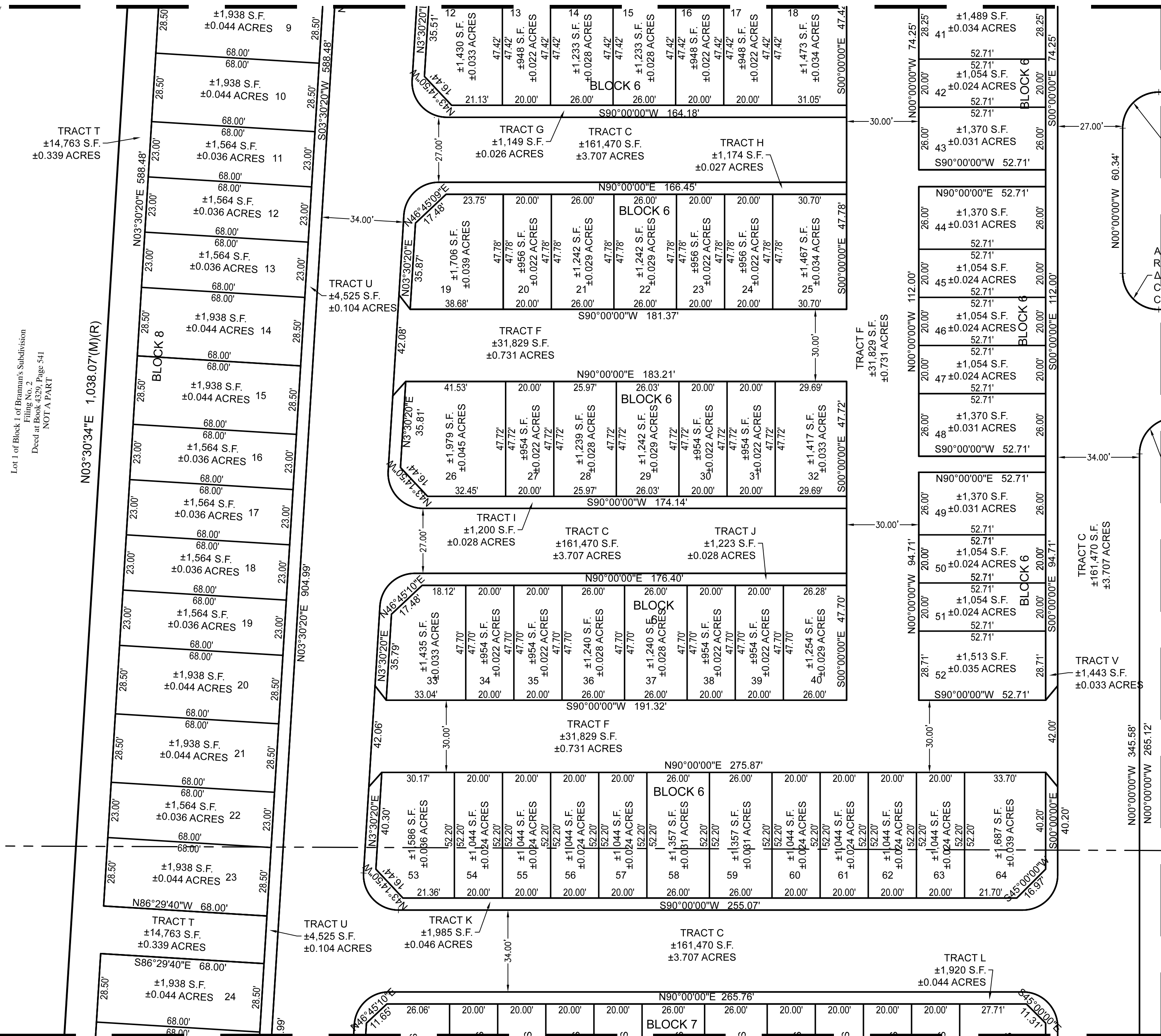
- SET REBAR & 1-1/2" DIAMETER YELLOW PLASTIC CAP, PLS 37929, TYPICAL UNLESS NOTED OTHERWISE
- MONUMENT FOUND, AS NOTED
- DIAM DIAMETER
- (C) CALCULATED
- (M) MEASURED
- (R) RECORD
- BLOCK # LOT OR BLOCK NUMBER
- PUBLIC LANDS SURVEY SECTION LINE
- PLAT BOUNDARY LIMITS
- NEW LOT & TRACT LINE PER THIS PLAT
- EXISTING RECORD EASEMENT LINE
- ADJOINING PARCEL OR LOT LINE
- F.E.M.A. FLOOD BOUNDARY (AS NOTED)

FOR ADAMS COUNTY ROAD DEDICATION AND TRACTS B & D-Z DETAILS, SEE SHEETS 14 & 15. FOR LAND USE TABLES, SEE SHEET 5.



FINAL PLAT

<b>POWER</b> Surveying Company, Inc. <small>Established 1988 PH: 303-552-1517 FAX: 303-702-1488 WWW.POWERSURVEYING.COM</small>	TYPE OF SUBMITTAL:	FINAL PLAT
	PREPARATION DATE:	JANUARY 31, 2023
	REVISION DATE:	JULY 12, 2023
	REVISION DATE:	
	JOB NO. 19-260	DWG: 19-260 FINAL.dwg
	SHEET 9 OF 15	



see SHEET 12 for continuation

see SHEET 10 for continuation

Lot 1 of Block 1 of Brannan's Subdivision  
Filing No. 2  
Deed at Book 4329, Page 541  
NOT A PART







# CLEAR CREEK TRANSIT VILLAGE

\*\*\* FINAL PLAT \*\*\*

A PORTION OF THE WEST HALF (W 1/2) OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST  
OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 12 OF 15

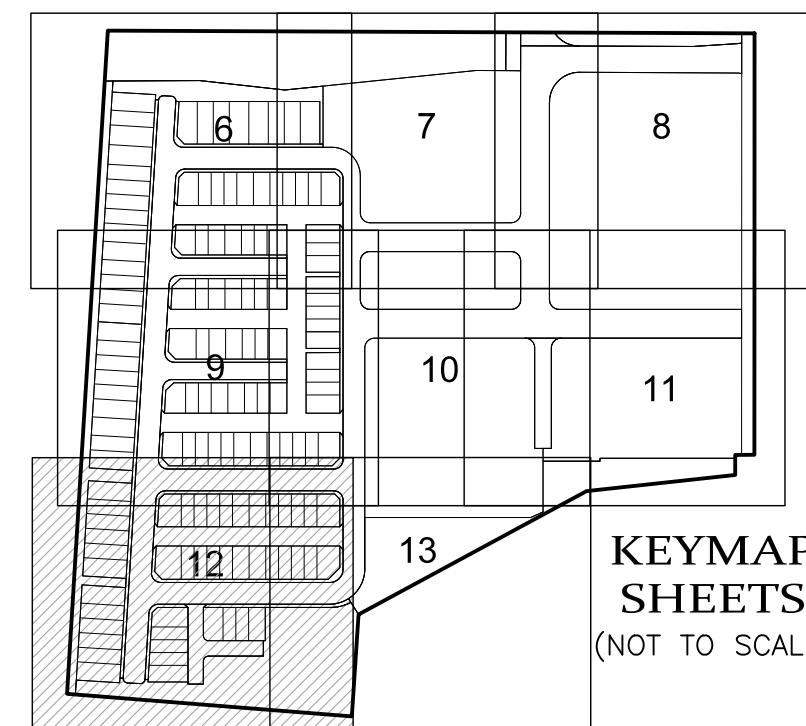
see SHEET 9 for continuation

PRC2023-00011

## LEGEND OF SYMBOLS & ABBREVIATIONS

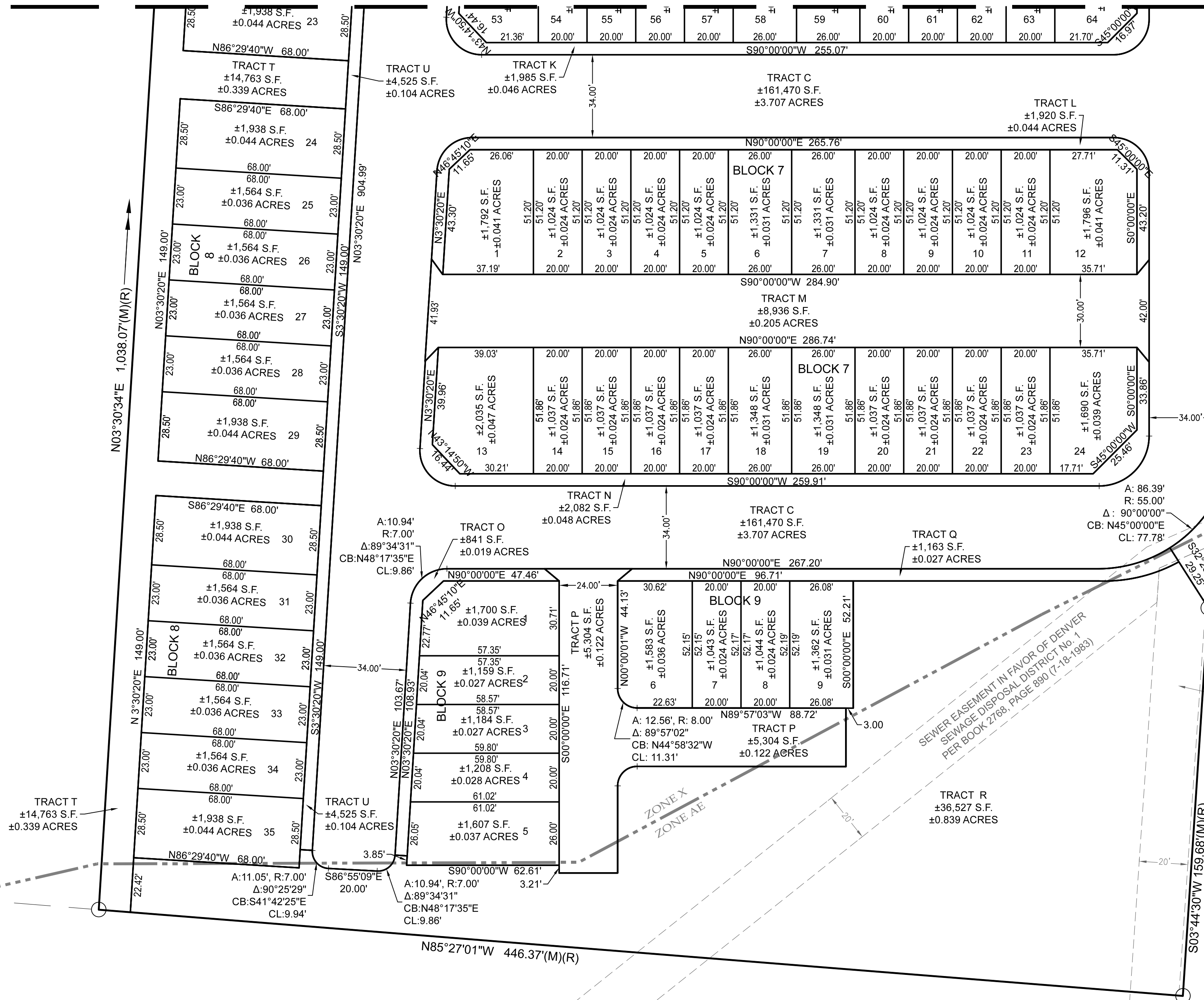
- SET REBAR & 1-1/2" DIAMETER YELLOW PLASTIC CAP, PLS 37929, TYPICAL UNLESS NOTED OTHERWISE
- MONUMENT FOUND, AS NOTED
- DIAM DIAMETER
- (C) CALCULATED
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- BLOCK # LOT OR BLOCK NUMBER
- PUBLIC LANDS SURVEY SECTION LINE
- PLAT BOUNDARY LIMITS
- NEW LOT & TRACT LINE PER THIS PLAT
- EXISTING RECORD EASEMENT LINE
- ADJOINING PARCEL OR LOT LINE
- F.E.M.A. FLOOD BOUNDARY (AS NOTED)

FOR ADAMS COUNTY ROAD DEDICATION AND TRACTS B & D-Z DETAILS, SEE SHEETS 14 & 15. FOR LAND USE TABLES, SEE SHEET 5.



KEYMAP  
SHEETS  
(NOT TO SCALE)

see SHEET 13 for continuation



FINAL PLAT

<b>POWER</b> Surveying Company, Inc. <small>Established 1983 PH: 303-752-1517 FAX: 303-752-1488 WWW.POWERSURVEYING.COM</small>	TYPE OF SUBMITTAL:	FINAL PLAT
	PREPARATION DATE:	JANUARY 31, 2023
	REVISION DATE:	JULY 12, 2023
	REVISION DATE:	
JOB NO. 19-260	DWG: 19-260 FINAL.dwg	

SHEET 12 OF 15



CLEAR CREEK TRANSIT VILLAGE

\*\*\* FINAL PLAT \*\*\*

A PORTION OF THE WEST HALF (W 1/2) OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST  
OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 13 OF 15

see SHEET 10 for continuation

PRC2023-00011

LEGEND OF SYMBOLS &  
ABBREVIATIONS

● SET REBAR & 1-1/2" DIAMETER  
YELLOW PLASTIC CAP, PLS 37929,  
TYPICAL UNLESS NOTED OTHERWISE

○ MONUMENT FOUND, AS NOTED

DIAM DIAMETER

(C) CALCULATED

(M) MEASURED

(R) RECORD

BLOCK # LOT OR BLOCK NUMBER

--- PUBLIC LANDS SURVEY SECTION LINE

--- PLAT BOUNDARY LIMITS

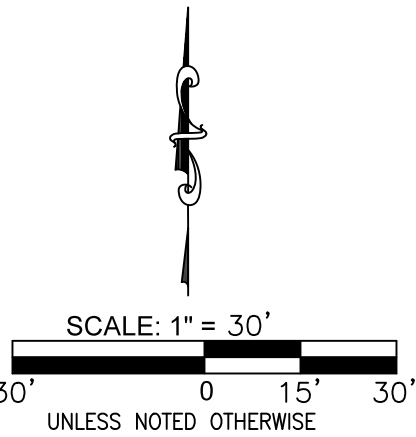
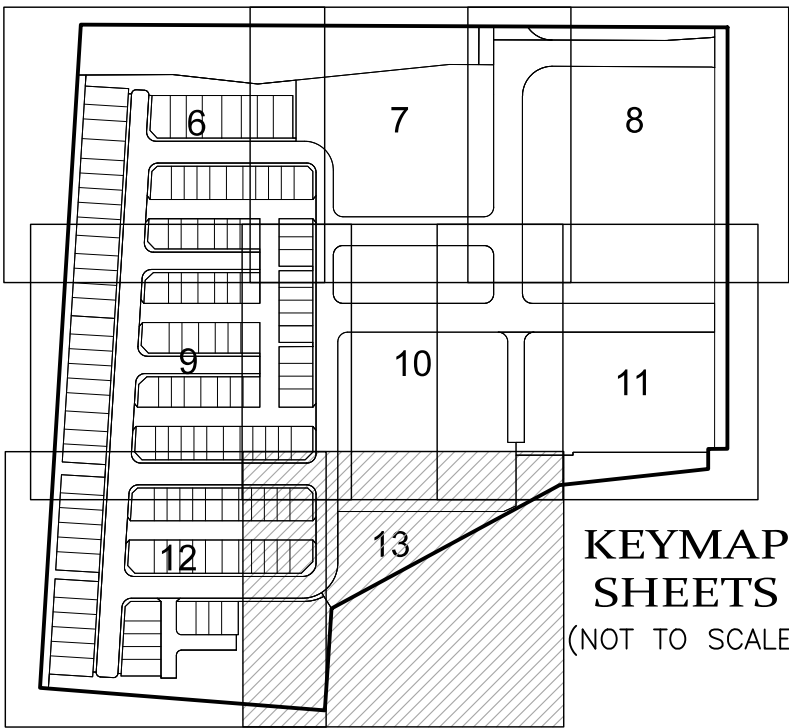
--- NEW LOT & TRACT LINE PER THIS PLAT

--- EXISTING RECORD EASEMENT LINE

--- ADJOINING PARCEL OR LOT LINE

--- F.E.M.A. FLOOD BOUNDARY (AS NOTED)

FOR ADAMS COUNTY ROAD DEDICATION AND  
TRACTS B & D-Z DETAILS, SEE SHEETS 14 &  
15. FOR LAND USE TABLES, SEE SHEET 5.



FINAL PLAT

 6911 BROADWAY DENVER, COLORADO 80221 Established 1988 PH: 303-702-1517 FAX: 303-702-1488 WWW.POWERSURVEYING.COM	TYPE OF SUBMITTAL:	FINAL PLAT
	PREPARATION DATE:	JANUARY 31, 2023
	REVISION DATE:	JULY 12, 2023
	REVISION DATE:	
	JOB NO. 19-260	DWG: 19-260 FINAL.dwg
SHEET 13 OF 15		

BLOCK 5

LOT 1

±75,599 S.F.

±1.736 ACRES

TRACT S

±33,920 S.F.

±0.779 ACRES

TRACT C

±161,470 S.F.

±3.707

ACRES

TRACT L

±1,920 S.F.

±0.044 ACRES

BLOCK 7

TRACT F

±31,829 S.F., ±0.731

ACRES

BLOCK 7

TRACT C

±161,470 S.F.

±3.707

ACRES

TRACT Q

±1,163 S.F.

±0.027 ACRES

BLOCK 7

TRACT C

±161,470 S.F.

±3.707

ACRES

TRACT R

±36,527 S.F.

±0.839 ACRES

TRACT S

±33,920 S.F.

±0.779 ACRES

ZONE X

ZONE AE

SEWER EASEMENT IN FAVOR OF DENVER SEWAGE DISPOSAL DISTRICT No. 1 PER BOOK 2768, PAGE 890 (7-18-1983)

SEWER EASEMENT IN FAVOR OF DENVER SEWAGE DISPOSAL DISTRICT No. 1 PER BOOK 1099, PAGE 299 (9-25-1963)

SEWER EASEMENT IN FAVOR OF DENVER SEWAGE DISPOSAL DISTRICT No. 1 PER BOOK 1099, PAGE 299 (9-25-1963)

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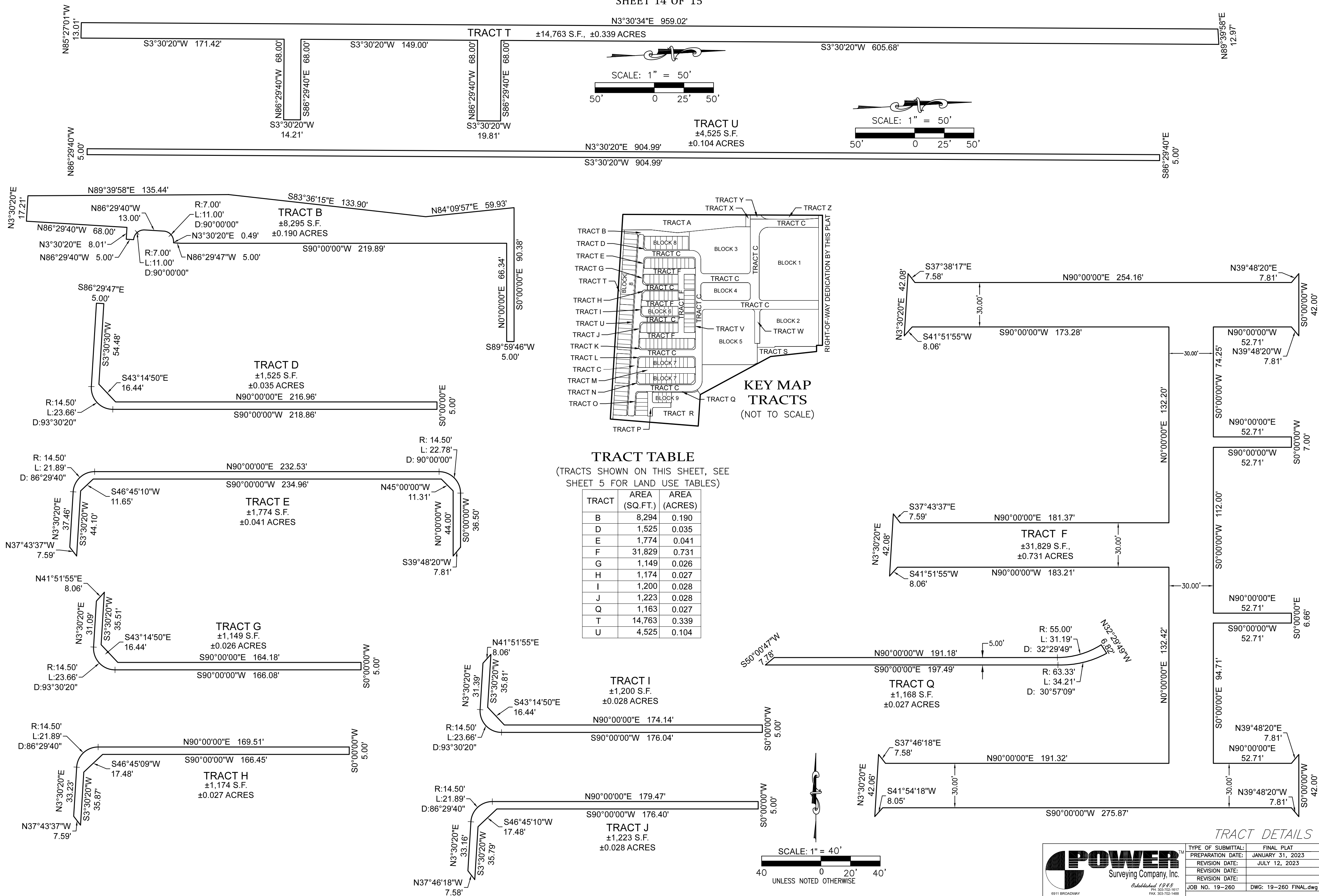
# CLEAR CREEK TRANSIT VILLAGE

\*\*\* FINAL PLAT \*\*\*

A PORTION OF THE WEST HALF (W 1/2) OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST  
OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 14 OF 15

PRC2023-00011



## TRACT TABLE

(TRACTS SHOWN ON THIS SHEET, SEE SHEET 5 FOR LAND USE TABLES)

TRACT	AREA (SQ.FT.)	AREA (ACRES)
B	8,294	0.190
D	1,525	0.035
E	1,774	0.041
F	31,829	0.731
G	1,149	0.026
H	1,174	0.027
I	1,200	0.028
J	1,223	0.028
Q	1,163	0.027
T	14,763	0.339
U	4,525	0.104

## TRACT DETAILS

<p>POWER Surveying Company, Inc. Established 1988 6911 BROADWAY DENVER, COLORADO 80221 PH: 303-752-1517 FAX: 303-752-1488 WWW.POWERSURVEYING.COM</p>	TYPE OF SUBMITTAL:	FINAL PLAT
	PREPARATION DATE:	JANUARY 31, 2023
	REVISION DATE:	JULY 12, 2023
	REVISION DATE:	
JOB NO. 19-260	DWG: 19-260 FINAL.dwg	

SHEET 14 OF 15



\*\*\* FINAL PLAT \*\*\*

SHEET 15 OF 15

S90°00'00"E  
100.78'

R: 63.33'  
L: 34.21'  
D: 30°57'09"

TRACT R  
±36,527 S.F.  
±0.839 ACRES

TRACT	AREA (SQ.FT.)	AREA (ACRES)
K	1,985	0.045
L	1,920	0.044
M	8,936	0.205
N	2,082	0.048
O	841	0.019
P	5,304	0.122
R	36,527	0.838
S	33,871	0.778
V	1,443	0.033
W	4,577	0.105
X	1,388	0.032
Y	1,344	0.031
Z	5,709	0.131
DEDICATION	13,172	0.302

KEY MAP  
TRACTS  
(NOT TO SCALE)

N89°45'17"W  
 23.00'  
 S00°14'43"W 60.00'  
 N00°00'00"W 60.03'  
 S89°41'31"E  
 23.26'  
 TRACT X  
 ±1,388 S.F.  
 ±0.032 ACRES

RIGHT-OF-WAY DEDICATION BY THIS PLAT

SCALE: 1" = 40'

40 0 20' 40'

UNLESS NOTED OTHERWISE

### TRACT DETAILS

TYPE OF SUBMITTAL:	FINAL PLAT
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PREPARATION DATE:	JANUARY 31, 2023
REVISION DATE:	JULY 12, 2023

REVISION DATE:	JULY 12, 2020
REVISION DATE:	

REVISION DATE:	
JOB NO. 19-260	DWG: 19-260 FINAL

SHEET 15 OF 15

SHEET 15 OF 15



**POWER**  
Surveying Company, Inc.

*Established 1948*

6911 BROADWAY  
DENVER, COLORADO 80221

PH. 303-702-1517  
FAX. 303-702-1488  
[WWW.POWERSURVEYING.COM](http://WWW.POWERSURVEYING.COM)

*Established 1948*  
PH. 303-702-1617  
FAX. 303-702-1488  
WWW.POWERSURVEYING.COM



June 17, 2021

Pacific North Enterprises  
900 Castleton Road, Suite 118  
Castle Rock, Colorado 80109

Subject:       **Voluntary Cleanup (VCUP) Program Summary**  
6001 Federal Boulevard  
Denver, Colorado  
Project Number 200051

At your request, this letter summarizes the current status of the Clear Creek Transit Center Project's inclusion in Colorado's Voluntary Cleanup (VCUP) Program.

### **Background**

During soil disturbance work at the site, A. G. Wassenaar, Inc. (AGW) has been providing full-time oversight by a Colorado Asbestos Building Inspector (CABI), in accordance with Colorado Department of Public Health and Environment (CDPHE) Solid Waste Regulations (6 CCR 1007-2, Part 1 – Regulations Pertaining to Solid Waste Sites and Facilities, Section 5.5., Management of Regulated Asbestos-Contaminated Soil (RACS)). Regulated Asbestos Contaminated Soil (RACS) which is discovered is packaged, transported, and disposed of at an approved landfill in accordance with CDPHE Solid Waste Regulations.

Based on Limited Subsurface Investigations conducted by AGW and others, AGW has concluded that significant contamination of soil, groundwater, and soil vapor is not present in the subsurface of any of the investigated areas due to the historical landfills and past uses of adjacent parcels. There are no known volatile contaminants in the soils and groundwater that pose a dermal, ingestion, and/or vapor intrusion potential.

Groundwater will not be used for any purpose at the property, and if necessary, any groundwater encountered or extracted during redevelopment will be treated in accordance with the short-term construction dewatering permit, completed in March 2021.

### **June 16, 2021 Meeting**

On June 16, 2021, AGW and Pacific North Enterprises met with CDPHE staff onsite, including Brian Long, Environmental Protection Specialist, Solid Waste Compliance Assurance Unit, Solid Waste and Materials Management Program and Fonda Apostolopoulos, Voluntary Cleanup and Redevelopment Program. The onsite meeting discussed soil disturbance activities to date, including what types of materials have been identified on the site. Various test pits and excavations were observed by the team, and the redevelopment plans for the site were reviewed.



No violations under the CDPHE Solid Waste Regulations were noted during the inspection. Additionally, the site was confirmed as being suitable for participation in the VCUP program. CDPHE staff will be following up with AGW and Pacific North Enterprises shortly to further discuss which, if any, environmental covenants will be required on the site. The VCUP application will be submitted to the CDPHE in the near future, and CDPHE is expected to work closely with the Pacific North Enterprises to secure a No Action Determination for the project.

Please contact us for any clarification of the information presented in this letter.

Sincerely,  
A. G. Wassenaar, Inc.

  
\_\_\_\_\_  
Rachel A. Peterson, P.G.  
Environmental Department Manager



**COLORADO**  
Department of Public  
Health & Environment

December 23, 2021

Pacific North Enterprises  
900 Castleton Rd.  
Suite 118  
Castle Rock, CO

**RE: Voluntary Cleanup Plan Approval for 6001 Federal Blvd., Denver, CO**

To whom it may concern:

The Colorado Department of Public Health and Environment (the "Department") has reviewed the voluntary cleanup plan submitted on behalf of Pacific North Enterprises (the Applicant) concerning the property identified in the application and known as 6001 Federal Blvd., in Denver, CO (the site). This review was limited to the materials submitted by the Applicant, as well as those materials required by 25-16-304(2) C.R.S.

Based on this review the Department has concluded that, if fully and properly implemented, the plan will attain a degree of cleanup and control of hazardous substances and petroleum products, such that the property does not present an unacceptable risk to human health or the environment based on the property's proposed future use, which is **Residential/Commercial**.

In accordance with the Voluntary Cleanup and Redevelopment Act 25-16-301 to 311, C.R.S., the Department hereby approves the voluntary cleanup plan submitted by the Applicant for the property identified in the application and known as 6001 Federal Blvd., in Denver, Colorado. It is the opinion of the Colorado Department of Public Health and Environment that upon completion of the voluntary cleanup plan no further action is required to assure that this property, when used for the purposes identified in the voluntary cleanup plan (**Residential/Commercial**), is protective of existing and proposed uses and does not pose an unacceptable risk to human health or the environment at the site.

The approval of the voluntary cleanup plan by the Department, and the Department's conclusions and opinions relating thereto, apply only to conditions on the property and state standards that exist at the time of submission of, and which were addressed in the voluntary cleanup plan application. The submission of any materially misleading information by the Applicant in the context of a voluntary cleanup plan shall render the Department's approval of the plan void. Also, failure of the Applicant to materially comply with the voluntary cleanup plan shall render the Department's approval of the plan void.





Further, if the voluntary cleanup plan is not initiated within twelve months after approval by the Department, or completed within twenty-four months after approval or within a Department approved extension for completion of the voluntary cleanup plan, the approval shall lapse, and reapplication and Department approval pursuant to 25-16-306(4), C.R.S. is required prior to implementation of the lapsed voluntary cleanup plan.

Within forty-five days after completion of the voluntary cleanup described in the plan approved by the Department, the Applicant shall provide to the Department a certification from a qualified environmental professional that the voluntary cleanup plan has been fully implemented. Any person who fails after initiation of an approved voluntary cleanup plan, to fully and properly implement the plan, may be required by the Department to take further action provided such action is authorized or required under applicable state laws and regulations.

The Applicant shall comply with all applicable federal, state, and local laws or regulations and shall obtain all necessary approvals or permits to conduct the activities required by the voluntary cleanup plan. The Department makes no representation with respect to approvals or permits required by federal or local laws or regulations or state laws or regulations other than the Voluntary Cleanup and Redevelopment Act.

Further, the Department shall not be liable for any injuries or damages to persons or property resulting from acts or omissions of the Applicant or those acting for or on behalf of the Applicant, including its officers, employees, agents, successors, representatives, contractors, or consultants in carrying out the activities required by the voluntary cleanup plan. Nothing in the Department's approval of the voluntary cleanup plan, or the Department's conclusions or opinions relating thereto, shall constitute an express or implied waiver of sovereign immunity otherwise applicable to the Department, its employees, agents, or representatives.

Nothing in this letter shall be construed to limit the Department's authority, and the Department reserves all rights and authorities to bring any action pursuant to applicable state laws or regulations.

If you have any questions, please contact me at (303) 692-3411.

Sincerely,



Fonda Apostolopoulos  
Voluntary Cleanup Program

File: RV211110-1



July 12, 2023

Megan Grant  
Land Use and Built Environment Specialist  
Adams County Community and Economic Development  
4430 South Adams County Parkway, 1<sup>st</sup> Floor, Suite W2000A  
Brighton, CO 80601

**RE: Clear Creek Transit Village – Mineral Conservation Overlay**

Dear Ms. Grant,

Thank you for your comments regarding the Mineral Conservation Overlay for the Clear Creek Transit Village development, case PRC2023-00011, located at 6001 Federal Boulevard. The requirement of the Mineral Conservation Overlay (MCO), identified within section 3-42 of the Adams County Zone District Regulations seeks to preserve access to areas where extraction and rehabilitation can be undertaken while still protecting the health, safety, and welfare of the inhabitants of the area and the County.

While extraction and rehabilitation are important aspects to consider when reviewing land use applications, this proposed development has been contemplated on this site since 2009. Furthermore, the first Preliminary Development Plan (PDP) for the Clear Creek Transit Village was approved in 2012, amended in 2015, and amended again in 2022 – each of which approved the transit-oriented development, in conjunction with the nearby Clear Creek-Federal RTD Rail Station. Since that approval, a Preliminary Plat was approved in 2022. During the most recent public hearings for the Preliminary Plat Application, the owner of the site signed a Mineral Rights Waiver. With the minerals not being severed from the ownership of the land, the property owner has agreed to waive extraction possibility of any potential minerals located on site. Furthermore, an early grading permit was issued on November 3, 2020 and preliminary site grading has taken place for the proposed development.

In addition to the above, the proposed site lacks sufficient access to large scale excavation and mining. Federal Boulevard, along the western property boundary, is the only point of access. Both Clear Creek and Lake Sangraco border the site on the north, west, and south. Lake Sangraco is the result of gravel mining decades ago, which ended in 1954.

With the above noted items, it is clear that the applicant is moving forward with the proposed development. Furthermore, through a discussion with Megan Grant on June 30, 2023, it was indicated that due to the previous land use approvals and preliminary site work, that the possibility of mineral extraction is not feasible nor warranted due to this proposed development.

We appreciate the opportunity to receive feedback from the County, and we look forward to working in conjunction to realize this existing addition to Adams County. Should you have any questions or concerns please feel free to reach out to me by phone, at 303-892-1166 or by email, [bmahar@norris-design.com](mailto:bmahar@norris-design.com).

Sincerely,  
Norris Design

Bill Mahar, AICP  
Principal



**From:** [Whitney Even](#)  
**To:** [Jeremy Lott](#)  
**Cc:** [Bill Mahar](#); [Dave Jenkins](#)  
**Subject:** Re: Clear Creek Transit Village ACFPD Submittal Comments  
**Date:** Thursday, July 6, 2023 8:06:07 AM  
**Attachments:** [Outlook-fui02vbh.png](#)  
[Outlook-Want to sc.png](#)  
[230605-CCTV-Fire Exhibits.pdf](#)  
[PRC2023-00011-Fire only Comments from 1st Submittals.pdf](#)

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Good morning,

Please see my responses to the three comments below. Those in red I would be looking for a response on and those in green are just notes.

5) Original Comment: In previous reviews, fire apparatus access roads were provided that met this requirement. See

the exhibit that was previously provided on page 6. Please also indicate where no parking signs will be located. *Is on-street parking planned for the 30' private drives?*

6) Original Comment: Fire apparatus access roads shall be within 150' of all ground level exterior portions of the building. Provide an exhibit to indicate how this will be met for each structure. *Exhibit provided. Thank you.*

7) Original Comment: Any dead-end fire apparatus access road in excess of 150' shall be provided with an approved turnaround. Dead end access roads are shown on the proposed plans. Please provide a plan showing the length of all dead-end access roads. An updated auto turn analysis utilizing our truck specifications will also be required showing the ease of maneuverability for all fire access roads and turnarounds. *The private drive between PA-5 and PA-2 exceeds 150'. This was discussed in previous reviews. All buildings within this project will require the design and installation of approved automatic fire sprinkler systems. The multi-family buildings will likely require the installation of standpipes as well. An additional hydrant will likely be required to near the 179' dead end. This will be verified when the utility plans are reviewed.*

Thank you,



*Whitney Even*  
Fire Marshal  
Adams County Fire Rescue  
7980 Elmwood Lane  
Denver, CO 80221  
☎ 303-539-6862  
🌐 [www.acfpd.org](http://www.acfpd.org)



[Want to schedule a time to meet with me without any emails sent back and forth? Go ahead and click HERE!](#)

---

**From:** Jeremy Lott <JLott@Norris-Design.com>

**Sent:** Monday, June 5, 2023 16:55

**To:** Whitney Even <weven@acfpd.org>

**Cc:** Bill Mahar <bmahar@norris-design.com>; Dave Jenkins <djenkins@norris-design.com>

**Subject:** RE: Clear Creek Transit Village ACFPD Submittal Comments

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Whitney – Good Afternoon,

While we are working through our submittal comments, we created the attached exhibits to help address some of the fire specific comments. We wanted to get this additional information in front of you prior to our resubmittal to see if it helps address some of your comments (also attached) or if you had any further questions/comments. We're still happy to hop on a call if that helps – just let me know. Thank you!

**Jeremy Lott, AICP** (he/him/his)

Associate | Planner

**NORRIS DESIGN**

P 303.892.1166 | D 719.423.4732

[CHECK OUT OUR NEW WEBSITE](#)

---

**From:** Jeremy Lott

**Sent:** Tuesday, May 30, 2023 4:28 PM

**To:** Whitney Even <weven@acfpd.org>

**Cc:** Bill Mahar <bmahar@norris-design.com>

**Subject:** Clear Creek Transit Village ACFPD Submittal Comments

Hi Whitney – Good Afternoon,

My name is Jeremy and I'm helping with the submittals and coordination with the Clear Creek Transit Village development project near Federal Blvd and I-76. As we are going through the comments, we'd like to set up a meeting with you so we can make sure we thoroughly address everything. I've attached the ones we received from ACFPD. Do you have any windows of time that would work better for you, either towards the end of this week or next? I'll coordinate to make sure all of the right people join the meeting on our end.

Once you're able to find a few times, I'll send out a meeting invite – we can do a virtual meeting if that's easiest for you. In the meantime, please let me know if you have any questions. Thank you!

Regards,

Jeremy