



**Application Type:**

<input type="checkbox"/> Conceptual Review	<input type="checkbox"/> Preliminary PUD	<input type="checkbox"/> Temporary Use
<input type="checkbox"/> Subdivision, Preliminary	<input type="checkbox"/> Final PUD	<input type="checkbox"/> Variance
<input type="checkbox"/> Subdivision, Final	<input type="checkbox"/> Rezone	<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Plat Correction/ Vacation	<input type="checkbox"/> Special Use	<input type="checkbox"/> Other: _____

**PROJECT NAME:**

**APPLICANT**

Name(s):  Phone #:

Address:

City, State, Zip:

2nd Phone #:  Email:

---

**OWNER**

Name(s):  Phone #:

Address:

City, State, Zip:

2nd Phone #:  Email:

---

**TECHNICAL REPRESENTATIVE (Consultant, Engineer, Surveyor, Architect, etc.)**

Name:  Phone #:

Address:

City, State, Zip:

2nd Phone #:  Email:

---

**DESCRIPTION OF SITE**

Address:

City, State, Zip:

Area (acres or square feet):

Tax Assessor Parcel Number

Existing Zoning:

Existing Land Use:

Proposed Land Use:

Have you attended a Conceptual Review? YES  NO

If Yes, please list PRE#:

I hereby certify that I am making this application as owner of the above described property or acting under the authority of the owner (attached authorization, if not owner). I am familiar with all pertinent requirements, procedures, and fees of the County. I understand that the Application Review Fee is non-refundable. All statements made on this form and additional application materials are true to the best of my knowledge and belief.

Name:

Date:

Owner's Printed Name

Name:

Owner's Signature





**Application Type:**

<input type="checkbox"/> Conceptual Review	<input type="checkbox"/> Preliminary PUD	<input type="checkbox"/> Temporary Use
<input type="checkbox"/> Subdivision, Preliminary	<input type="checkbox"/> Final PUD	<input type="checkbox"/> Variance
<input type="checkbox"/> Subdivision, Final	<input type="checkbox"/> Rezone	<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Plat Correction/ Vacation	<input type="checkbox"/> Special Use	<input type="checkbox"/> Other: _____

**PROJECT NAME:**

**APPLICANT**

Name(s):  Phone #:

Address:

City, State, Zip:

2nd Phone #:  Email:

---

**OWNER**

Name(s):  Phone #:

Address:

City, State, Zip:

2nd Phone #:  Email:

---

**TECHNICAL REPRESENTATIVE (Consultant, Engineer, Surveyor, Architect, etc.)**

Name:  Phone #:

Address:

City, State, Zip:

2nd Phone #:  Email:

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**DESCRIPTION OF SITE**

Address:

City, State, Zip:

Area (acres or square feet):

Tax Assessor Parcel Number

Existing Zoning:

Existing Land Use:

Proposed Land Use:

Have you attended a Conceptual Review? YES  NO

If Yes, please list PRE#:

I hereby certify that I am making this application as owner of the above described property or acting under the authority of the owner (attached authorization, if not owner). I am familiar with all pertinent requirements, procedures, and fees of the County. I understand that the Application Review Fee is non-refundable. All statements made on this form and additional application materials are true to the best of my knowledge and belief.

Name:

Date:

Owner's Printed Name

Name:

Owner's Signature



# TREASURER & PUBLIC TRUSTEE

## ADAMS COUNTY, COLORADO

### Certificate Of Taxes Due

Account Number R0138422

Certificate Number 2023-231631

Parcel 0171936203013

Order Number

Assessed To

Vendor ID

LA LTD  
C/O:ATTN JOHN MOYE ESQ  
1400 16TH ST STE 600  
DENVER, CO 80202-1486

REBECCA R BAILEY AND NICHOLAS RUTHAFORD  
15033 E ARKANSAS DR AURORA CO 80012-4716

**Legal Description**

**Situs Address**

SUB:WELBY TOWN OF 2ND FILING DESC. S 150 FT OF LOT 7 AND 8 N AND W OF CLEAR CREEK AND 9 N AND W OF CLEAR CREEK AND LOT 7 S AND E OF CLEAR CREEK BLK 2 TOG WITH PARC 157/5 FT N/S BY 12 FT E/W IN LOT 11 BEG AT SW COR SD LOT 11 BLK 2 TOG WITH E 57/07 FT OF LOT 9 LYING E OF DT BLK 2 TOG WITH LOT 10 BLK 2 TOWN OF WELBY SECOND FILING TOG WITH BEG 220 FT E OF NW COR SW4 NW4 OF SEC 36 TH CONT E 1098 FT M/L TO NE COR SW4 NW4 SD SEC TH S 329/2 FT M/L TH W 1040 FT M/L TO A PT WHICH IS 278 FT E OF W LN SEC 36 TH N 179/2 FT TH W 58 FT TH N 150 FT TO POB 9/9811A 36/2/68

2351 78TH AVE E 000000000

Year	Tax	Interest	Fees	Payments	Balance
<b>Grand Total Due as of 06/13/2023</b>					<b>\$0.00</b>

ALL TAX SALE AMOUNTS ARE SUBJECT TO CHANGE DUE TO ENDORSEMENT OF CURRENT TAXES BY THE LIENHOLDER OR TO ADVERTISING AND DISTRAINT WARRANT FEES. CHANGES MAY OCCUR; PLEASE CONTACT THE TREASURY PRIOR TO MAKING A PAYMENT AFTER AUGUST 1. TAX LIEN SALE REDEMPTION AMOUNTS MUST BE PAID BY CASH OR CASHIER'S CHECK.

SPECIAL TAXING DISTRICTS AND THE BOUNDARIES OF SUCH DISTRICTS MAY BE ON FILE WITH THE BOARD OF COUNTY COMMISSIONERS, THE COUNTY CLERK, OR, THE COUNTY ASSESSOR.

This certificate does not include land or improvements assessed under a separate account number, personal property taxes, transfer tax, or, miscellaneous tax collected on behalf of other entities, special or local improvement district assessments, or mobile homes, unless specifically mentioned.

I, the undersigned, do hereby certify that the entire amount of taxes due upon the above described parcels of real property and all outstanding lien sales for unpaid taxes as shown by the records in my office from which the same may still be redeemed with the amount required for redemption on this date are as noted herein. In witness whereof, I have hereunto set my hand and seal.

TREASURER & PUBLIC TRUSTEE, ADAMS COUNTY,

Alexander L Villagran

4430 S. Adams County Parkway

Brighton, CO 80601





**TREASURER & PUBLIC TRUSTEE  
ADAMS COUNTY, COLORADO  
Certificate Of Taxes Due**

Account Number R0071111

Certificate Number 2023-231632

Parcel 0171936200001

Order Number

Assessed To

Vendor ID

COSIMI FARMS LP  
C/O: C/O COSIMI ANTHONY  
6728 SEVILLE PL NW  
ALBUQUERQUE, NM 87120

REBECCA R BAILEY AND NICHOLAS RUTHAFORD  
15033 E ARKANSAS DR AURORA CO 80012-4716

**Legal Description**

**Situs Address**

SECT, TWN, RNG: 36-2-68 DESC: BEG AT A PT ON N LN OF SEC 36 WHICH PT IS 491/1 FT W OF WLY ROW LN OF UP RR TH S 0  
03D 35M W 385/7 FT TH S 28D 30M W 304/95 FT TH W 95/37 FT TH N TO N LN OF SEC 36 TH E ALGN LN TO POB EXC ROW  
IN NW COR. 3/627A

Year	Tax	Interest	Fees	Payments	Balance
<b>Tax Charge</b>					
2022	\$117.50	\$0.00	\$0.00	(\$117.50)	\$0.00
<b>Total Tax Charge</b>					\$0.00
<b>Grand Total Due as of 06/13/2023</b>					<b>\$0.00</b>

Tax Billed at 2022 Rates for Tax Area 085 - 085

Authority	Mill Levy	Amount	Values	Actual	Assessed
RANGEVIEW LIBRARY DISTRICT	3.6150000*	\$3.94	AG FLOOD IRRG	\$4,123	\$1,090
ADAMS COUNTY FIRE PROTECTIO	17.5540000	\$19.13	LAND		
ADAMS COUNTY	26.9670000	\$29.40	Total	\$4,123	\$1,090
NORTH WASHINGTON WATER & SA	0.7750000	\$0.84			
SD 1	57.8890000	\$63.10			
URBAN DRAINAGE SOUTH PLATTE	0.1000000	\$0.11			
URBAN DRAINAGE & FLOOD CONT	0.9000000	\$0.98			
Taxes Billed 2022	107.8000000	\$117.50			

\* Credit Levy

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TREASURER & PUBLIC TRUSTEE, ADAMS COUNTY,

Alexander L Villagran



4430 S. Adams County Parkway

Brighton, CO 80601



**TREASURER & PUBLIC TRUSTEE**  
**ADAMS COUNTY, COLORADO**  
**Certificate Of Taxes Due**

Account Number R0071145  
 Parcel 0171936204004  
 Assessed To  
 COSIMI FARMS LP  
 C/O: C/O COSIMI ANTHONY  
 6728 SEVILLE PL NW  
 ALBUQUERQUE, NM 87120

Certificate Number 2023-231633  
 Order Number  
 Vendor ID  
 REBECCA R BAILEY AND NICHOLAS RUTHAFORD  
 15033 E ARKANSAS DR AURORA CO 80012-4716

Legal Description	Situs Address				
SUB: WELBY TOWN OF 2ND FILING DESC: LOTS 1 TO 7 BLK 3 LOTS 1 TO 15 BLK 4 LOTS 1 TO 15 BLK 5 AND LOTS 1 TO 14 BLK 6					
Year	Tax	Interest	Fees	Payments	Balance
<b>Tax Charge</b>					
2022	\$113.20	\$0.00	\$0.00	(\$113.20)	\$0.00
Total Tax Charge					\$0.00
<b>Grand Total Due as of 06/13/2023</b>					<b>\$0.00</b>

Tax Billed at 2022 Rates for Tax Area 085 - 085

Authority	Mill Levy	Amount	Values	Actual	Assessed
RANGEVIEW LIBRARY DISTRICT	3.6150000*	\$3.80	AG FLOOD IRRG	\$3,978	\$1,050
ADAMS COUNTY FIRE PROTECTIO	17.5540000	\$18.43	LAND		
ADAMS COUNTY	26.9670000	\$28.31	Total	\$3,978	\$1,050
NORTH WASHINGTON WATER & SA	0.7750000	\$0.81			
SD 1	57.8890000	\$60.79			
URBAN DRAINAGE SOUTH PLATTE	0.1000000	\$0.11			
URBAN DRAINAGE & FLOOD CONT	0.9000000	\$0.95			
Taxes Billed 2022	107.8000000	\$113.20			
* Credit Levy					

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TREASURER & PUBLIC TRUSTEE, ADAMS COUNTY,

Alexander L Villagran

4430 S. Adams County Parkway  
 Brighton, CO 80601



# TREASURER & PUBLIC TRUSTEE

## ADAMS COUNTY, COLORADO

### Certificate Of Taxes Due

Account Number R0071128

Certificate Number 2023-231634

Parcel 0171936200025

Order Number

Assessed To

Vendor ID

COSIMI FARMS LP  
C/O: C/O COSIMI ANTHONY  
6728 SEVILLE PL NW  
ALBUQUERQUE, NM 87120

REBECCA R BAILEY AND NICHOLAS RUTHAFORD  
15033 E ARKANSAS DR AURORA CO 80012-4716

**Legal Description**

**Situs Address**

SECT, TWN, RNG: 36-2-68 DESC: ROW IN NW COR OF E 26A NE4 NW4 TOG WITH ROW IN W 14A NE4 NW4 ALSO TOG WITH 0  
ROW EXT BEG BURNETTE ST ON S AND CLINE ST ON N AND INC TRIANG PIECE OF LAND LYING BEG D L AND N W  
ROW AND BLK 5 WELBY 2ND IN NW4 NW4 3/7773A

Year	Tax	Interest	Fees	Payments	Balance
<b>Tax Charge</b>					
2022	\$132.60	\$0.00	\$0.00	(\$132.60)	\$0.00
<b>Total Tax Charge</b>					<b>\$0.00</b>
<b>Grand Total Due as of 06/13/2023</b>					<b>\$0.00</b>

Tax Billed at 2022 Rates for Tax Area 085 - 085

Authority	Mill Levy	Amount	Values	Actual	Assessed
RANGEVIEW LIBRARY DISTRICT	3.6150000*	\$4.45	AG FLOOD IRRG	\$4,652	\$1,230
ADAMS COUNTY FIRE PROTECTIO	17.5540000	\$21.59	LAND		
ADAMS COUNTY	26.9670000	\$33.18	Total	\$4,652	\$1,230
NORTH WASHINGTON WATER & SA	0.7750000	\$0.95			
SD 1	57.8890000	\$71.20			
URBAN DRAINAGE SOUTH PLATTE	0.1000000	\$0.12			
URBAN DRAINAGE & FLOOD CONT	0.9000000	\$1.11			
Taxes Billed 2022	107.8000000	\$132.60			

\* Credit Levy

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TREASURER & PUBLIC TRUSTEE, ADAMS COUNTY,

Alexander L Villagran

4430 S. Adams County Parkway

Brighton, CO 80601





**TREASURER & PUBLIC TRUSTEE  
ADAMS COUNTY, COLORADO  
Certificate Of Taxes Due**

Account Number R0071132

Parcel 0171936201005

Assessed To

COSIMI FARMS LP  
C/O: C/O COSIMI ANTHONY  
6728 SEVILLE PLACE NW  
ALBUQUERQUE, NM 87120

Certificate Number 2023-231635

Order Number

Vendor ID

REBECCA R BAILEY AND NICHOLAS RUTHAFORD  
15033 E ARKANSAS DR AURORA CO 80012-4716

Legal Description

Situs Address

SUB:WELBY TOWN OF 2ND FILING BLK:1 DESC: PLOTS 22 AND 23

0

Year	Tax	Interest	Fees	Payments	Balance
<b>Tax Charge</b>					
2022	\$51.74	\$0.00	\$0.00	(\$51.74)	\$0.00
Total Tax Charge					\$0.00
<b>Grand Total Due as of 06/13/2023</b>					<b>\$0.00</b>

Tax Billed at 2022 Rates for Tax Area 085 - 085

Authority	Mill Levy	Amount	Values	Actual	Assessed
RANGEVIEW LIBRARY DISTRICT	3.615000*	\$1.74	AG FLOOD IRRG	\$1,825	\$480
ADAMS COUNTY FIRE PROTECTIO	17.5540000	\$8.43	LAND		
ADAMS COUNTY	26.9670000	\$12.94	Total	\$1,825	\$480
NORTH WASHINGTON WATER & SA	0.7750000	\$0.37			
SD 1	57.8890000	\$27.78			
URBAN DRAINAGE SOUTH PLATTE	0.1000000	\$0.05			
URBAN DRAINAGE & FLOOD CONT	0.9000000	\$0.43			
Taxes Billed 2022	107.8000000	\$51.74			

\* Credit Levy

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TREASURER & PUBLIC TRUSTEE, ADAMS COUNTY,

Alexander L Villagran

4430 S. Adams County Parkway

Brighton, CO 80601



CERTIFICATION OF NOTICE TO MINERAL ESTATE OWNERS

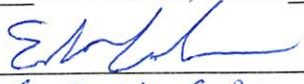
I/We, Erik N. Carlson, Foster Graham Milstein & Calisher, LLP  
(the "Applicant") by signing below, hereby declare and certify as follows:

With respect to the property located at:  
Physical Address: 2401 East 78th Avenue, Denver, CO 80229  
Legal Description: See title commitment in project files.

Parcel #(s): #0171936203012; #0171936200025; #0171936204004; #0171936201005;  
#0171936200001

(PLEASE CHECK ONE):

         On the          day of         , 20    , which is not less than thirty days before the initial public hearing, notice of application for surface development was provided to mineral estate owners pursuant to section 24-65.5-103 of the Colorado Revised Statutes;  
         or  
  X   I/We have searched the records of the Adams County Tax Assessor and the Adams County Clerk and Recorder for the above identified parcel and have found that no mineral estate owner is identified therein.

Date: 6.9.2023 Applicant: Erik Carlson, FGMC  
By:   
Print Name: Erik N. Carlson  
Address: 360 S Garfield Street, Suite 600  
Denver, CO 80209

STATE OF COLORADO )  
                                  )  
COUNTY OF ADAMS )

Subscribed and sworn to before me this 9<sup>th</sup> day of June, 2023, by  
Erik N. Carlson

Witness my hand and official seal.

My Commission expires: 11/29/2026

  
Notary Public

SARAH ELIZABETH VAN HORN  
Notary Public  
State of Colorado  
Notary ID # 20184045897  
My Commission Expires 11/29/2026

After Recording Return To:

Name and Address of Person Preparing Legal Description:

**A recorded copy of this Certification shall be submitted to the Adams County Community and Economic Development Department with all applicable land use applications.**





## **SUBDIVISION-MAJOR / FINAL**

**Application submittals must include all documents on this checklist as well as this page. Please use the reference guide (pg. 3) included in this packet for more information on each submittal item.**

**All applications shall be submitted electronically to [epermitcenter@adcogov.org](mailto:epermitcenter@adcogov.org). If the submittal is too large to email as an attachment, the application may be sent as an unlocked OneDrive link. Alternatively, the application may be delivered on a flash drive to the One-Stop Customer Service Center. All documents should be combined in a single PDF. Once a complete application has been received, fees will be invoiced and payable online at <https://permits.adcogov.org/CitizenAccess/>.**

1. Development Application Form (pg. 5)
  2. Application Fees (pg. 2)
  3. Written Explanation of the Project
  4. Site Plan Showing Proposed Development
  5. Copy of Plat prepared by Registered Land Surveyor (pg. 7)
  6. Subdivision Improvement Agreement (SIA) (TO BE PROVIDED IN FUTURE A SUBMITTAL AFTER THE SIA PROCESS HAS BEEN KICK-OFF WITH THE COUNTY)
  7. School Impact Analysis (contact applicable District)
  8. Fire Protection Report (required prior to Public Hearing)
  9. Proof of Ownership
  10. Proof of Water and Sewer Services
  11. Proof of Utilities
  12. Legal Description
  13. Statement of Taxes Paid
  14. Certificate of Notice to Mineral Estate Owners/and Lessees (pg. 12)
  15. Certificate of Surface Development (pg. 13)
  16. Subdivision Engineering Review application (separate [application](#))<sup>1</sup>
- continued on next page...*



<b>Application Fees</b>	<b>Amount</b>	<b>Due</b>
Major Subdivision (final plat)	\$1,600	After complete application received
Adams County Health Department	\$150 (central utilities - Level 1), \$210 (individual septic system - Level 2)	After 1st Staff Review is Completed
Soil Conservation	\$100 (less than 5 lots) \$150 (more than 5 lots)	Due at preliminary plat
Colorado Geological Survey	\$600 (1-3 dwellings and less than 100 ac) \$900 (< 3 dwellings and less than 100 ac) \$1,550 (between 100 and 500 acres) \$2,500 (500 acres or more)	Due at preliminary plat
Engineering Review	\$1,000 (less than 5 acres) \$2,500 (5-25 acres) \$7,500 (greater than 25 acres)	Separate application <sup>1</sup>
Copying	\$5 per page	Prior to public hearing
Recording *made payable to Clerk and Recorder	\$13 first page, \$10 each additional page	Prior to public hearing
Public Land Dedication	Determined during staff review of project	Prior to public hearing

<sup>1</sup> - A new engineering review will not be required if one is already in progress for the proposed project. This review/fee is due at Preliminary Plat and should not impose another review fee.

NOTE: A subdivision engineering review may not be required if the project is determined not to require public improvements

Adams County Community & Economic Development Regulation 2-02-19-04-03

**WHO CAN INITIATE A FINAL PLAT**

A final plat may be proposed by, without limitation, the owner(s) of, or person having an interest in the property to be subdivided. A final plat may only be submitted if a preliminary plat for the subject property has been approved. The final plat shall conform to the preliminary plat.

# Major Subdivision (Final Plat) - Guide to Development Application Submittal

The submittal documents for all Land Use/Development Applications are listed below. Detailed explanations of the submittal documents are also provided.

All development application submittals shall comprise of one (1) electronic copy (USB) and one (1) hard copy of each document. **Application submittals that do not conform to these guidelines shall not be accepted.**

---

### 3. Written Explanation of the Project:

- A clear and concise, yet thorough, description of the proposal. Please include, if applicable, timeframe, purpose of project, and improvements that will be made to the site

### 4. Site Plan Showing Proposed Development:

- A detailed drawing of existing and proposed improvements
- Including:
  - Streets, roads, and intersections
  - Driveways, access points, and parking areas
  - Existing and proposed structures, wells, and septic systems,
  - Easements, utility lines, and no build or hazardous areas
  - Scale, north arrow, and date of preparation
- An Improvement Location Certificate or Survey may be required during the official review

### 5. Copy of Plat Prepared by Registered Land Surveyor

- A map or maps together with supporting documentation of certain described land providing permanent and accurate record of the legal description, dedications, exact size, shape, and location of lots, blocks, streets, easements, and parcels

### 6. Subdivision Improvements Agreement:

- This agreement addresses the manner, timing, and responsibility of completion of all required public improvements (i.e. curb, gutter, and sidewalk)
- Shall include the Word version of the Subdivision Improvements Agreement, all exhibits, and a collateral estimate

### 7. School Impact Analysis:

- Contact the applicable school district for the analysis
- Should include the increase in elementary, middle, and high school students and the existing school sites and structure of the applicable district in which the subdivision is proposed to be located

### 8. Fire Protection Report:

- Shall discuss the adequacy of protection within the propose subdivision and be approved by the appropriate fire district

### 9. Proof of Ownership:

- A deed may be found in the Office of the Clerk and Recorder
- A title commitment is prepared by a professional title company

### 10. Proof of Water:

- Public utilities - A written statement from the appropriate water district indicating that they will provide service to the property **OR** a copy of a current bill from the service provider
- Private utilities - Well permit(s) information can be obtained from the Colorado State Division of Water Resources at (303) 866-3587

### Proof of Sewer:

- Public utilities - A written statement from the appropriate sanitation district indicating that they will provide service to the property **OR** a copy of a current bill from the service provider
- Private utilities - A written statement from Adams County Health indicating the viability of obtaining Onsite Wastewater Treatment Systems

### **11. Proof of Utilities (Gas, Electric, etc):**

- A written statement from the appropriate utility provider indicating that they will provide service to the property
- Copy of a current bill from the service provider

### **12. Legal Description:**

- Geographical description used to locate and identify a property
- Visit <http://gisapp.adcogov.org/quicksearch/> to find the legal description for your property

### **13. Statement of Taxes Paid:**

- All taxes on the subject property must be paid in full. Please contact the Adams County Treasurer's Office
- Or <https://adcotax.com/treasurer/web/>

### **14-15. Certificate of Notice to Mineral Estate Owners/ Certificate of Surface Development:**

- The State of Colorado requires notification to mineral rights owners of applications for surface development (i.e. zoning, plats, etc.)
- Mineral or Surface right owners may be found in the title commitment for the subject property
- You may also search the Office of the Clerk and Recorder for any recorded deeds, easements, or other documents.

### **Subdivision Engineering Review**

#### **Level 1-Storm Drainage Plan:**

- A level 1 Storm Drainage Plan is a preliminary design plan showing existing and proposed site drainage features or improvements and, is intended to show how the storm drainage will be mitigated.
- See Appendix B of the Development Standards for a plan preparation checklist

#### **Level 2-Storm Drainage Study (SDS):**

- A level 2 SDS is a preliminary design report that describes the existing and proposed drainage features and, includes a hydrologic analysis of the proposed site. A Level 2 SDS also includes a drainage plan.
- See Appendix B of the Development Standards for a plan preparation checklist

#### **Level 3-Storm Drainage Study (SDS):**

- A level 3 SDS is a preliminary design report that describes the existing and proposed drainage features, includes a hydrologic analysis of the proposed site and hydraulic analysis of all proposed drainage mitigation measures. A Level 3 SDS also includes a drainage plan and construction plans for all drainage mitigation features.
- See Appendix B of the Development Standards for a plan preparation checklist

#### **Traffic Impact Study:**

- Intended to forecast and mitigate the transportation and traffic impacts of a proposed land use development or redevelopment project
- See Chapter 8 of the Adams County Development Standards for requirements

#### **Erosion and Sediment Control Plans:**

- Erosion and Sediment Control (ESC) plans are construction plans showing the proposed Best Management Practices, or BMP's, that will be used to mitigate erosion and the transport of sediment from a site under construction.
- ESC plans are often done in three (3) phases: Initial, Interim and, Final.
- These plans must also include installation details for each of the BMP's.

#### **Construction / Engineering Design Plans:**

- A set of maps and/or drawings showing how a proposed development is to be constructed.
- The plans must include:
  - site maps of the existing conditions and proposed improvements,
  - installation/construction details for all proposed improvements,
  - survey control (horizontal and vertical) for locating the improvements and,
  - all necessary specification for the products to be used.
- Construction plans are often broken out for specific improvements; for example: site plan, grading plan, waterline improvement plans, roadways improvements plans, etc.



## Major Subdivision Final Plat Requirements

1. **Subdivision Name, Subtitle:** Name of subdivision at the top of the sheet, followed by a subtitle identifying the section, township and range information along with County and State.
2. **Property Description:** An accurate and clear property (legal) description of the overall boundary of the subdivision with the acreage of the subdivision. All courses in the property (legal) description shall be shown and labeled on the plat drawing, with all bearings having the same direction as called out in the legal description. The only exception being where more than one description is required, going a different direction over the same course. The direction shall then hold for the description having more weight (i.e., the overall boundary) for purposes of the plat. If both record and "as-measured" dimensions are being used, show both and clearly label on the plat drawing. Point of commencement and/or point of beginning shall be clearly labeled on the plat drawing.
3. **Ownership Certificate:**
  - a. Know all men by these presents that (owner name(s)), being the sole owner of the following described tract of land:
  - b. Legal Description
  - c. Have (Has) by these presents laid out, platted and subdivided the same into lots, streets and easements as shown on this plat under the name and style of (subdivision name).
4. **Dedication Statements:** Statements of land to be dedicated to the County for parks or other public uses, grants of easements and dedication of public streets to the Adams County are required.
  - a. All plats with public streets shall have the following sentence in the dedication statement: *All public streets are hereby dedicated to Adams County for public use.*
  - b. All plats with public easements and/or tracts must have the following sentence in the dedication statement: *The undersigned does hereby dedicate, grant and convey to Adams County those Public Easements (and tracts) as shown on the plat; and further restricts the use of all Public Easement to Adams County and/or its assigns, provided however, that the sole right and authority to release or quitclaim all or any such Public Easements shall remain exclusively vested in Adams County.*
  - c. All plats with private streets shall have the following sentence in the dedication statement: *All private streets (insert names) are privately owned and maintained by (list owner name, Owner's Association, etc.).*
  - d. All plats with other tracts being dedicated to the County shall have:



- i. A sentence in the dedication statement similar to "Tract X is hereby dedicated to Adams County for public use".
  - ii. A special numbered plat note defining the purpose and perpetual maintenance responsibility for the tract such as "Tract X is for public drainage, landscaping, trail and open space with maintenance of the surface being vested in the (District Name) Special Maintenance District".
5. **Surveyor's Statement:** Statement by a registered land surveyor, professionally licensed by the State of Colorado, to the effect that the layout represents a survey made by him and that the monuments thereon actually exist as located and that all dimensional and other details are correct.
6. **Access Provisions:**
  - a. **Statement Restricting Access:** A statement restricting access rights across the right-of-way lines of major highways, parkways, streets or freeways, where required as a provision of approval.
7. **Easement Statement:**
  - a. Six-foot (6') wide utility easements are hereby dedicated on private property adjacent to the front lot lines of each lot in the subdivision. In addition, eight-foot (8') wide dry utility easements are hereby dedicated around the perimeter of tracts, parcels and/or open space areas. These easements are dedicated to Adams County for the benefit of the applicable utility providers for the installation, maintenance, and replacement of utilities. Utility easements shall also be granted within any access easements and private streets in the subdivision. Permanent structures, improvements, objects, buildings, wells, water meters and other objects that may interfere with the utility facilities or use thereof (Interfering Objects) shall not be permitted within said utility easements and the utility providers, as grantees, may remove any Interfering Objects at no cost to such grantees, including, without limitation, vegetation.
8. **Storm Drainage Facilities Statement:**
  - a. The policy of the County requires that maintenance access shall be provided to all storm drainage facilities to assure continuous operational capability of the system. The property owners shall be responsible for the maintenance of all drainage facilities including inlets, pipes, culverts, channels, ditches, hydraulic structures, and detention basins located on their land unless modified by the subdivision development agreement. Should the owner fail to maintain said facilities, the County shall have the right to enter said land for the sole purpose of operations and maintenance. All such maintenance cost will be assessed to the property owners.





## 9. Layout:

- a. **Boundary Lines:** The subdivision boundary will be clearly distinguishable from other map lines by use of a distinct line type and/or thickness. All lines will be labeled with a complete bearing and distance, and all curves will be labeled with a central angle (delta), radius and arc length. Radial bearings and/or chord bearings will be provided for all nontangent curves. All dimensions to be determined by accurate field survey which must balance and close within limit of one in five thousand (5,000). Show adjacent and/or intersecting plat/deed lines and label appropriately to include recording information (book and page and/or reception number).
- b. **Streets:** All street rights of way defined by the plat will be clearly distinguishable from other map lines by use of a distinct line type and/or thickness. All lines will be labeled with a complete bearing and distance, and all curves will be labeled with a central angle (delta), radius and arc length. Radial bearings and/or chord bearings will be provided for all nontangent curves. Widths shall be labeled from each right-of-way line normal to the corresponding street center line. All street center lines defined by the plat will be clearly distinguishable from other map lines by use of distinct line type and/or thickness. All lines will be labeled with a complete bearing and distance and all curves will be labeled with a central angle (delta), radius and arc length. Radial bearings and/or chord bearings will be provided for all nontangent curves. The plat shall show the right-of-way lines, widths, locations and street names of all existing and proposed public or private streets:
  - i. Within the proposed subdivision, and
  - ii. Immediately abutting the proposed subdivision, and
  - iii. Any private street shall include the designation "(Private)" immediately following street name; any other private right of way that is not named shall include the designation "(Private)" in a manner that clearly conveys such a status.
- c. **Easements:** All easements as required by Adams County and other public and quasi-public agencies. Said easements shall be clearly labeled to include width, use and identification as public or private, if necessary. Tie to property lines and annotate with bearings and distances as necessary. Clearly show and label all existing easements, to include width and recording information, that cross, abut or are located within the subdivision boundary.
- d. **Lots and Blocks:** All lines of lots, blocks and other parcels of land defined by the plat will be clearly distinguishable from other map lines by use of a distinct line type and/or thickness. All lines will be labeled with a complete bearing and distance and all curves will be labeled with a radius and arc length. Lots must close to one in five thousand (5,000).
- e. **Readability:** All line annotation and all other text will be easily and clearly readable. No text shall overwrite other text or be overwritten by map lines.
- f. **Leader Lines:** Use leader lines whenever a dimension is not clearly and unmistakably associated with a given line, line segment or arc.



- g. **Multiple Sheets:** Whenever a plat drawing spans multiple sheets, clear and well labeled match lines and a key map shall be included on each sheet. Labels will be of the nature "See Sheet of ". Duplicate street names, widths, lot numbers, tract names, easement labeling or any such labeling when any feature is shown on multiple sheets.
  - h. **Identification System:** All lots and blocks in the subdivision shall be numbered, beginning with the numeral "1" and continuing consecutively throughout the tract, with no omissions or duplications. All tracts shall be likewise labeled beginning with the letter "A". Lots and tracts shall be labeled with the area of the lot or tract.
  - i. **Legend:** Provide a legend which designates all lines and symbols except where called out on plat drawing.
  - j. **Inundation Mark:** The plat shall clearly show the 100-year floodplain line. Reference the appropriate FEMA panel by which the location of this line has been determined.
10. **Easements:** Book and page and/or reception number for all existing and newly created easements.
11. **Adjacent Subdivision:** Names of adjacent platted areas along with the reception and/or plat book and page number shall be shown. If unplatted, so indicate. Existing street rights of way that intersect the subdivision boundary or are adjacent to said boundary lines shall be clearly labeled with the street name, right of way width and appropriate deed or plat recording information wherein the right of way is defined. Show and label all existing lots and blocks that are immediately adjacent to the subdivision boundary.
12. **Basis of Bearings:** A clearly defined basis of bearings shall be provided, both verbally and graphically. All monumentation defining said line shall be shown and labeled on the plat drawing. When said line is not common with the subdivision boundary, it shall be accurately tied to the boundary with bearings and distances.
13. **Monuments:** All monuments used to determine and/or describe a boundary (including basis of bearings, point of beginning and point of commencement) shall be shown and clearly labeled on the plat drawing. Monuments for corners defined by the plat, or otherwise found to be missing in the field, shall be placed and set in accord with the requirements of the State of Colorado.
14. **Not A Part Of Subdivision:** All areas enclosed within the subdivision boundary which do not constitute a part of the subdivision shall be labeled "Not a part of this subdivision". All lines pertaining to such areas shall be dashed.
15. **Square Footage:** The area in square feet of all lot and tracts sought to be platted.





**16. Operation and Maintenance Manual reference:**

REFER TO THE OPERATION AND MAINTENANCE MANUEL RECORDED  
\_\_\_\_\_ AT RECEPTION NO. \_\_\_\_\_ FOR  
ADDITIONAL DRAINAGE GUIDELINES.

**17. All other information required by State law.**

CERTIFICATION OF NOTICE TO MINERAL ESTATE OWNERS

I/We, \_\_\_\_\_  
(the "Applicant") by signing below, hereby declare and certify as follows:

With respect to the property located at:

Physical Address: \_\_\_\_\_

Legal Description: \_\_\_\_\_

Parcel #(s): \_\_\_\_\_

(PLEASE CHECK ONE):

\_\_\_\_\_ On the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, which is not less than thirty days before the initial public hearing, notice of application for surface development was provided to mineral estate owners pursuant to section 24-65.5-103 of the Colorado Revised Statutes;

or

\_\_\_\_\_ I/We have searched the records of the Adams County Tax Assessor and the Adams County Clerk and Recorder for the above identified parcel and have found that no mineral estate owner is identified therein.

Date: \_\_\_\_\_ Applicant: \_\_\_\_\_

By: \_\_\_\_\_

Print Name: \_\_\_\_\_

Address: \_\_\_\_\_

STATE OF COLORADO )

)

COUNTY OF ADAMS )

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by  
\_\_\_\_\_.

Witness my hand and official seal.

My Commission expires: \_\_\_\_\_

Notary Public

*After Recording Return To:*

*Name and Address of Person Preparing Legal Description:*

**A recorded copy of this Certification shall be submitted to the Adams County Community and Economic Development Department with all applicable land use applications.**

APPLICANT'S CERTIFICATION CONCERNING QUALIFYING SURFACE DEVELOPMENT,  
PURSUANT TO C.R.S. §24-65.5-103.3 (1)(b)

I/We, \_\_\_\_\_  
\_\_\_\_\_, (the "Applicant") by signing below, hereby declare and certify as follows:

Concerning the property located at:

Physical Address: \_\_\_\_\_

Legal Description: \_\_\_\_\_

Parcel #(s): \_\_\_\_\_

With respect to qualifying surface developments, that (PLEASE CHECK ONE):

\_\_\_\_\_ No mineral estate owner has entered an appearance or filed an objection to the proposed application for development within thirty days after the initial public hearing on the application; or

\_\_\_\_\_ The Applicant and any mineral estate owners who have filed an objection to the proposed application for development or have otherwise filed an entry of appearance in the initial public hearing regarding such application no later than thirty days following the initial public hearing on the application have executed a surface use agreement related to the property included in the application for development, the provisions of which have been incorporated into the application for development or are evidenced by a memorandum or otherwise recorded in the records of the clerk and recorder of the county in which the property is located so as to provide notice to transferees of the Applicant, who shall be bound by such surface use agreements; or

\_\_\_\_\_ The application for development provides:

- (i) Access to mineral operations, surface facilities, flowlines, and pipelines in support of such operations existing when the final public hearing on the application for development is held by means of public roads sufficient to withstand trucks and drilling equipment or thirty-foot-wide access easements;
- (ii) An oil and gas operations area and existing well site locations in accordance with section 24-65.5-103.5 of the Colorado Revised Statutes; and
- (iii) That the deposit for incremental drilling costs described in section 24-65.5-103.7 of the Colorado Revised Statutes has been made.

Date: \_\_\_\_\_ Applicant: \_\_\_\_\_

*After Recording Return To:*

By: \_\_\_\_\_  
Print Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
\_\_\_\_\_

STATE OF COLORADO    )  
                                          )  
COUNTY OF ADAMS    )

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by  
\_\_\_\_\_.

Witness my hand and official seal.

My Commission expires: \_\_\_\_\_  
Notary Public

*Name and Address of Person Preparing Legal Description:*

**A recorded copy of this Certification shall be submitted to the Adams County Community and Economic Development Department within thirty days after the initial public hearing on all applicable land use applications.**





**PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN**

**Application submittals must include all documents on this checklist as well as this page. Please use the reference guide (pg. 2) included in this packet for more information on each submittal item.**

**All applications shall be submitted electronically to [epermitcenter@adcogov.org](mailto:epermitcenter@adcogov.org). If the submittal is too large to email as an attachment, the application may be sent as an unlocked OneDrive link. Alternatively, the application may be delivered on a flash drive to the One-Stop Customer Service Center. All documents should be combined in a single PDF. Once a complete application has been received, fees will be invoiced and payable online at <https://permits.adcogov.org/CitizenAccess/>.**

1. Development Application Form (pg. 4)
2. Application Fees (see table)
3. Written Explanation of the Project
4. Site Plan Showing Proposed Development
5. Copy of Final Development Plan
6. Application for Final Plat, including:
  - All Applicable Engineering Documents
7. Proof of Ownership (warranty deed or title policy)
8. Proof of Water and Sewer Services
9. Proof of Utilities (e.g. electric, gas)
10. Legal Description
11. Certificate of Taxes Paid

<b>Applications Fees</b>	<b>Amount</b>	<b>Due</b>
Final Development Plan	\$2,200	After complete application received
Application for Final Plat	See Associated Application Fees	After complete application received
Copying	\$5 per page	Prior to Final Public Hearing
Recording	\$13 (first page); \$10 (ea. additional)	Prior to Final Public Hearing

# Planned Unit Development – Final Development Plan Guide to Development Application Submittal

All development application submittals shall comprise of one (1) electronic copy (emailed or delivered on a USB). **Application submittals that do not conform to these guidelines shall not be accepted.**

---

### 3. Written Explanation of the Project:

- A clear and concise, yet thorough, description of the proposal. Please include, if applicable, timeframe, purpose of project, and improvements that will be made to the site

### 4. Site Plan Showing Proposed Development:

- A detailed drawing of existing and proposed improvements
- Including:
  - Streets, roads, and intersections
  - Driveways, access points, and parking areas
  - Existing and proposed structures, wells, and septic systems,
  - Easements, utility lines, and no build or hazardous areas
  - Scale, north arrow, and date of preparation
- An Improvement Location Certificate or Survey may be required during the official review

### 5. Copy of Final Development Plan:

- Site specific development plan, which describes and establishes the type and intensity of uses for a specific parcel or parcels of land.
- Includes a final subdivision plat, development agreement, and utility plan, as well as any detailed engineering that may be required.

### 6. Application for Final Plat:

- The final map and engineering documents of all or a portion of a subdivision, which is presented for final approval.
- Plat requirements are included in the application packet.

### 7. Proof of Ownership:

- A deed may be found in the Office of the Clerk and Recorder
- A title commitment is prepared by a professional title company

### 8. Proof of Water:

- Public utilities-A written statement from the appropriate water district indicating that they will provide service to the property **OR** a copy of a current bill from the service provider
- Private utilities- Well permit(s) information can be obtained from the Colorado State Division of Water Resources at (303) 866-3587

### 8. Proof of Sewer:

- Public utilities-A written statement from the appropriate sanitation district indicating that they will provide service to the property **OR** a copy of a current bill from the service provider
- Private utilities-A written statement from Tri-County Health indicating the viability of obtaining Onsite Wastewater Treatment Systems

### 9. Proof of Utilities (Gas, Electric, etc):

- A written statement from the appropriate utility provider indicating that they will provide service to the property
- Copy of a current bill from the service provider

### 10. Legal Description:

- Geographical description used to locate and identify a property
- Visit <http://gisapp.adcogov.org/quicksearch/> to find the legal description for your property

### 11. Certificate of Taxes Paid:

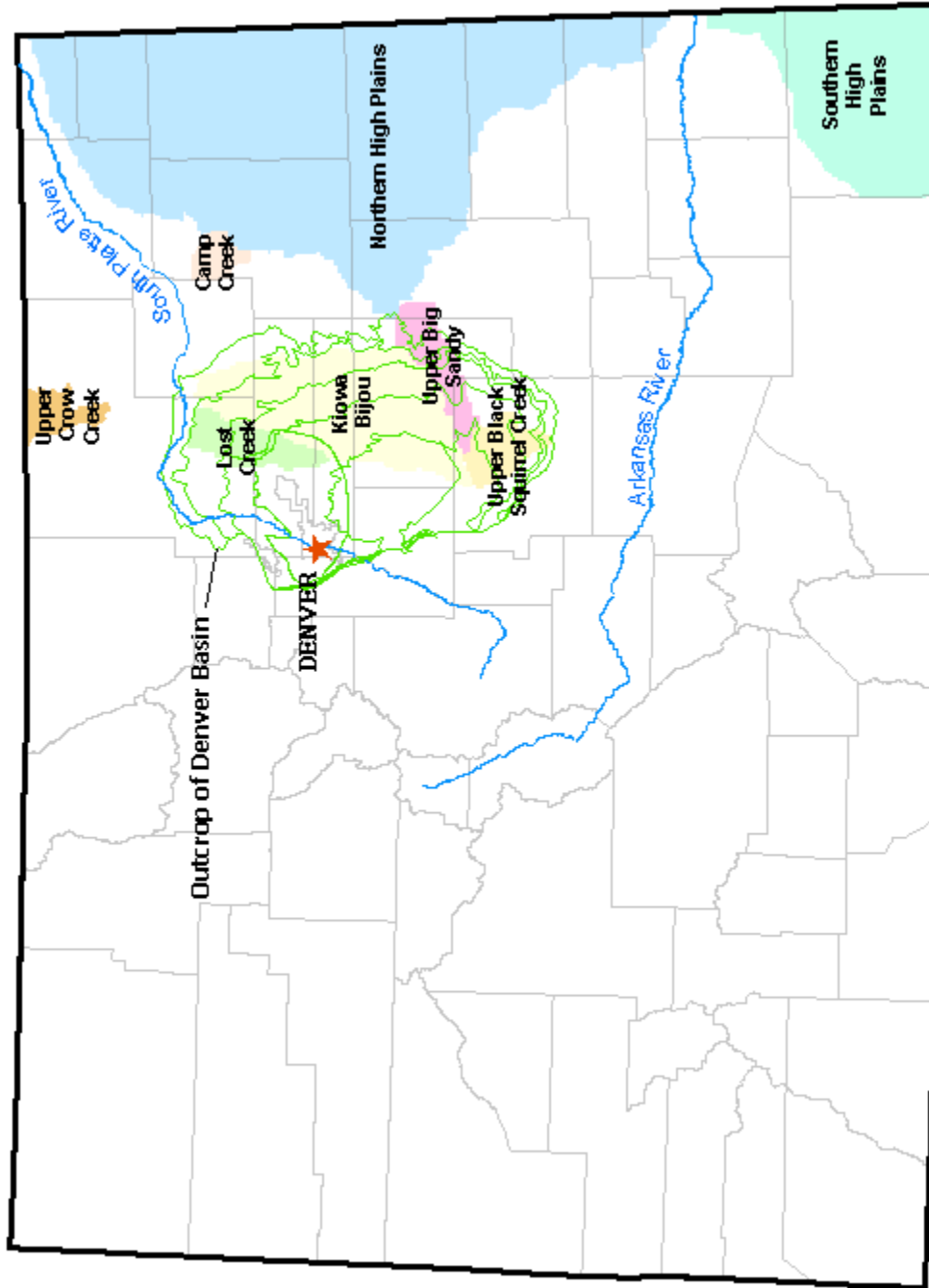
- All taxes on the subject property must be paid in full. Please contact the Adams County Treasurer's Office
- Or <http://adcogov.org/index.aspx?NID=812>

**Attachment C**

FORM NO. GWS-76 02/2005	<b>WATER SUPPLY INFORMATION SUMMARY</b> STATE OF COLORADO, OFFICE OF THE STATE ENGINEER 1313 Sherman St., Room 818, Denver, CO 80203 Phone – Info (303) 866-3587 Main (303) 866-3581 Fax (303) 866-3589 <a href="http://www.water.state.co.us">http://www.water.state.co.us</a>		
Section 30-28-133.(d), C.R.S. requires that the applicant submit to the County, "Adequate evidence that a water supply that is sufficient in terms of quantity, quality, and dependability will be available to ensure an adequate supply of water."			
1. NAME OF DEVELOPMENT AS PROPOSED: <b>Cosimi Farms</b>			
2. LAND USE ACTION: <b>Residential Development</b>			
3. NAME OF EXISTING PARCEL AS RECORDED: SUBDIVISION: <b>Welby Town</b> , FILING (UNIT) <b>2</b> , BLOCK, LOT			
4. TOTAL ACREAGE: <b>26.55</b>		5. NUMBER OF LOTS PROPOSED <b>265</b> PLAT MAP ENCLOSED? <input checked="" type="checkbox"/> YES or <input type="checkbox"/> NO	
6. PARCEL HISTORY – Please attach copies of deeds, plats, or other evidence or documentation. A. Was parcel recorded with county prior to June 1, 1972? <input checked="" type="checkbox"/> YES or <input type="checkbox"/> NO B. Has the parcel ever been part of a division of land action since June 1, 1972? <input type="checkbox"/> YES or <input checked="" type="checkbox"/> NO If yes, describe the previous action:			
7. LOCATION OF PARCEL – Include a map delineating the project area and tie to a section corner. <b>NW,NE</b> 1/4 of the <b>NW</b> 1/4, Section <b>36</b> , Township <b>2</b> <input type="checkbox"/> N or <input checked="" type="checkbox"/> S, Range <b>68</b> <input type="checkbox"/> E or <input type="checkbox"/> W Principal Meridian: <input type="checkbox"/> Sixth <input type="checkbox"/> New Mexico <input type="checkbox"/> Ute <input type="checkbox"/> Costilla <b>Optional GPS Location:</b> GPS Unit must use the following settings: Format must be <b>UTM</b> , Units must be <b>meters</b> , Datum must be <b>NAD83</b> , Unit must be set to <b>true N</b> , <input type="checkbox"/> Zone 12 or <input type="checkbox"/> Zone 13 Easting: _____ Northing: _____			
8. PLAT – Location of all wells on property must be plotted and permit numbers provided. Surveyor's Plat: <input type="checkbox"/> YES or <input checked="" type="checkbox"/> NO If not, scaled hand drawn sketch: <input type="checkbox"/> YES or <input checked="" type="checkbox"/> NO			
9. ESTIMATED WATER REQUIREMENTS		10. WATER SUPPLY SOURCE	
USE	WATER REQUIREMENTS		<input type="checkbox"/> EXISTING WELL <input type="checkbox"/> DEVELOPED SPRING WELL PERMIT NUMBERS _____ _____ _____ <input type="checkbox"/> MUNICIPAL <input type="checkbox"/> ASSOCIATION <input type="checkbox"/> COMPANY <input checked="" type="checkbox"/> DISTRICT NAME <u>North Washington Street W&amp;S</u> LETTER OF COMMITMENT FOR SERVICE <input checked="" type="checkbox"/> YES or <input type="checkbox"/> NO
HOUSEHOLD USE # <u>265</u> of units COMMERCIAL USE # <u>21,000</u> of S. F IRRIGATION # <u>8.7</u> of acres STOCK WATERING # _____ of head OTHER: _____ TOTAL	Gallons per Day <u>74,200</u> <u>1,170</u> <u>14,330</u> _____ _____ _____	Acre-Feet per Year <u>83.17</u> <u>1.31</u> <u>16.05</u> _____ _____ _____	<input type="checkbox"/> NEW WELLS - PROPOSED AQUIFERS – (CHECK ONE) <input type="checkbox"/> ALLUVIAL <input type="checkbox"/> UPPER ARAPAHOE <input type="checkbox"/> UPPER DAWSON <input type="checkbox"/> LOWER ARAPAHOE <input type="checkbox"/> LOWER DAWSON <input type="checkbox"/> LARAMIE FOX HILLS <input type="checkbox"/> DENVER <input type="checkbox"/> DAKOTA <input type="checkbox"/> OTHER: _____ WATER COURT DECREE CASE NUMBERS: _____ _____
11. WAS AN ENGINEER'S WATER SUPPLY REPORT DEVELOPED? <input type="checkbox"/> YES or <input checked="" type="checkbox"/> NO IF YES, PLEASE FORWARD WITH THIS FORM. (This may be required before our review is completed.)			
12. TYPE OF SEWAGE DISPOSAL SYSTEM <input type="checkbox"/> SEPTIC TANK/LEACH FIELD <input checked="" type="checkbox"/> CENTRAL SYSTEM DISTRICT NAME: <u>North Washington Street W&amp;S</u> <input type="checkbox"/> LAGOON <input type="checkbox"/> VAULT LOCATION SEWAGE HAULED TO: _____ <input type="checkbox"/> ENGINEERED SYSTEM (Attach a copy of engineering design.) <input type="checkbox"/> OTHER:			



**ATTACHMENT D**  
**COLORADO STATE MAP SHOWING**  
**THE DENVER BASIN AND THE DESIGNATED BASINS**



# North Washington Street Water and Sanitation District

3172 E. 78<sup>th</sup> Avenue, Denver, CO 80229 303 / 288 – 6664

To Whom It May Concern:

Dear Sir/Madame:

The North Washington Street Water and Sanitation District (“District”) provides the following in response to your request for water and sanitary sewer service dated October 6<sup>th</sup> 2021 related to the property located at Cosimi Farms on East 78<sup>th</sup> Ave (“Property”). The District can provide water and sewer service to the Property based on conditions set forth herein. The following are general requirements for water and sanitary sewer service. The District Rules and Regulations and the standards and requirements of Denver Water and Metro Wastewater Reclamation District must be complied with as an on-going condition of service.

The subject Property is understood to be entirely within the service and boundary area of the District based on your assertions. The District makes no representation or warranty in regard to the Property boundaries and applicant is responsible for verification of same. If the Property is outside of the District’s boundaries, applicant is responsible for undertaking and paying all costs to include the Property within the District’s boundaries. Treatment of sewage generated within the District is provided by the Metro Wastewater Reclamation District. Treatment and provision of water within the District is provided by Denver Water. Conditions for water and sanitary service from the District include meeting the requirements contained herein and payment of all fees and costs as provided in District’s Rules and Regulations along with those of Denver Water and Metro Wastewater Reclamation District. Timing of water and sanitary availability is subject to further coordinated by the Town and District.

Water and Sanitary availability are subject to review and acceptance of design documents from owner/developer of the Property, by the District. Appropriate right-of-way easements and agreements are required for all water and sanitary sewer extensions. Jurisdictional coordination, approvals, permitting, license agreements and easements are to be completed prior to acceptance of plans. All costs associated with collection and distribution system improvements required to serve the Property are the responsibility of the owner/developer including guarantee of improvements and warranty periods.

Receipt of service is also subject to all costs being paid by owner/developer for engineering, reviews, construction, observation, and inspections at the then current rate fee structure established by the District, including establishing an imprest account with the District as a deposit for such accounts. Please be aware that proper tap connection and development fees are required to be paid, at the most recent fee schedule, prior to connection to the District main.



Mike DeMattee,  
District Manager

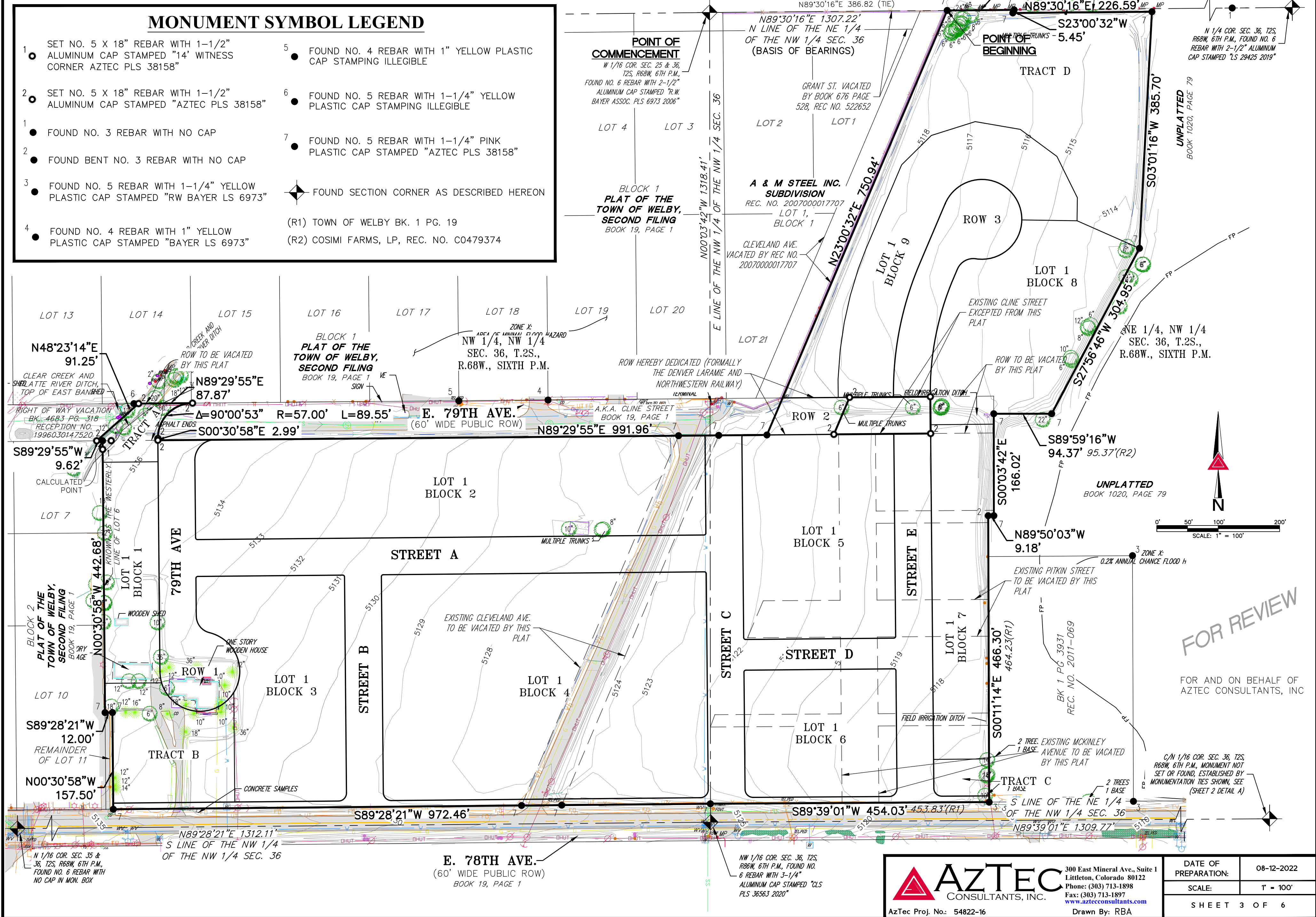


# COSIMI FARM PRELIMINARY PLAT

A PARCEL LOCATED IN THE NORTH HALF OF THE NORTHWEST QUARTER  
OF SECTION 36, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 3 OF 6

## MONUMENT SYMBOL LEGEND

- |   |                                                                                             |      |                                                                          |
|---|---------------------------------------------------------------------------------------------|------|--------------------------------------------------------------------------|
| 1 | SET NO. 5 X 18" REBAR WITH 1-1/2" ALUMINUM CAP STAMPED "14" WITNESS CORNER AZTEC PLS 38158" | 5    | FOUND NO. 4 REBAR WITH 1" YELLOW PLASTIC CAP STAMPING ILLEGIBLE          |
| 2 | SET NO. 5 X 18" REBAR WITH 1-1/2" ALUMINUM CAP STAMPED "AZTEC PLS 38158"                    | 6    | FOUND NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPING ILLEGIBLE      |
| 1 | FOUND NO. 3 REBAR WITH NO CAP                                                               | 7    | FOUND NO. 5 REBAR WITH 1-1/4" PINK PLASTIC CAP STAMPED "AZTEC PLS 38158" |
| 2 | FOUND BENT NO. 3 REBAR WITH NO CAP                                                          | ◆    | FOUND SECTION CORNER AS DESCRIBED HEREON                                 |
| 3 | FOUND NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "RW BAYER LS 6973"                 | (R1) | TOWN OF WELBY BK. 1 PG. 19                                               |
| 4 | FOUND NO. 4 REBAR WITH 1" YELLOW PLASTIC CAP STAMPED "BAYER LS 6973"                        | (R2) | COSIMI FARMS, LP, REC. NO. C0479374                                      |



FOR REVIEW

FOR AND ON BEHALF OF  
AZTEC CONSULTANTS, INC

**AZTEC**  
CONSULTANTS, INC.

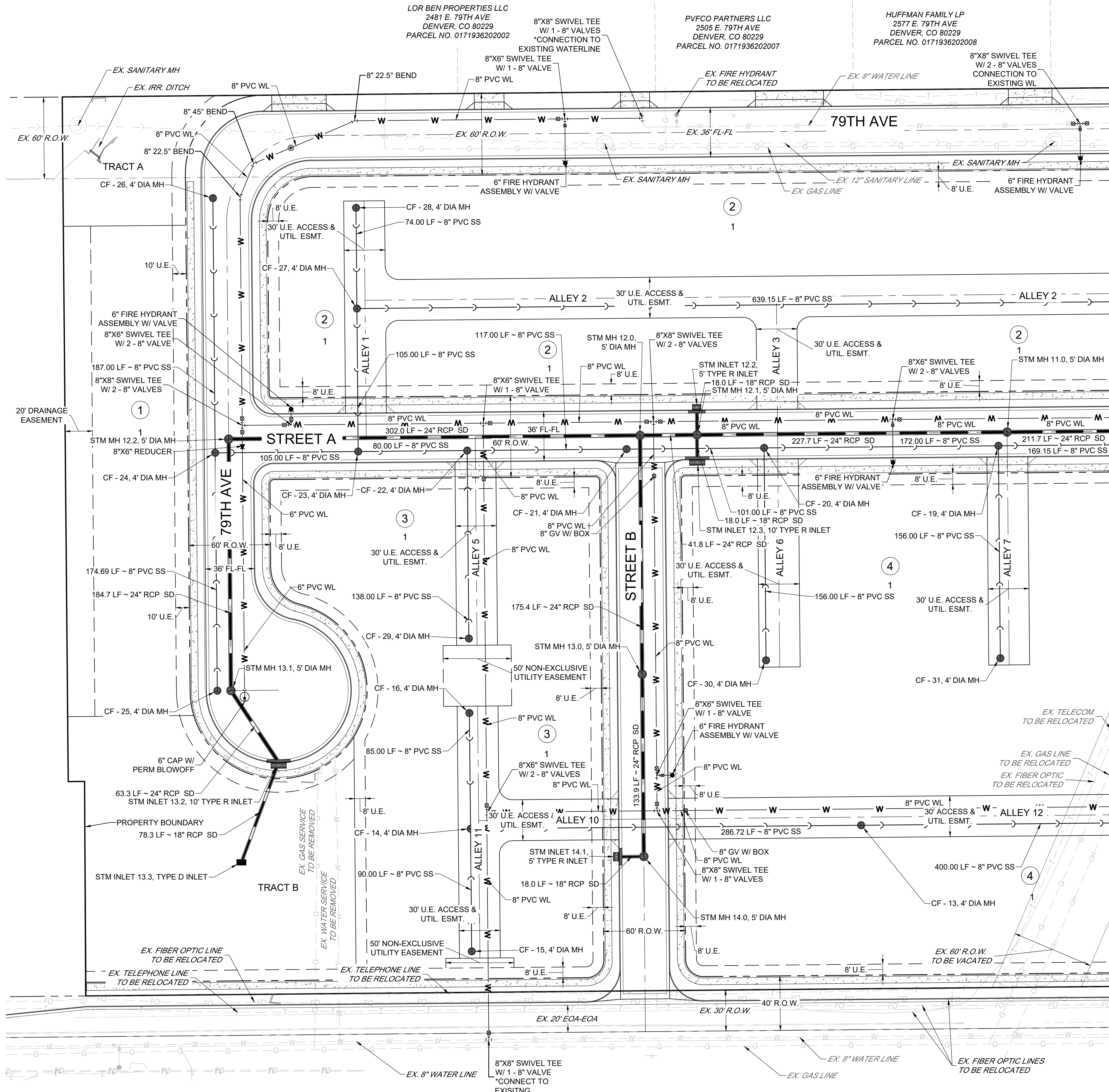
300 East Mineral Ave., Suite 1  
Littleton, Colorado 80122  
Phone: (303) 713-1898  
Fax: (303) 713-1897  
www.aztecconsultants.com

AzTec Proj. No.: 54822-16  
Drawn By: RBA

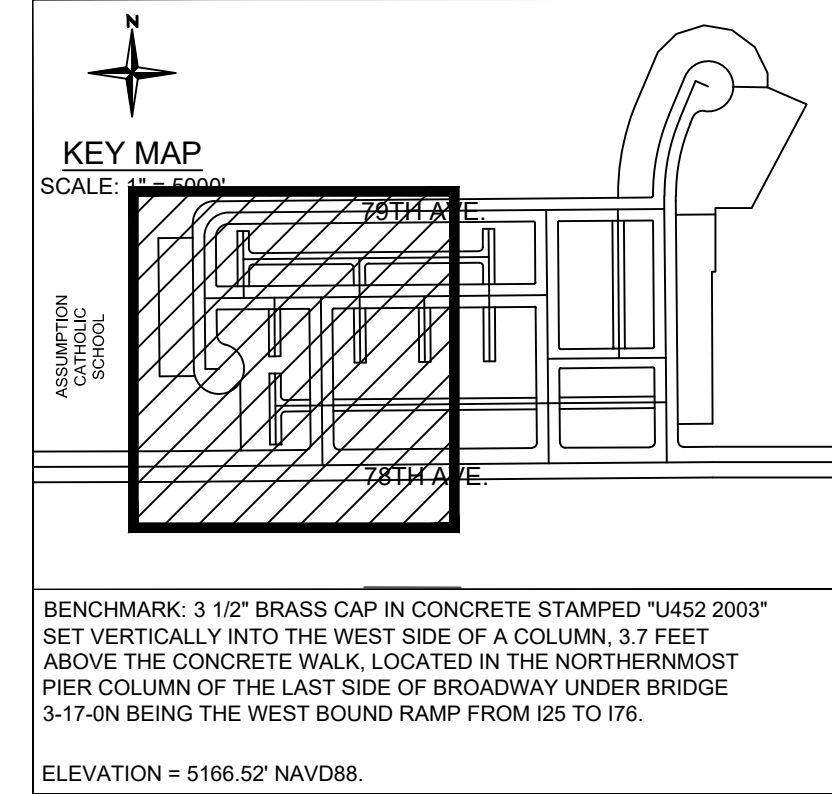
DATE OF PREPARATION:	08-12-2022
SCALE:	1" = 100'
SHEET 3 OF 6	



I:\2021\21027 - Cosimi Farms\CADD\Sheet Sets\21027 - Utility Plans - 4:17pm\_csz



MATCHLINE - SEE SHEET C3.2



- NOTES**
1. ALL STATIONING IS ON CL UNLESS NOTED ON PLANS.
  2. ALL ELEVATIONS ARE PROPOSED GRADE LINE UNLESS OTHERWISE NOTED ON PLANS.
  3. REFER TO THE ADAMS COUNTY STANDARDS AND SPECS REGARDING THE CONSTRUCTION OF ALL PUBLIC ROADWAY IMPROVEMENTS.
  4. REFER TO THE PRELIMINARY PLAT DONE BY AZTEC CONSULTANTS DATED 12-29-2022 FOR RIGHT-OF-WAY AND CENTERLINE DIMENSION, AND HORIZONTAL CONTROL.

**Redland**  
WHERE GREAT PLACES BEGIN

720.283.6783 • Land Planning • Landscape Architecture  
REDLAND.COM • Civil Engineering • Construction Management

PROJECT NO.	DATE	NO.	NOTES
21027	8/16/2022	1	1ST PRELIMINARY CD SUBMITTAL
	1/6/2023	2	2ND PRELIMINARY CD SUBMITTAL

**COSIMI FARMS**  
ADAMS COUNTY, COLORADO

**OVERALL UTILITY PLAN**

SHEET  
**C3.1**

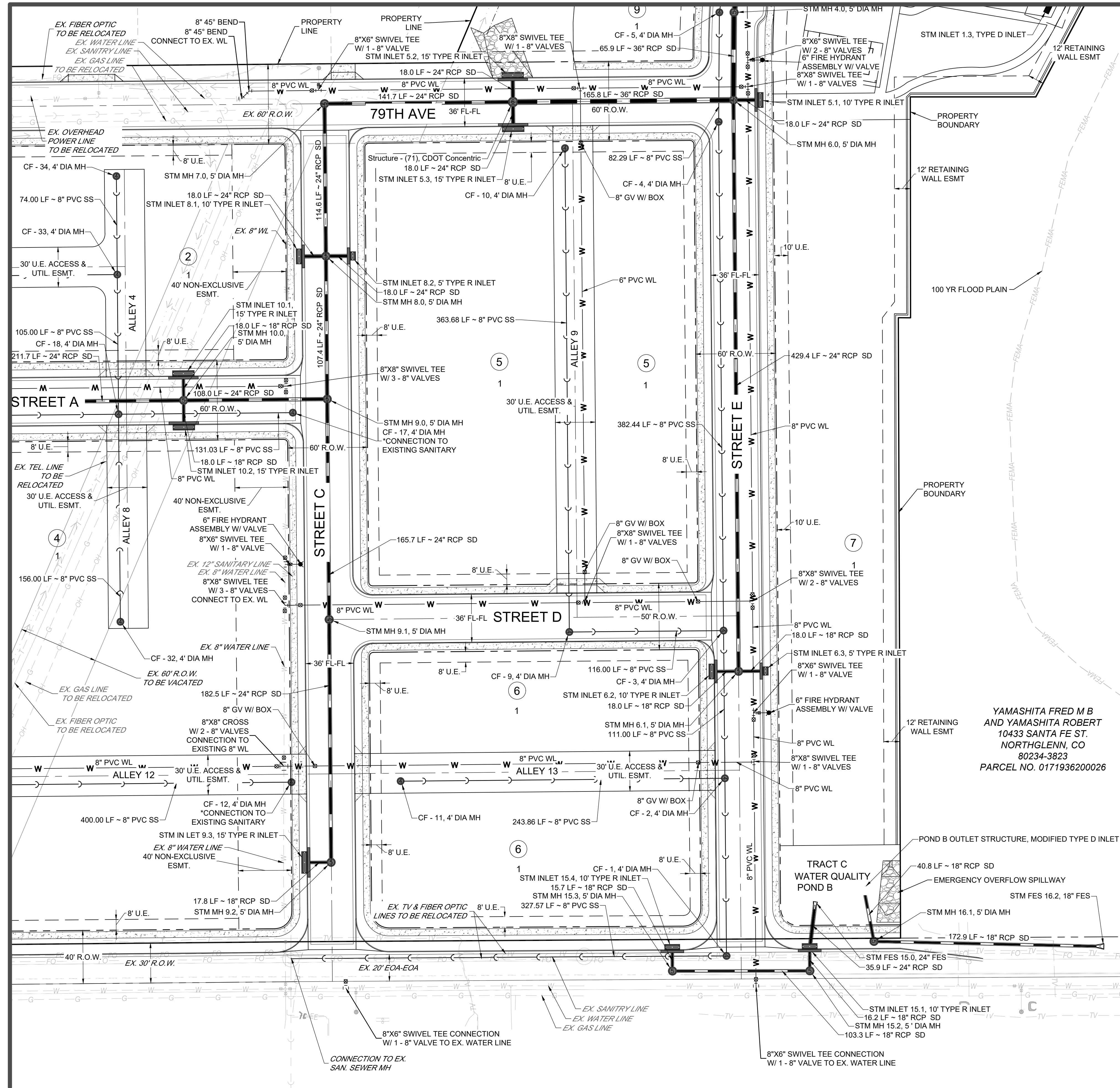
**811**  
Know what's below.  
Call before you dig.

SCALE: 1" = 40'

I:\2021\21027 - Cosimi Farms\CAD\Sheet Sets\21027 - Utility Plan.dwg Job: C3.2 UTILITY PLAN Jan 03, 2023 4:17pm cscz

MATCHLINE - SEE SHEET C3.1

MATCHLINE - SEE SHEET C3.3



YAMASHITA FRED M B  
AND YAMASHITA ROBERT  
10433 SANTA FE ST.  
NORTHGLENN, CO  
80234-3823  
PARCEL NO. 0171936200026

**KEY MAP**  
SCALE: 1" = 5000'

BENCHMARK: 3 1/2" BRASS CAP IN CONCRETE STAMPED "452 2003"  
SET VERTICALLY INTO THE WEST SIDE OF A COLUMN, 3.7 FEET  
ABOVE THE CONCRETE WALK, LOCATED IN THE NORTHERNMOST  
PIER COLUMN OF THE LAST SIDE OF BROADWAY UNDER BRIDGE  
3-17-0N BEING THE WEST BOUND RAMP FROM 125 TO 176.

ELEVATION = 5166.52 NAVD88

- NOTES**
1. ALL STATIONING IS ON CL UNLESS NOTED ON PLANS.
  2. ALL ELEVATIONS ARE PROPOSED GRADE LINE UNLESS OTHERWISE NOTED ON PLANS.
  3. REFER TO THE ADAMS COUNTY STANDARDS AND SPECS REGARDING THE CONSTRUCTION OF ALL PUBLIC ROADWAY IMPROVEMENTS.
  4. REFER TO THE PRELIMINARY PLAT DONE BY AZTEC CONSULTANTS DATED 12-29-2022 FOR RIGHT-OF-WAY AND CENTERLINE DIMENSION, AND HORIZONTAL CONTROL.

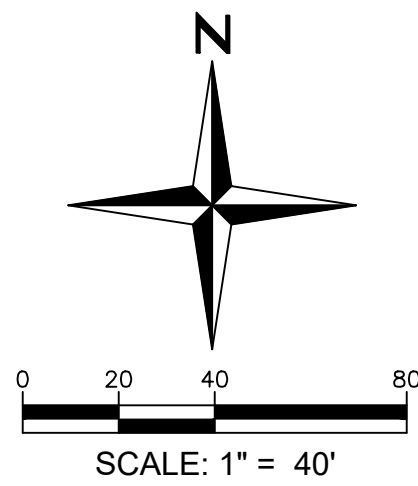
**Redland**  
WHERE GREAT PLACES BEGIN

720.283.6783 • Land Planning • Landscape Architecture  
REDLAND.COM • Civil Engineering • Construction Management

PROJECT NO.	DATE	NO.	NOTES
21027	8/16/2022	1	1ST PRELIMINARY CD SUBMITTAL
	1/6/2023	2	2ND PRELIMINARY CD SUBMITTAL



Know what's below.  
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**COSIMI FARMS**  
ADAMS COUNTY, COLORADO

**OVERALL UTILITY PLAN**





**LEGAL DESCRIPTION**

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED WARRANT THEY ARE THE OWNERS OF A PARCEL OF LAND BEING LOTS 22 AND 23 BLOCK 1, LOTS 1-6 AND 11-17 BLOCK 2, LESS AND EXCEPT THE WEST 12' OF THE SOUTH 157.5' OF LOT 11, LOTS 1-7 BLOCK 3, LOTS 1-15 BLOCK 4, LOTS 1-15 BLOCK 5, LOTS 1-14 BLOCK 6 ALONG WITH MCKINLEY AVENUE, PITKIN STREET AND CLEVELAND AVENUE SOUTH OF EAST 79TH AVENUE, ALL OF THE PLAT OF THE TOWN OF WELBY SECOND FILING RECORDED IN BOOK 1 PAGE 19 IN THE RECORDS OF THE CLERK AND RECORDER OF ADAMS COUNTY, STATE OF COLORADO, AND A UNPLATTED PARCEL OF LAND, LOCATED WITHIN THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 2 SOUTH, RANGE 68 WEST, OF THE SIXTH PRINCIPAL MERIDIAN, SAID COUNTY AND STATE, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST SIXTEENTH CORNER OF SECTIONS 25 AND 36, SAID TOWNSHIP AND RANGE, WHENCE THE NORTH LINE OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 36 BEARS NORTH 89°30'16" EAST, A DISTANCE OF 1307.22 FEET, ALL BEARINGS HEREON ARE REFERENCED THERETO;

THENCE ALONG SAID NORTH LINE, NORTH 89°30'16" EAST, A DISTANCE OF 386.82 FEET TO THE EASTERLY BOUNDARY OF THE VACATED CLEVELAND AVENUE BY THE A & M STEEL INC. SUBDIVISION RECORDED AT RECEPTION NO. 2007000017707 IN SAID RECORDS AND THE POINT OF BEGINNING;

THENCE CONTINUING ALONG SAID NORTH LINE, NORTH 89°30'16" EAST, A DISTANCE OF 331.46 FEET TO THE WESTERLY LINE OF DEED RECORDED IN BOOK 1020 PAGE 79;

THENCE ALONG SAID WESTERLY LINE THE FOLLOWING THREE (3) COURSES:

1. SOUTH 03°05'16" WEST, A DISTANCE OF 385.70 FEET;
2. SOUTH 28°00'16" WEST, A DISTANCE OF 304.95 FEET;
3. SOUTH 89°30'16" WEST, A DISTANCE OF 91.61 FEET TO THE EASTERLY BOUNDARY OF SAID PLAT OF THE TOWN OF WELBY, SECOND FILING;

THENCE ALONG SAID EASTERLY BOUNDARY OF SAID PLAT OF THE TOWN WELBY, SECOND FILING THE FOLLOWING FIVE (5) COURSES;

1. SOUTH 00°03'42" EAST, A DISTANCE OF 170.40 FEET;
2. NORTH 89°50'03" WEST, A DISTANCE OF 9.18 FEET;
3. SOUTH 00°11'14" EAST, A DISTANCE OF 466.30 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY OF FEAST 78TH AVENUE;

THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY THE FOLLOWING TWO (2) COURSES;

1. SOUTH 89°39'01" WEST, A DISTANCE OF 454.03 FEET;
2. SOUTH 89°28'21" WEST, A DISTANCE OF 972.46 FEET;

THENCE DEPARTING SAID NORTHERLY RIGHT-OF-WAY, NORTH 00°30'58" WEST, A DISTANCE OF 157.50 FEET;

THENCE SOUTH 89°28'21" WEST, A DISTANCE OF 12.00 FEET TO THE WESTERLY BOUNDARY OF LOT 11 AS SHOWN ON SAID PLAT OF THE TOWN OF WELBY, SECOND FILING;

THENCE ALONG SAID WESTERLY BOUNDARY AND THE WESTERLY BOUNDARY OF LOT 6, AS SHOWN ON SAID PLAT OF THE TOWN OF WELBY, SECOND FILING, NORTH 00°30'58" WEST, A DISTANCE OF 442.68 FEET TO THE SOUTHERLY RIGHT-OF-WAY OF EAST 79TH AVENUE FORMALLY KNOWN AS CLINE STREET AS SHOWN ON SAID PLAT OF THE TOWN OF WELBY, SECOND FILING;

THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY, SOUTH 89°29'55" WEST, A DISTANCE OF 1081.96 FEET TO THE SOUTHERLY EXTENSION OF THE SOUTHEASTERLY BOUNDARY OF SAID VACATED CLEVELAND AVENUE;

THENCE ALONG SAID SOUTHERLY EXTENSION AND SOUTHEASTERLY BOUNDARY, NORTH 23°00'32" EAST, A DISTANCE OF 750.94 FEET TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM THAT PORTION OF EAST 79TH AVENUE FORMALLY KNOWN AS CLINE STREET DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE EASTERLY RIGHT-OF-WAY OF SAID DENVER LARAMIE AND NORTHWESTERN RAILWAY AND THE NORTHERLY RIGHT-OF-WAY OF SAID EAST 79TH AVENUE;

THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY, NORTH 89°29'55" EAST, A DISTANCE OF 131.50 FEET;

THENCE SOUTH 00°30'58" EAST, A DISTANCE OF 60.00 FEET TO THE SOUTHERLY RIGHT-OF-WAY OF SAID EAST 79TH AVENUE;

THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY, SOUTH 89°29'55" WEST, A DISTANCE OF 157.62 FEET TO SAID EASTERLY RIGHT-OF-WAY OF THE DENVER LARAMIE AND NORTHWESTERN RAILWAY

THENCE ALONG SAID EASTERLY RIGHT-OF-WAY NORTH 23°00'32" EAST, A DISTANCE OF 65.43 FEET TO THE POINT OF BEGINNING.

RESULTING IN A NET AREA OF 26.291 ACRES, (1,145,253 SQUARE FEET), MORE OR LESS.

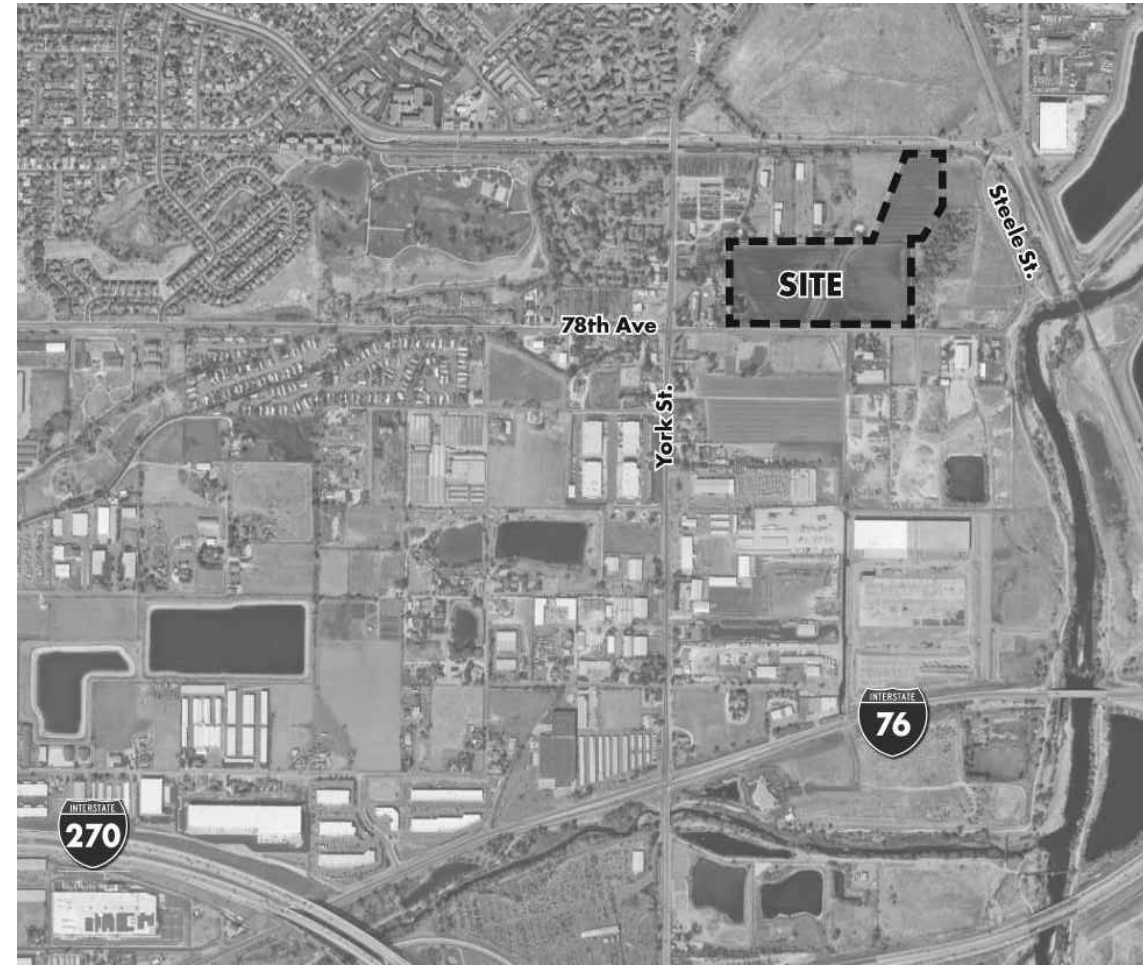
# OXENFREE AT WELBY

## IN THE COUNTY OF ADAMS, COLORADO

### PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN

#### SHEET 1: COVER

**VICINITY MAP**



**SHEET INDEX**

1) COVER	22) LANDSCAPE DETAILS	43) S22-1730 CONTEMPORARY 'A'
2) WRITTEN NARRATIVE	23) LANDSCAPE DETAILS	44) S22-1730 CONTEMPORARY 'A'
3) DEVELOPMENT STANDARDS	24) LANDSCAPE DETAILS	45) S22-1730 LOFT 'C'
4) SITE PLAN	25) E25-1641 CONTEMPORARY 'A'	46) S22-1730 LOFT 'C'
5) PARKING EXHIBIT	26) E25-1641 CONTEMPORARY 'A'	47) S22-1730 MODERN 'E'
6) LANDSCAPE NOTES	27) E25-1641 LOFT 'C'	48) S22-1730 MODERN 'E'
7) LANDSCAPE SCHEDULE	28) E25-1641 LOFT 'C'	49) S22-1565 CONTEMPORARY 'A'
8) LP-100 OVERALL LANDSCAPE PLAN	29) E25-1641 MODERN 'E'	50) S22-1565 CONTEMPORARY 'A'
9) LANDSCAPE PLAN	30) E25-1641 MODERN 'E'	51) S22-1730 CONTEMPORARY 'A'
10) LANDSCAPE PLAN	31) E25-1888 CONTEMPORARY 'A'	52) S22-1730 CONTEMPORARY 'A'
11) LANDSCAPE PLAN	32) E25-1888 CONTEMPORARY 'A'	53) A22-1943 / A18-1575 MODERN 'E'
12) LANDSCAPE PLAN	33) E25-1888 LOFT 'C'	54) A22-1943 / A18-1575 MODERN 'E'
13) LANDSCAPE PLAN	34) E25-1888 LOFT 'C'	55) A22-1943 / A18-1575 MODERN 'E'
14) LANDSCAPE PLAN	35) E25-1888 MODERN 'E'	56) A22-1943 / A18-1575 MODERN 'E'
15) LANDSCAPE PLAN	36) E25-1888 MODERN 'E'	57) A22-1943 / A18-1575 MODERN 'E'
16) LANDSCAPE PLAN	37) S22-1565 CONTEMPORARY 'A'	58) A22-1943 / A18-1575 MODERN 'E'
17) LANDSCAPE PLAN	38) S22-1565 CONTEMPORARY 'A'	59) FIELDHOUSE ELEVATION
18) LANDSCAPE PLAN	39) S22-1565 LOFT 'C'	60) FIELDHOUSE ELEVATION
19) LANDSCAPE PLAN	40) S22-1565 LOFT 'C'	61) MAINTENANCE ELEVATION
20) LANDSCAPE DETAILS	41) S22-1565 MODERN 'E'	62) MAINTENANCE ELEVATION
21) LANDSCAPE DETAILS	42) S22-1565 MODERN 'E'	

**CERTIFICATE OF OWNERSHIP**

EXECUTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 2023

OWNER: COSIMI FARMS, LP, A COLORADO LIMITED PARTNERSHIP

BY: \_\_\_\_\_  
TITLE: \_\_\_\_\_

AND

BY: \_\_\_\_\_  
TITLE: \_\_\_\_\_

**ACKNOWLEDGMENT**

STATE OF COLORADO )

COUNTY OF: \_\_\_\_\_ )SS

THE FOREGOING OWNERSHIP AND DEDICATION WAS ACKNOWLEDGED BEFORE ME ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023.

BY \_\_\_\_\_ AND BY \_\_\_\_\_ AS AUTHORIZED SIGNATURES

FOR COSIMI FARMS, LP, A COLORADO LIMITED PARTNERSHIP

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES: \_\_\_\_\_

MY ADDRESS IS: \_\_\_\_\_

**BOARD OF COUNTY COMMISSIONERS APPROVAL**

APPROVED BY THE ADAMS COUNTY BOARD OF COUNTY COMMISSIONERS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_.

CHAIR

**ADAMS COUNTY ATTORNEY'S OFFICE**

APPROVED AS TO FORM

**CERTIFICATE OF THE CLERK AND RECORDER**

THIS FINAL DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE ADAMS COUNTY CLERK AND RECORDER IN THE STATE OF COLORADO AT M. ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_.

COUNTY CLERK AND RECORDER

BY DEPUTY: \_\_\_\_\_

DEVELOPER:  
CORE SPACES  
1643 N MILWAUKEE AVE  
CHICAGO, IL 60647

PLANNER / LANDSCAPE ARCHITECT:  
NORRIS DESIGN  
1101 BANNOCK ST  
DENVER, CO 80202

CIVIL ENGINEER:  
REDLAND  
1500 WEST CANAL CT  
LITTLETON, CO 80120

WATER ENGINEER:  
WRIGHT WATER ENGINEERS  
2490 WEST 26TH AVE, STE 100-A  
DENVER, COLORADO 80211

ARCHITECT:  
FIELDSTONE ARCHITECTURE  
3400 AUBURN RD, STE 200  
AUBURN HILLS, MI 48326

ARCHITECT:  
NORTHWORKS  
1512 NORTH THROOP ST  
CHICAGO, IL 60642

TRAFFIC ENGINEER:  
LANTZ ASSOCIATES, LLC  
13335 W 72ND CIR  
ARVADA, CO 80005



OXENFREE AT WELBY  
PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
IN THE COUNTY OF ADAMS, COLORADO

OWNER:  
COSIMI FARMS LP  
6728 SEVILLE PLACE NW  
ALBUQUERQUE, NM 87120

NOT FOR CONSTRUCTION

DATE:  
08/16/23-FDP/PUO\_01

SHEET TITLE:  
COVER





# OXENFREE AT WELBY

## IN THE COUNTY OF ADAMS, COLORADO

### PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN

#### SHEET 2: WRITTEN NARRATIVE



**A. EXPLANATION OF THE CHARACTERISTICS OF THE PUD AND ITS POTENTIAL IMPACT ON THE SURROUNDING AREA**

THE SUBJECT PROPERTY IS APPROXIMATELY 26.3 ACRES AND IS LOCATED GENERALLY NORTHEAST OF THE INTERSECTION OF YORK STREET AND 78TH AVENUE. THE PROPERTY IS BORDERED TO THE WEST BY THE ASSUMPTION OF THE BLESSED VIRGIN MARY CATHOLIC CHURCH AND SCHOOL AND IS LOCATED IN UNINCORPORATED ADAMS COUNTY. SURROUNDING PROPERTIES ARE ZONED R-1-C, PUD, I-1, I-2, AND A-1.

THIS PLANNED UNIT DEVELOPMENT (PUD) PROPOSES 222 INFILL DWELLING UNITS THAT WILL HELP TO SUPPORT THE COUNTY'S CURRENT HOUSING DEMAND, SPECIFICALLY WITHIN AN UNDER-HOUSED AREA OF THE COUNTY.

THE PUD IS PROPOSED TO PERMIT RESIDENTIAL LAND USES AND TO ESTABLISH DEVELOPMENT STANDARDS THAT RESULT IN A COMPATIBLE COMMUNITY. THE PROPOSAL DRAWS FROM NEIGHBORING ZONE DISTRICTS TO ENSURE COMPATIBILITY. THE PUD PROPOSES A DENSITY OF 8.4 DU/AC.

THE PROPOSED COMMUNITY HAS CONVENIENT ACCESS TO VEHICULAR AND PEDESTRIAN TRANSPORTATION NETWORKS AND IS LOCATED WITHIN A MILE AND A HALF OF TWO RTD STATIONS ON THE N LINE.

**B. PROVISIONS FOR PARKING**

A MINIMUM OF TWO (2) RESIDENT PARKING SPACES PER HOME, WITHIN ATTACHED GARAGES, ARE PROPOSED.

FRONT-LOADED HOMES INCLUDE TWO (2) VISITOR PARKING SPACES PER HOME, LOCATED IN THE DRIVEWAY. ALLEY-LOADED HOMES INCLUDE 0.5 VISITOR PARKING SPACES PER UNIT, PROVIDED BY A COMBINATION OF ON- AND OFF-STREET PARKING. REFER TO THE PARKING EXHIBIT ON SHEET 5.

**C. CIRCULATION AND ROAD PATTERNS**

THE PRIMARY ENTRANCE INTO THE SITE IS FROM 78TH AVENUE. TWO ADDITIONAL SECONDARY ACCESS POINTS FROM 78TH AVENUE ARE PROPOSED. 79TH AVENUE WILL BE EXTENDED TO YORK STREET CREATING A SECONDARY ENTRANCE INTO THE SITE. A NETWORK OF INTERNAL PUBLIC STREETS AND PRIVATE ALLEYS PROVIDE VEHICULAR CIRCULATION WITHIN THE COMMUNITY. RIGHTS-OF-WAY SIXTY FEET OR WIDER WITHIN THE SITE INCORPORATE DETACHED SIDEWALKS. PRIVATE STREETS AND ALLEYS WILL BE OWNED AND MAINTAINED BY THE DEVELOPER.

THE PEDESTRIAN NETWORK IS DESIGNED TO PROVIDE CONVENIENT PEDESTRIAN ACCESS THROUGHOUT THE SITE AND IS INTENDED TO DRAW RESIDENTS INTO THE SITE'S GREENWAYS, POCKET PARKS, AND THE "FIELDHOUSE" AMENITY.

**D. TYPE, LOCATION, EXAMPLES OF COPY AND MONUMENT SIGNS**

THE COMMUNITY PROPOSES ENTRY MONUMENTATION SIGNAGE AT KEY INTERSECTIONS AND WILL INCLUDE PRIMARY AND SECONDARY MONUMENTATION. THE PRIMARY ENTRY MONUMENT IS PROPOSED TO BE AT THE MAIN COMMUNITY ENTRANCE OFF 78TH AVENUE (ALIGNING WITH CLAYTON STREET TO THE SOUTH).

SIGNAGE MAY INCLUDE THE NAME OF THE COMMUNITY AND SHALL USE MATERIALS AND COLORS THAT ARE COHESIVE WITH THE COMMUNITY'S ARCHITECTURE. FINAL SIGNAGE DESIGN SHALL BE PROVIDED AT TIME OF FINAL DEVELOPMENT PLAN. EACH SIGN WILL REQUIRE A SEPARATE SIGN PERMIT.

**E. TYPE AND ALLOCATION OF ALL USES INCLUDING PERMITTED USES, USES PERMITTED AFTER AMENDMENT TO THE PUD, AND PROHIBITED USES**

THIS PUD ALLOWS FOR A VARIETY OF HOUSING TYPES INCLUDING: SINGLE-FAMILY DETACHED FRONT-LOAD, SINGLE-FAMILY DETACHED ALLEY-LOAD, SINGLE-FAMILY ATTACHED PAIRED HOMES (DUPLEX) AND TOWNHOMES. ADDITIONAL ALLOWED USES INCLUDE ACCESSORY DWELLING UNITS AND A PRIVATE CLUBHOUSE/LEASING CENTER; ITEMS NOT ADDRESSED WITHIN THIS PUD SHALL FOLLOW ADAMS COUNTY DEVELOPMENT STANDARDS AND REGULATIONS FOR THE R-3 ZONE DISTRICT.

**F. LOCATION AND TYPES OF LANDSCAPING AND MAINTENANCE PROVISIONS**

ALL SITE LANDSCAPING AND SITE AMENITIES WILL BE OWNED AND MAINTAINED BY THE DEVELOPER. RIGHT-OF-WAY LANDSCAPING SHALL BE MAINTAINED BY THE DEVELOPER.

**G. BUFFERYARD REQUIREMENTS**

EXTERIOR PROPERTY BOUNDARIES, NOT ADJACENT TO PUBLIC RIGHT-OF-WAY, SHALL HAVE A TEN (10) FOOT BUFFERYARD. A FOUR (4) FOOT TALL, OPEN RAIL FENCE TO BE LOCATED ON THE EXTERIOR BOUNDARY OF THE BUFFERYARD. BUFFERYARD TO BE LANDSCAPED WITH ONE (1) TREE AND TWO (2) SHRUBS PER FORTY (40) LINEAR FEET.

**H. LANDSCAPING REQUIREMENTS**

78TH AND 79TH AVENUE STREET FRONTAGE SHALL HAVE A TWENTY (20) FOOT LANDSCAPE AREA ALONG THE ROAD RIGHT-OF-WAY. LANDSCAPE AREAS SHALL HAVE A MINIMUM OF TWO (2) TREES AND FIVE (5) SHRUBS PER FORTY (40) LINEAR FEET OF FRONTAGE. DRIVE AISLES AND ROADS SHALL BE COUNTED AS ZERO (0) FEET IN DEPTH.

PUBLIC RIGHT-OF-WAYS SHALL BE LANDSCAPED WITH ONE (1) TREE AND THREE (3) SHRUBS PER FORTY (40) LINEAR FEET; MEASURED FIFTY (50) FEET FROM THE STOP SIGN, EXCLUDING CURB CUTS.

COMMON LANDSCAPE AREAS AND INTERNAL STREET FRONTAGE SHALL HAVE A MINIMUM OF ONE (1) LARGE TREE AND THREE (3) SHRUBS, OR TWO (2) ORNAMENTAL TREES AND THREE (3) SHRUBS PER FIFTEEN HUNDRED (1,500) SQUARE FEET. EVERGREENS SHALL BE CONSIDERED ORNAMENTAL.

DETENTION AREAS SHALL UTILIZE NATIVE LANDSCAPE MATERIAL AND APPROPRIATE SEED MIXES.

MINIMUM PLANT SIZE REQUIRED IN RIGHT-OF-WAY, LANDSCAPE AREAS, AND DETENTION AREAS SHALL BE 2 1/2" CALIPER DECIDUOUS OR ORNAMENTAL TREES, 6 EVERGREENS, AND 5-GALLON SHRUBS/GRASSES. THE CALIPER OF ALL TREES SHALL BE MEASURED AT ONE (1) FOOT ABOVE GRADE LEVEL.

LANDSCAPE PLAN ARE INCLUDED IN THIS FDP, REFER TO SHEETS 6-24.

**I. FENCING**

A 4' TALL, 3-RAIL OPEN STYLE FENCE IS PROPOSED ALONG THE MAJORITY OF THE EASTERN AND WESTERN PROPERTY LINE TO PROVIDE SEPARATION BETWEEN ADJACENT PROPERTIES.

A 6' TALL PRIVACY FENCE MAY BE UTILIZED TO PROVIDE ADDITIONAL SCREENING BETWEEN UNITS WHERE NECESSARY; REFER TO SHEET 11 FOR LOCATIONS.

A 4' TALL, 3-RAIL OPEN STYLE FENCE WITH PET MESH IS PROPOSED FOR THE PET FRIENDLY PARK.

A 5' TALL FENCE SHALL BE REQUIRED AROUND ALL POOL AND SPA FEATURES. REFER TO PUD SHEET 22 FOR FENCING DETAILS.

# OXENFREE AT WELBY

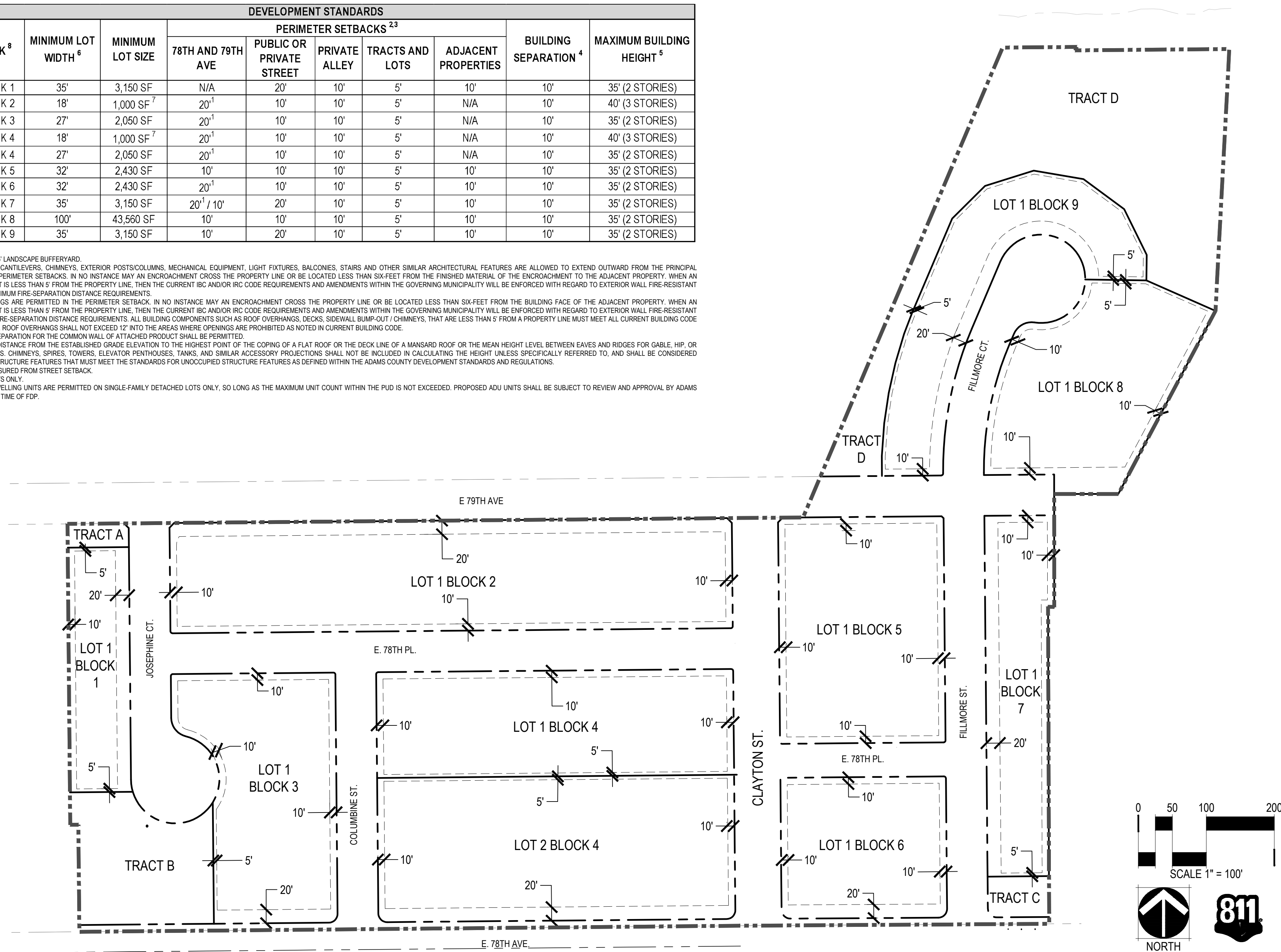
## IN THE COUNTY OF ADAMS, COLORADO

### PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN

#### SHEET 3: DEVELOPMENT STANDARDS

LOT/BLOCK <sup>8</sup>	MINIMUM LOT WIDTH <sup>6</sup>	MINIMUM LOT SIZE	PERIMETER SETBACKS <sup>2,3</sup>					BUILDING SEPARATION <sup>4</sup>	MAXIMUM BUILDING HEIGHT <sup>5</sup>
			78TH AND 79TH AVE	PUBLIC OR PRIVATE STREET	PRIVATE ALLEY	TRACTS AND LOTS	ADJACENT PROPERTIES		
			LOT 1, BLOCK 1	35'	3,150 SF	N/A	20'		
LOT 1, BLOCK 2	18'	1,000 SF <sup>7</sup>	20' <sup>1</sup>	10'	10'	5'	N/A	10'	40' (3 STORIES)
LOT 1, BLOCK 3	27'	2,050 SF	20' <sup>1</sup>	10'	10'	5'	N/A	10'	35' (2 STORIES)
LOT 1, BLOCK 4	18'	1,000 SF <sup>7</sup>	20' <sup>1</sup>	10'	10'	5'	N/A	10'	40' (3 STORIES)
LOT 2, BLOCK 4	27'	2,050 SF	20' <sup>1</sup>	10'	10'	5'	N/A	10'	35' (2 STORIES)
LOT 1, BLOCK 5	32'	2,430 SF	10'	10'	10'	5'	10'	10'	35' (2 STORIES)
LOT 1, BLOCK 6	32'	2,430 SF	20' <sup>1</sup>	10'	10'	5'	10'	10'	35' (2 STORIES)
LOT 1, BLOCK 7	35'	3,150 SF	20' <sup>1</sup> / 10'	20'	10'	5'	10'	10'	35' (2 STORIES)
LOT 1, BLOCK 8	100'	43,560 SF	10'	10'	10'	5'	10'	10'	35' (2 STORIES)
LOT 1, BLOCK 9	35'	3,150 SF	10'	20'	10'	5'	10'	10'	35' (2 STORIES)

- NOTES:**
- INCLUSIVE OF 15' LANDSCAPE BUFFERYARD.
  - INCLOSIVE OF PERIMETER SETBACKS. IN NO INSTANCE MAY AN ENCROACHMENT CROSS THE PROPERTY LINE OR BE LOCATED LESS THAN SIX-FEET FROM THE FINISHED MATERIAL OF THE ENCROACHMENT TO THE ADJACENT PROPERTY. WHEN AN ENCROACHMENT IS LESS THAN 5' FROM THE PROPERTY LINE, THEN THE CURRENT IBC AND/OR IRC CODE REQUIREMENTS AND AMENDMENTS WITHIN THE GOVERNING MUNICIPALITY WILL BE ENFORCED WITH REGARD TO EXTERIOR WALL FIRE-RESISTANT RATING AND MINIMUM FIRE-SEPARATION DISTANCE REQUIREMENTS.
  - ROOF OVERHANGS ARE PERMITTED IN THE PERIMETER SETBACK. IN NO INSTANCE MAY AN ENCROACHMENT CROSS THE PROPERTY LINE OR BE LOCATED LESS THAN SIX-FEET FROM THE BUILDING FACE OF THE ADJACENT PROPERTY. WHEN AN ENCROACHMENT IS LESS THAN 5' FROM THE PROPERTY LINE, THEN THE CURRENT IBC AND/OR IRC CODE REQUIREMENTS AND AMENDMENTS WITHIN THE GOVERNING MUNICIPALITY WILL BE ENFORCED WITH REGARD TO EXTERIOR WALL FIRE-RESISTANT RATING AND MINIMUM FIRE-SEPARATION DISTANCE REQUIREMENTS. ALL BUILDING COMPONENTS SUCH AS ROOF OVERHANGS, DECKS, SIDEWALL BUMP-OUT / CHIMNEYS, THAT ARE LESS THAN 5' FROM A PROPERTY LINE MUST MEET ALL CURRENT BUILDING CODE REQUIREMENTS. ROOF OVERHANGS SHALL NOT EXCEED 12" INTO THE AREAS WHERE OPENINGS ARE PROHIBITED AS NOTED IN CURRENT BUILDING CODE.
  - A 0' BUILDING SEPARATION FOR THE COMMON WALL OF ATTACHED PRODUCT SHALL BE PERMITTED.
  - THE VERTICAL DISTANCE FROM THE ESTABLISHED GRADE ELEVATION TO THE HIGHEST POINT OF THE COPING OF A FLAT ROOF OR THE DECK LINE OF A MANSARD ROOF OR THE MEAN HEIGHT LEVEL BETWEEN EAVES AND RIDGES FOR GABLE, HIP, OR GAMBREL ROOFS, CHIMNEYS, SPIRES, TOWERS, ELEVATOR PENTHOUSES, TANKS, AND SIMILAR ACCESSORY PROJECTIONS SHALL NOT BE INCLUDED IN CALCULATING THE HEIGHT UNLESS SPECIFICALLY REFERRED TO, AND SHALL BE CONSIDERED UNOCCUPIED STRUCTURE FEATURES THAT MUST MEET THE STANDARDS FOR UNOCCUPIED STRUCTURE FEATURES AS DEFINED WITHIN THE ADAMS COUNTY DEVELOPMENT STANDARDS AND REGULATIONS.
  - LOT WIDTH MEASURED FROM STREET SETBACK.
  - TOWNHOME LOTS ONLY.
  - ACCESSORY DWELLING UNITS ARE PERMITTED ON SINGLE-FAMILY DETACHED LOTS ONLY, SO LONG AS THE MAXIMUM UNIT COUNT WITHIN THE PUD IS NOT EXCEEDED. PROPOSED ADU UNITS SHALL BE SUBJECT TO REVIEW AND APPROVAL BY ADAMS COUNTY AT THE TIME OF FDP.



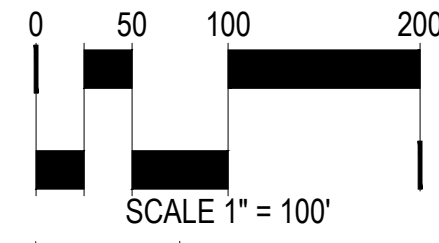
**OXENFREE AT WELBY**  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO

OWNER:  
 COSMI FARMS LP  
 6728 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR CONSTRUCTION

DATE:  
 08/16/23-FDP/PUD.01

SHEET TITLE:  
 DEVELOPMENT STANDARDS



CHECKED BY: XX  
 DRAWN BY: XX



# OXENFREE AT WELBY

## IN THE COUNTY OF ADAMS, COLORADO

### PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN

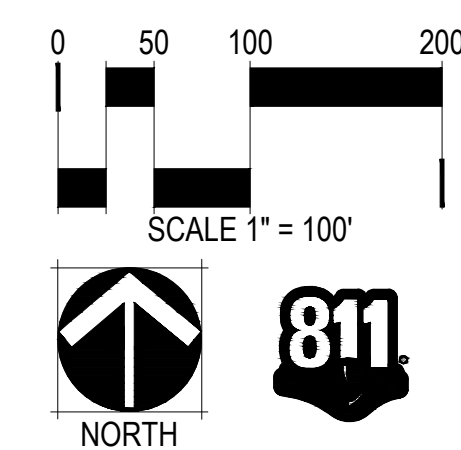
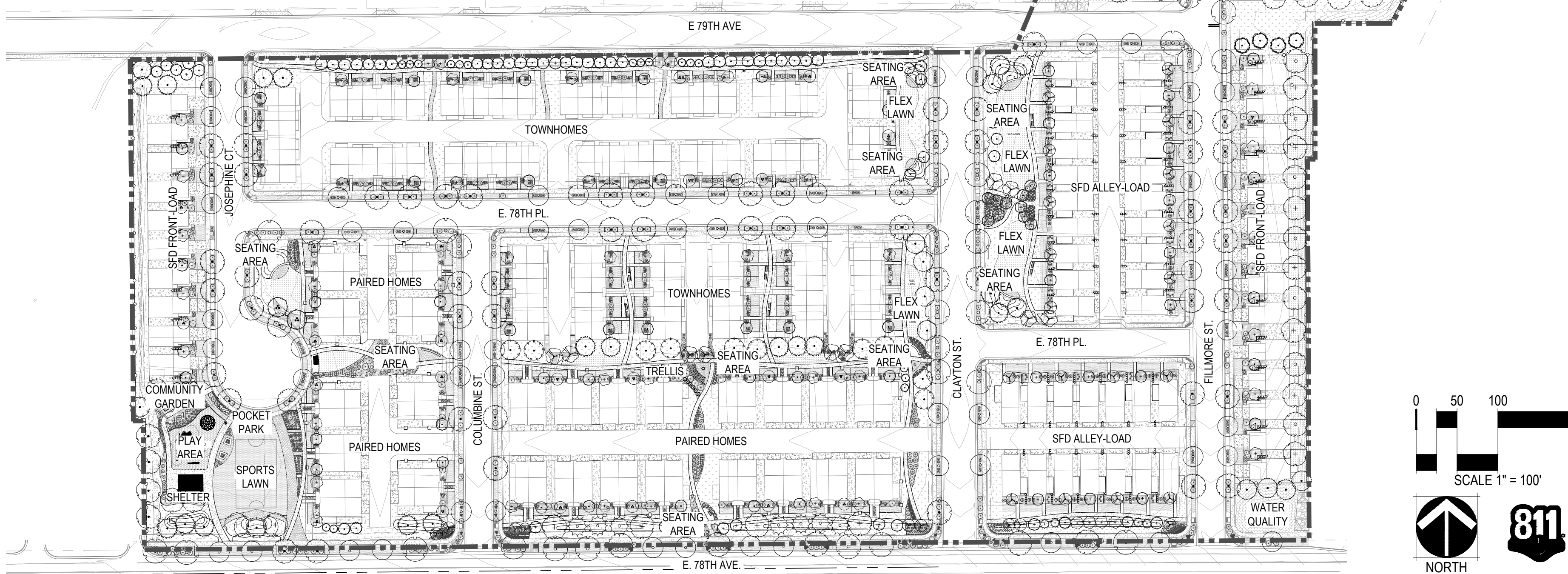
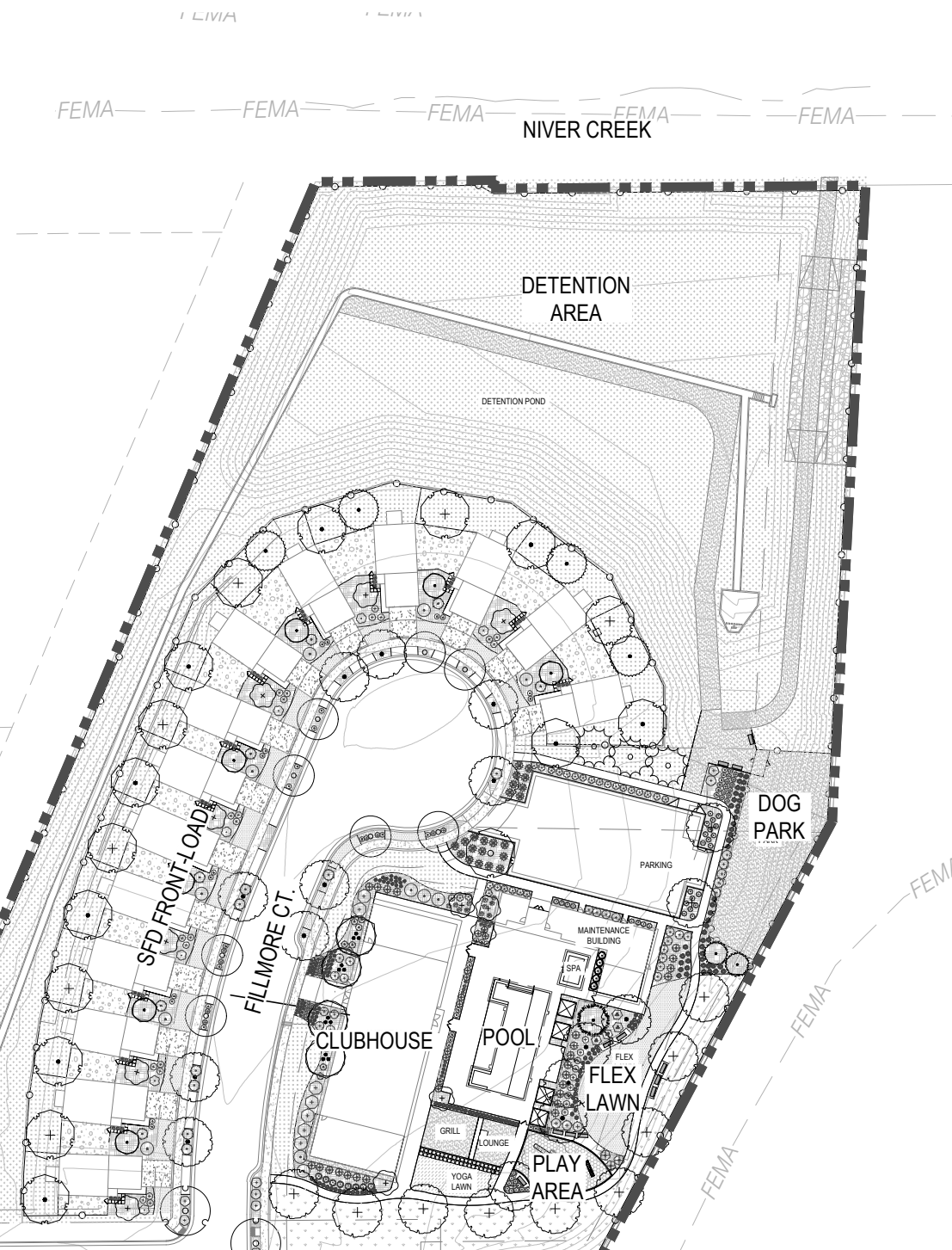
#### SHEET 4: SITE PLAN

LAND USE SUMMARY				
LAND USE	AREA (AC.)	% OF SITE	UNITS	DENSITY (DU/AC)
RESIDENTIAL	10.524	40%	222	8.4
SINGLE-FAMILY DETACHED - FRONT LOAD			38	
SINGLE-FAMILY DETACHED - ALLEY LOAD			34	
SINGLE-FAMILY ATTACHED - PAIRED HOME			50	
SINGLE-FAMILY ATTACHED - TOWNHOME			100	
OPEN AREAS				
AMENITY / CLUBHOUSE	1.688 (1.688 ACTIVE)	6%		
LANDSCAPE AREAS	5.808 (1.617 ACTIVE)	22%		
POCKET PARK	0.803 (0.803 ACTIVE)	3%		
PRIVATE ACCESS DRIVES	1.980	8%		
PUBLIC RIGHT-OF-WAY	5.488	21%		
OPEN AREAS SUBTOTAL	15.767			
<b>TOTAL</b>	<b>26.291</b>	<b>100%</b>	<b>222</b>	<b>8.4</b>

- NOTES:
- SITE PLAN SHOWN MAY CHANGE AT TIME OF FINAL DEVELOPMENT PLAN.
  - ACTIVE LAND USES, LANDSCAPE AREAS, AND AMENITIES ARE SUBJECT TO CHANGE WITH THE FINAL DEVELOPMENT PLAN.
  - SIGNAGE LOCATIONS ARE SUBJECT TO CHANGE AT TIME OF FINAL DEVELOPMENT PLAN.
  - ANY CHANGES TO THE PRELIMINARY DEVELOPMENT PLAN, MUST BE IN CONFORMANCE WITH THE SECTION 2-01-10 AMENDMENTS, OF THE ADAMS COUNTY DEVELOPMENT STANDARDS AND REGULATIONS.
  - A MINOR AMENDMENT TO ANY PRELIMINARY PLAT OR PRELIMINARY DEVELOPMENT PLAN MAY BE PROCESSED THROUGH THE APPLICATION FOR FINAL PLAT OR FINAL DEVELOPMENT PROCESS AS DETERMINED BY THE CEDD DIRECTOR.

PUD OPEN SPACE REQUIREMENT				
TOTAL SITE AREA	OPEN SPACE PROVIDED	ACTIVE OPEN SPACE PROVIDED		
AC.	%	AC.	%	AC.
26.291	60%	15.767	52%	4.108

- NOTES:
- AT LEAST THIRTY PERCENT (30%) OF THE SITE SHALL BE OPEN AREA (7.887 AC). TWENTY FIVE PERCENT (25%) OF THE OPEN AREA MUST BE ACTIVE OPEN SPACE (1.972 AC).
  - AMENITY LOCATIONS ARE CONCEPTUAL AND SUBJECT TO CHANGE AT TIME OF FDP.
  - TRAIL LOCATIONS ARE CONCEPTUAL AND SUBJECT TO CHANGE AT TIME OF FDP.



OXENFREE AT WELBY  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO

OWNER:  
 COSMIF FARMS LP  
 6728 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR  
 CONSTRUCTION

DATE:  
 08/16/23-FDP/PUD.01

SHEET TITLE:  
 SITE PLAN

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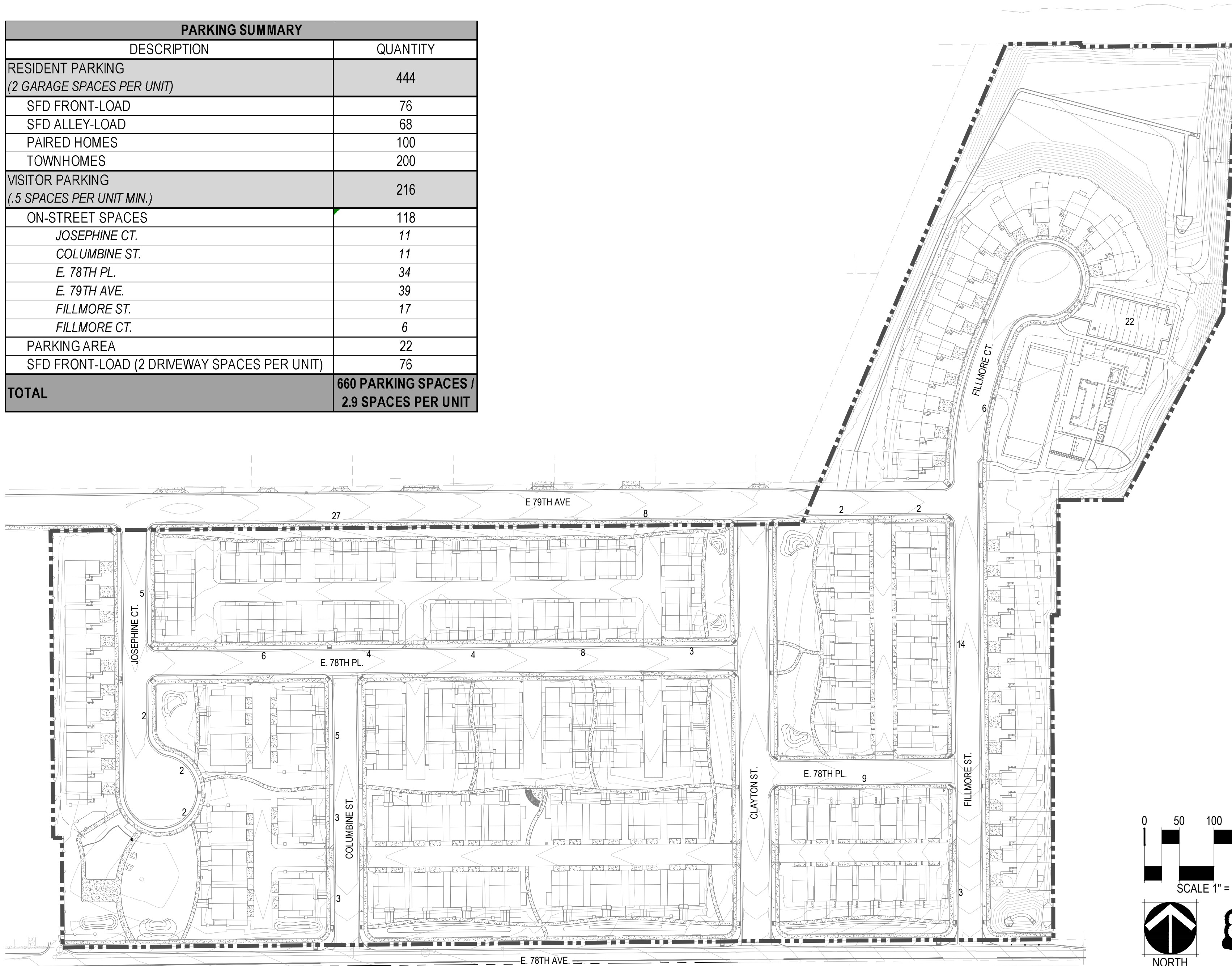
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# OXENFREE AT WELBY

IN THE COUNTY OF ADAMS, COLORADO  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 SHEET 5: PARKING EXHIBIT

PARKING SUMMARY	
DESCRIPTION	QUANTITY
<b>RESIDENT PARKING</b> (2 GARAGE SPACES PER UNIT)	444
SFD FRONT-LOAD	76
SFD ALLEY-LOAD	68
PAIRED HOMES	100
TOWNHOMES	200
<b>VISITOR PARKING</b> (.5 SPACES PER UNIT MIN.)	216
<b>ON-STREET SPACES</b>	118
JOSEPHINE CT.	11
COLUMBINE ST.	11
E. 78TH PL.	34
E. 79TH AVE.	39
FILLMORE ST.	17
FILLMORE CT.	6
<b>PARKING AREA</b>	22
SFD FRONT-LOAD (2 DRIVEWAY SPACES PER UNIT)	76
<b>TOTAL</b>	<b>660 PARKING SPACES / 2.9 SPACES PER UNIT</b>



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 IN THE COUNTY OF ADAMS, COLORADO

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DATE:  
 08/16/23-FDP/PUD.01

SHEET TITLE:  
 PARKING  
 EXHIBIT

5 OF 62

CHECKED BY: XX  
 DRAWN BY: XX



# OXENFREE AT WELBY

## IN THE COUNTY OF ADAMS, COLORADO

### PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN

#### SHEET 6: LANDSCAPE NOTES

#### LANDSCAPE NOTES

1. THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLANS AND SPECIFICATIONS AS CLOSELY AS POSSIBLE. ANY SUBSTITUTION OR ALTERATION SHALL NOT BE ALLOWED WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE. OVERALL PLANT QUANTITY AND QUALITY SHALL BE CONSISTENT WITH THE PLANS.
2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. GRAPHIC QUANTITIES TAKES PRECEDENCE OVER WRITTEN QUANTITIES.
3. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND TAG ALL PLANT MATERIAL PRIOR TO SHIPPING TO THE SITE. IN ALL CASES, THE OWNER'S REPRESENTATIVE MAY REJECT PLANT MATERIAL AT THE SITE IF MATERIAL IS DAMAGED, DISEASED, OR DECLINING IN HEALTH AT THE TIME OF ONSITE INSPECTIONS OR IF THE PLANT MATERIAL DOES NOT MEET THE MINIMUM SPECIFIED STANDARD IDENTIFIED ON THE PLANS AND IN THE SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL MATERIALS AND PRODUCTS PRIOR TO INSTALLATION.
4. THE OWNER'S REPRESENTATIVE MAY ELECT TO UPSIZE PLANT MATERIAL AT THEIR DISCRETION BASED ON SELECTION, AVAILABILITY, OR TO ENHANCE SPECIFIC AREAS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY PLANT MATERIAL SIZES WITH OWNER'S REPRESENTATIVE PRIOR TO PURCHASING, SHIPPING OR STOCKING OF PLANT MATERIALS. SUBMIT CHANGE ORDER REQUEST TO OWNER'S REPRESENTATIVE FOR APPROVAL IF ADDITIONAL COST IS REQUESTED BY THE CONTRACTOR PRIOR TO INSTALLATION. RE-STOCKING CHARGES WILL NOT BE APPROVED IF THE CONTRACTOR FAILS TO SUBMIT A REQUEST FOR MATERIAL CHANGES.
5. THE CONTRACTOR SHALL WARRANTY ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED BY THE OWNER'S REPRESENTATIVE FOR THE ENTIRE PROJECT UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS OR SPECIFICATIONS.
6. REFER TO IRRIGATION PLANS FOR LIMITS AND TYPES OF IRRIGATION DESIGNED FOR THE LANDSCAPE. IN NO CASE SHALL IRRIGATION BE EMITTED WITHIN THE MINIMUM DISTANCE FROM BUILDING OR WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT. ALL IRRIGATION DISTRIBUTION LINES, HEADS AND EMITTERS SHALL BE KEPT OUTSIDE THE MINIMUM DISTANCE AWAY FROM ALL BUILDING AND WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT.
7. LANDSCAPE MATERIAL LOCATIONS SHALL HAVE PRECEDENCE OVER IRRIGATION MAINLINE AND LATERAL LOCATIONS. COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.
8. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE EXISTS IN ALL LANDSCAPE AREAS. SURFACE DRAINAGE ON LANDSCAPE AREAS SHALL NOT FLOW TOWARD STRUCTURES AND FOUNDATIONS. MAINTAIN SLOPE AWAY FROM FOUNDATIONS PER THE GEOTECHNICAL REPORT RECOMMENDATIONS. ALL LANDSCAPE AREAS BETWEEN WALKS AND CURBS SHALL DRAIN FREELY TO THE CURB UNLESS OTHERWISE IDENTIFIED ON THE GRADING PLAN. IN NO CASE SHALL THE GRADE, TURF THATCH, OR OTHER LANDSCAPE MATERIALS DAM WATER AGAINST WALKS. MINIMUM SLOPES ON LANDSCAPE AREAS SHALL BE 2%; MAXIMUM SLOPE SHALL BE 25% UNLESS SPECIFICALLY IDENTIFIED ON THE PLANS OR APPROVED BY THE OWNER'S REPRESENTATIVE.
9. PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENED TO A DEPTH OF 8" - 12" AND AMENDED PER SPECIFICATIONS.
10. ALL LANDSCAPED AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION AT 5 cu.yrds/1,000sf OR AS NOTED IN THE TECHNICAL SPECIFICATIONS.
11. TREES SHALL NOT BE LOCATED IN DRAINAGE SWALES, DRAINAGE AREAS, OR UTILITY EASEMENTS. CONTACT OWNER'S REPRESENTATIVE FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS PRIOR TO INSTALLATION.
12. THE CENTER OF EVERGREEN TREES SHALL NOT BE PLACED CLOSER THAN 8' AND THE CENTER OF ORNAMENTAL TREES CLOSER THAN 6' FROM A SIDEWALK, STREET OR DRIVE LANE. EVERGREEN TREES SHALL NOT BE LOCATED ANY CLOSER THAN 15' FROM IRRIGATION ROTOR HEADS. NOTIFY OWNER'S REPRESENTATIVE IF TREE LOCATIONS CONFLICT WITH THESE STANDARDS FOR FURTHER DIRECTION.
13. ALL EVERGREEN TREES SHALL BE FULLY BRANCHED TO THE GROUND AND SHALL NOT EXHIBIT SIGNS OF ACCELERATED GROWTH AS DETERMINED BY THE OWNER'S REPRESENTATIVE.
14. ALL TREES ARE TO BE STAKED AND GUYED PER DETAILS FOR A PERIOD OF 1 YEAR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING STAKES AT THE END OF 1 YEAR FROM ACCEPTANCE OF LANDSCAPE INSTALLATION BY THE OWNER'S REPRESENTATIVE. OBTAIN APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.
15. ALL TREES INSTALLED ABOVE RETAINING WALLS UTILIZING GEO-GRID MUST BE HAND DUG TO PROTECT GEO-GRID. IF GEO-GRID MUST BE CUT TO INSTALL TREES, APPROVAL MUST BE GIVEN BY OWNER'S REPRESENTATIVE PRIOR TO DOING WORK.
16. ALL TREES IN SEED OR TURF AREAS SHALL RECEIVE MULCH RINGS. OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE FOR ANY TREES THAT WILL NOT BE MULCHED FOR EXCESSIVE MOISTURE REASONS.
17. SHRUB, GROUND COVER AND PERENNIAL BEDS ARE TO BE CONTAINED BY 1/4" x 14 GAUGE GREEN, ROLL TOP, INTERLOCKING TYPE EDGER, RYERSON OR EQUAL. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS, WALKS OR SOLID FENCES WITHIN 3" OF PRE-MULCHED FINAL GRADE. EDGER SHALL NOT BE REQUIRED TO SEPARATE MULCH TYPES UNLESS SPECIFIED ON THE PLANS.
18. ALL SHRUB BEDS ARE TO BE MULCHED WITH MIN. 3" DEPTH, 1" - 2" RIVER ROCK LANDSCAPE MULCH OVER SPECIFIED GEOTEXTILE WEED CONTROL FABRIC. ALL GROUND COVER AND PERENNIAL FLOWER BEDS SHALL BE MULCHED WITH 2" DEPTH 3/4" RIVER ROCK LANDSCAPE MULCH. NO WEED CONTROL FABRIC IS REQUIRED IN GROUND COVER OR PERENNIAL AREAS.
19. AT SEED AREA BOUNDARIES ADJACENT TO EXISTING NATIVE AREAS, OVERLAP ABUTTING NATIVE AREAS BY THE FULL WIDTH OF THE SEEDER.
20. EXISTING TURF AREAS THAT ARE DISTURBED DURING CONSTRUCTION, ESTABLISHMENT AND THE MAINTENANCE PERIOD SHALL BE RESTORED WITH NEW SOD TO MATCH EXISTING TURF SPECIES. DISTURBED NATIVE AREAS WHICH ARE TO REMAIN SHALL BE OVER SEEDDED AND RESTORED WITH SPECIFIED SEED MIX.
21. CONTRACTOR SHALL OVER SEED ALL MAINTENANCE OR SERVICE ACCESS BENCHES AND ROADS WITH SPECIFIED SEED MIX UNLESS OTHERWISE NOTED ON THE PLANS.
22. ALL SEEDDED SLOPES EXCEEDING 25% IN GRADE (4:1) SHALL RECEIVE EROSION CONTROL BLANKETS. PRIOR TO INSTALLATION, NOTIFY OWNER'S REPRESENTATIVE FOR APPROVAL OF LOCATION AND ANY ADDITIONAL COST IF A CHANGE ORDER IS NECESSARY.
23. WHEN COMPLETE, ALL GRADES SHALL BE WITHIN +/- 1/8" OF FINISHED GRADES AS SHOWN ON THE PLANS.

OXENFREE AT WELBY  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO

OWNER:  
 COSMIF FARMS LP  
 6726 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR  
 CONSTRUCTION

DATE:  
 08/18/23-FDP/PU0.01

SHEET TITLE:  
 LANDSCAPE  
 NOTES

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# OXENFREE AT WELBY

## IN THE COUNTY OF ADAMS, COLORADO

### PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN

#### SHEET 7: LANDSCAPE SCHEDULE

#### PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
AC GM	65	ACER SACCHARUM 'GREEN MOUNTAIN' TM	GREEN MOUNTAIN SUGAR MAPLE	B & B	2" CAL
CA SP	13	CATALPA SPECIOSA	NORTHERN CATALPA	B & B	2" CAL
CE OC	10	CELTIS OCCIDENTALIS	COMMON HACKBERRY	B & B	2" CAL
GL SH	65	GLEDTISIA TRIACANTHOS INERMIS 'SHADEMASTER' TM	SHADEMASTER LOCUST	B & B	2" CAL
GY DI	20	GYMNOCLADUS DIOICA 'ESPRESSO'	KENTUCKY COFFEETREE	B & B	2" CAL
QU RO	28	QUERCUS ROBUR	ENGLISH OAK	B & B	2" CAL
QU SH	12	QUERCUS SHUMARDII	SHUMARD RED OAK	B & B	2" CAL
TI GR	12	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LITTLELEAF LINDEN	B & B	2" CAL
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
AB CO	5	ABIES CONCOLOR	WHITE FIR	B & B	6' HEIGHT
JU SP	11	JUNIPERUS CHINENSIS 'SPARTAN'	SPARTAN JUNIPER	B & B	6' HEIGHT
PI DE	29	PICEA GLAUCA 'DENSATA'	BLACK HILLS SPRUCE	B & B	6' HEIGHT
PI PU	21	PICEA PUNGENS	COLORADO SPRUCE	B & B	6' HEIGHT
PI BA	20	PICEA PUNGENS GLAUCA 'BAKERI'	BAKERI BLUE SPRUCE	B & B	6' HEIGHT
PI HE	4	PINUS HELDREICHII	BOSNIAN PINE	B & B	6' HEIGHT
PI NI	13	PINUS NIGRA	AUSTRIAN BLACK PINE	B & B	6' HEIGHT
PI PO	12	PINUS PONDEROSA	PONDEROSA PINE	B & B	6' HEIGHT
PI SY	10	PINUS SYLVESTRIS	SCOTCH PINE	B & B	6' HEIGHT
ORNAMENTAL TREES	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
AM AB	26	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	B & B	1.5" CAL
CE CA	6	CERCIS CANADENSIS	EASTERN REDBUD	B & B	1.5" CAL
CR AM	10	CRATAEGUS AMBIGUA	RUSSIAN HAWTHORN	B & B	1.5" CAL
MA RA	37	MALUS X 'RADIANT'	RADIANT CRAB APPLE	B & B	1.5" CAL
MA SS	68	MALUS X 'SPRING SNOW'	SPRING SNOW CRAB APPLE	B & B	1.5" CAL
PR NE	61	PRUNUS X 'NEWPORT'	NEWPORT FLOWERING PLUM	B & B	1.5" CAL
PY CA	27	PYRUS CALLERYANA CHANTICLEER	CHANTICLEER PEAR	B & B	1.5" CAL
DECIDUOUS SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
BE BU	14	BERBERIS THUNBERGII 'BAILTWO' TM	BURGUNDY CAROUSEL BARBERRY	CONT.	#5
BE CP	48	BERBERIS THUNBERGII 'CRIMSON PYGMY'	CRIMSON PYGMY BARBERRY	CONT.	#5
CA MR	58	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'	BLUE MIST SPIREA	CONT.	#5
CA DA	256	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT'	DARK KNIGHT BLUEBEARD	CONT.	#5
CO AF	34	CORNUS SERICEA 'ARCTIC FIRE'	ARCTIC FIRE DOGWOOD	CONT.	#5
CO BA	15	CORNUS SERICEA 'BAILEY'	BAYLEY'S RED TWIG DOGWOOD	CONT.	#5
CY SP	7	CYTISUS PURGANS 'SPANISH GOLD'	SPANISH GOLD BROOM	CONT.	#5
EU AL	38	EUONYMUS ALATUS 'COMPACTUS'	COMPACT BURNING BUSH	CONT.	#5
HY FR	313	HYPERICUM FRONDOSUM 'SUNBURST'	SUNBURST ST. JOHN'S WORT	CONT.	#5
LI CH	4	LIGUSTRUM VULGARE 'CHEYENNE'	CHEYENNE PRIVET	CONT.	#5
LI LO	27	LIGUSTRUM VULGARE 'LODENSE'	LODENSE PRIVET	CONT.	#5
LO KO	5	LONICERA KOROLKOWII 'BLUE VELVET'	BLUE VELVET HONEYSUCKLE	CONT.	#5
PE AB	115	PEROVSKIA ABROTANOIDES	RUSSIAN SAGE	CONT.	#5
PE LS	13	PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE' TM	LITTLE SPIRE RUSSIAN SAGE	CONT.	#5
PH BE	84	PHYSOCARPUS OPULIFOLIUS 'MONLO'	DIABOLO® NINEBARK	CONT.	#5
PO FR	8	POTENTILLA FRUTICOSA	BUSH CINQUEFOIL	CONT.	#5
PO MW	23	POTENTILLA FRUTICOSA 'MCKAY'S WHITE'	MCKAY'S WHITE BUSH CINQUEFOIL	CONT.	#5
PO PB	35	POTENTILLA FRUTICOSA 'PINK BEAUTY'	PINK BEAUTY POTENTILLA	CONT.	#5
PR PB	109	PRUNUS BESSEYI PAWNEE BUTTES	CREeping WESTERN SAND CHERRY	CONT.	#5
PR RP	9	PRUNUS GLANDULOSA 'ROSEA PLENA'	PINK FLOWERING ALMOND	CONT.	#5
RI GR	34	RIBES ALPINUM 'GREEN MOUND'	GREEN MOUND ALPINE CURRANT	CONT.	#5
RO BO	19	ROSA BONICA	BONICA ROSE	CONT.	#5
SY MK	25	SYRINGA PATULA 'MISS KIM'	MISS KIM LILAC	CONT.	#5
SY VU	44	SYRINGA VULGARIS	COMMON PURPLE LILAC	CONT.	#5
VI LA	51	VIBURNUM LANTANA 'MOHICAN'	MOHICAN WAYFARING TREE	CONT.	#5
EVERGREEN SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
CO AP	10	COTONEASTER APICULATUS	CRANBERRY COTONEASTER	CONT.	#5
EU EG	65	EUONYMUS FORTUNEI 'EMERALD GAITY' TM	EMERALD GAITY EUONYMUS	CONT.	#5
JU BH	153	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR CREEPING JUNIPER	CONT.	#5
JU BR	18	JUNIPERUS SABINA 'BROADMOOR'	BROADMOOR JUNIPER	CONT.	#5
JU BU	48	JUNIPERUS SABINA 'BUFFALO'	BUFFALO JUNIPER	CONT.	#5
PI MO	10	PINUS MUGO 'MOPS'	MUGO PINE	CONT.	#5
PI BI	38	PINUS MUGO 'BIG TUNA'	BIG TUNA MUGO PINE	CONT.	#15
ORNAMENTAL GRASSES	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
BO BA	107	BOUTELOUA GRACILIS 'BLONDE AMBITION'	BLOND AMBITION BLUE GRAMA GRASS	CONT.	#1
CA BR	100	CALAMAGROSTIS BRACHYTRICHA	KOREAN FEATHER REED GRASS	CONT.	#1
CA KF	255	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	CONT.	#1
HE SE	76	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	CONT.	#1
MI ML	239	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT MAIDEN GRASS	CONT.	#1
MU RE	49	MUHLENBERGIA REVERCHONI 'UNDAUNTED'	UNDAUNTED MUHLY	CONT.	#1
NA TE	84	NASSELLA TENUISSIMA	MEXICAN FEATHER GRASS	CONT.	#1
PA SH	192	PANICUM VIRGATUM 'SHENANDOAH'	SWITCH GRASS	CONT.	#1
PE HA	63	PENNISSETUM ALOPECUROIDES 'HAMELN'	HAMELN FOUNTAIN GRASS	CONT.	#1
PE OR	83	PENNISSETUM ORIENTALE	ORIENTAL FOUNTAIN GRASS	CONT.	#1
SC SC	241	SCHIZACHYRIUM SCOPARIUM 'BLAZE'	BLAZE LITTLE BLUESTEM	CONT.	#1
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
AC MO	24	ACHILLEA X 'MOONSHINE'	MOONSHINE YARROW	CONT.	#1
CE RU	22	CENTRANTHUS RUBER	RED VALERIAN	CONT.	#1
HE ST	31	HEMEROCALLIS X 'STELLA DE ORO'	STELLA DE ORO DAYLILY	CONT.	#1
RU FU	72	RUDBECKIA FULGIDA 'GOLDSTRUM'	BLACK-EYED SUSAN	CONT.	#1
SA MN	66	SALVIA X SYLVESTRIS 'MAY NIGHT'	MAY NIGHT SALVIA	CONT.	#1
SE AJ	12	SEDUM X 'AUTUMN JOY'	AUTUMN JOY SEDUM	CONT.	#1

#### STREET TREE REQUIREMENTS

STREET NAME	STREET LENGTH	TREES REQUIRED (1 per 40 LF)	TREES PROVIDED	SHRUBS REQUIRED (3 per 40 LF)	SHRUBS PROVIDED
E. 78th AVE.	1121	28	27	84	121
E. 79th AVE. *	1388				
COLUMBINE ST.	585	15	14	44	49
E 78th PL.	1204	30	30	90	98
E 78th PL. (50' ROW) **	437				
JOSEPHINE ST.	878	22	22	98	64
CLAYTON ST.	940	24	23	71	69
FILLMORE ST.	1104	28	27	83	77
FILLMORE CT.	833	21	20	62	34
<b>TOTAL</b>		<b>167</b>	<b>163</b>	<b>532</b>	<b>512</b>

\* SEE 79TH AVEE BUFFER CHART  
 \*\* TREES & SHRUBS ADDED TO ADJACENT LANDSCAPE

#### BUFFER PLANTING REQUIREMENTS

BUFFER LOCATION	BUFFER LENGTH (LF)	TREES REQUIRED (2 per 40 LF)	TREES PROVIDED	SHRUBS REQUIRED (5 per 40 LF)	SHRUBS PROVIDED
E. 78th AVE	1121	56	56	84	90
E. 79th AVE	827	41	46	62	84
<b>TOTAL</b>	<b>1948</b>	<b>97</b>	<b>102</b>	<b>146</b>	<b>174</b>

#### COMMON AREA LANDSCAPE REQUIREMENTS

TOTAL COMMON OPEN SPACE (SF)	TREES REQUIRED (1 shade OR 2 Orn/Ever per 1500 sf)	TREES PROVIDED	SHRUBS REQUIRED (3 per 1500 sf)	SHRUBS PROVIDED
510,368	340	324	1021	1583

#### TEXAS HYBRID SOD

REVEILLE TEXAS BLUEGRASS BLEND (OR APPROVED EQUAL) - PROVIDED BY BITTERSWEET TURF FARMS

#### NATIVE LAWN MIX BY PAWNEE BUTTES SEED, INC.

COMMON NAME	% OF MIX	PLS/ACRE
BUFFALOGRASS	90%	
BLUE GRAMA	10%	
<b>TOTAL 100%</b>		<b>2-3 LBS/1000 SF</b>

#### NATIVE SEED / WILDFLOWER MIX

	% OF TOTAL	PLS/ACRE
WESTERN WHEATGRASS	19%	3.5
THICK SPIKE WHEATGRASS	21%	4.0
SIDEOATS GRAMA	16%	3.0
BLUE GRAMA	5%	1.0
LITTLE BLUESTEM	11%	2.0
PRAIRIE SANDREED	6%	1.2
SAND DROPSEED	0.1%	0.02
RUBBER RABBITBRUSH	0.5%	0.1
FRINGED SAGE	0.2%	0.05
GAYFEATHER	4%	0.8
LARGE-FLOWERED PENSTEMON	2%	0.4
CONEFLOWER	4%	0.8
BLANKETFLOWER	4%	0.8
SCARLET GILLIA	1%	0.2
MEXICAN HAT	4%	0.8
WESTERN YARROW	0.1%	0.01
PURPLE CONEFLOWER	8%	1.5
<b>TOTAL</b>	<b>100%</b>	<b>18.68 LBS./AC.</b>

NOTE: DRILL SEED RATES OF 18.68 LBS OF PURE LIVE SEE (PLS) PER ACRE. PURITY AND GERMINATION TESTS FOR ALL SEED SHOULD BE LESS THAN ON YEAR OLD. A COVER CROP OF REGREEN MUST BE ADDED IN ADDITION TO THE SEED MIX ABOVE AT A RATE OF 5.0 PLS.



NOT FOR CONSTRUCTION

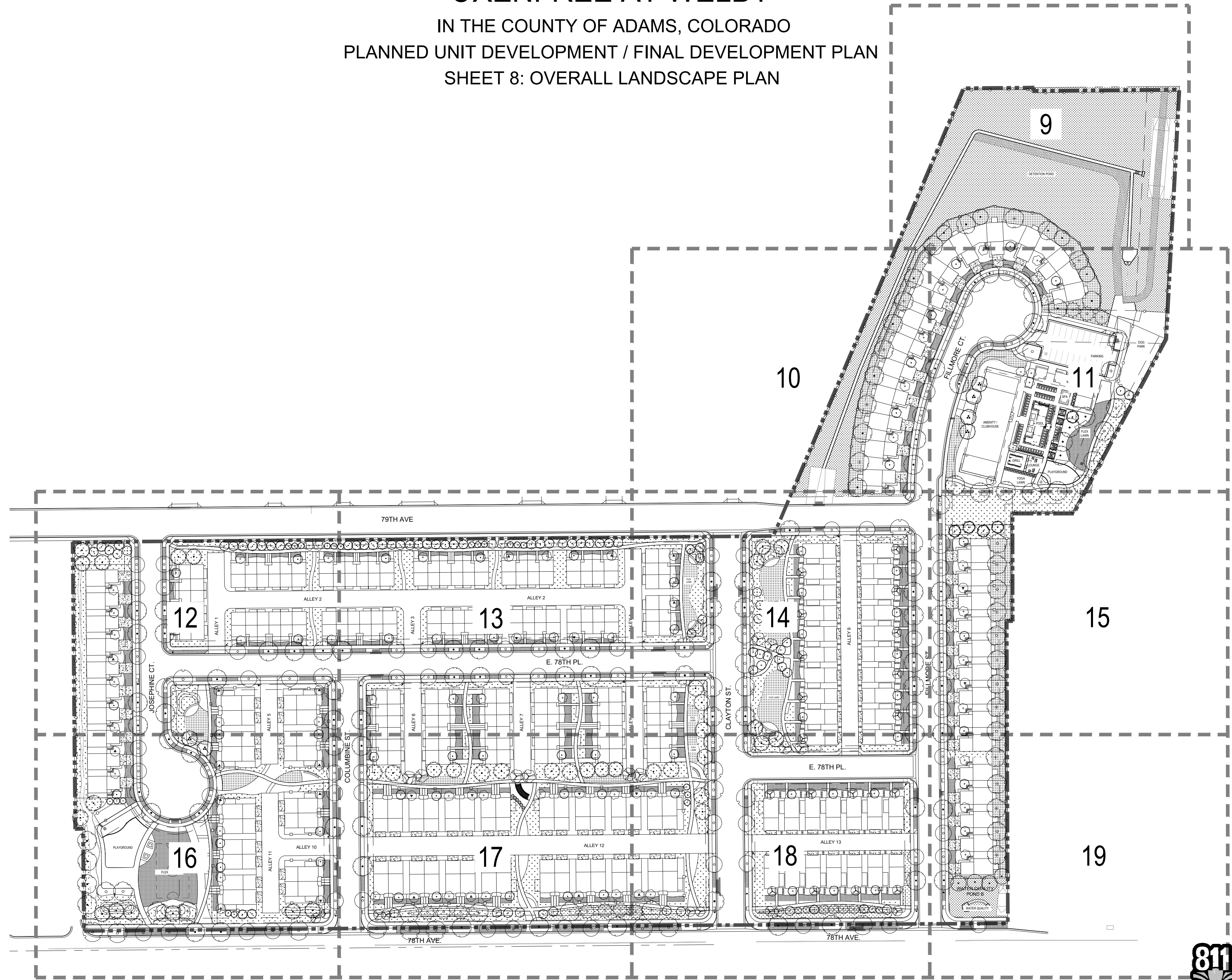
DATE:  
08/18/23-FDP/PUO\_01

SHEET TITLE:  
LANDSCAPE SCHEDULE



# OXENFREE AT WELBY

IN THE COUNTY OF ADAMS, COLORADO  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 SHEET 8: OVERALL LANDSCAPE PLAN



OXENFREE AT WELBY  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO

OWNER:  
 COSMIF FARMS LP  
 6726 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR  
 CONSTRUCTION

DATE:  
 08/16/23-FDP/PPUD 01

SHEET TITLE:  
 OVERALL  
 LANDSCAPE PLAN





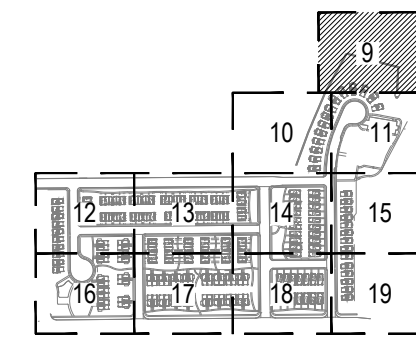
# OXENFREE AT WELBY

## IN THE COUNTY OF ADAMS, COLORADO

### PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN

#### SHEET 9: LANDSCAPE PLAN

#### KEY MAP



#### SITE AMENITIES LEGEND

CODE	LANDSCAPE MATERIALS
M-01	SHRUB BED AREA
M-02	COBBLE
M-03	CRUSHER FINES
M-04	PLAY SURFACE
M-05	ARTIFICIAL TURF
M-06	STEEL EDGER
M-07	LANDSCAPE PAVER
M-08	PICKET FENCE - YARD
M-09	SPLIT RAIL FENCE

#### CODE NOTATION DESCRIPTION

CODE	NOTATION DESCRIPTION
N-01	BUILT-IN BERM SEAT
N-02	CURVED BENCH
N-03	TRELLIS-GATHERING SPACE
N-04	COVERED MAILBOX KIOSK
N-05	ENTRY SIGN
N-06	PICNIC SHELTER

#### SYMBOL SITE FURNISHINGS

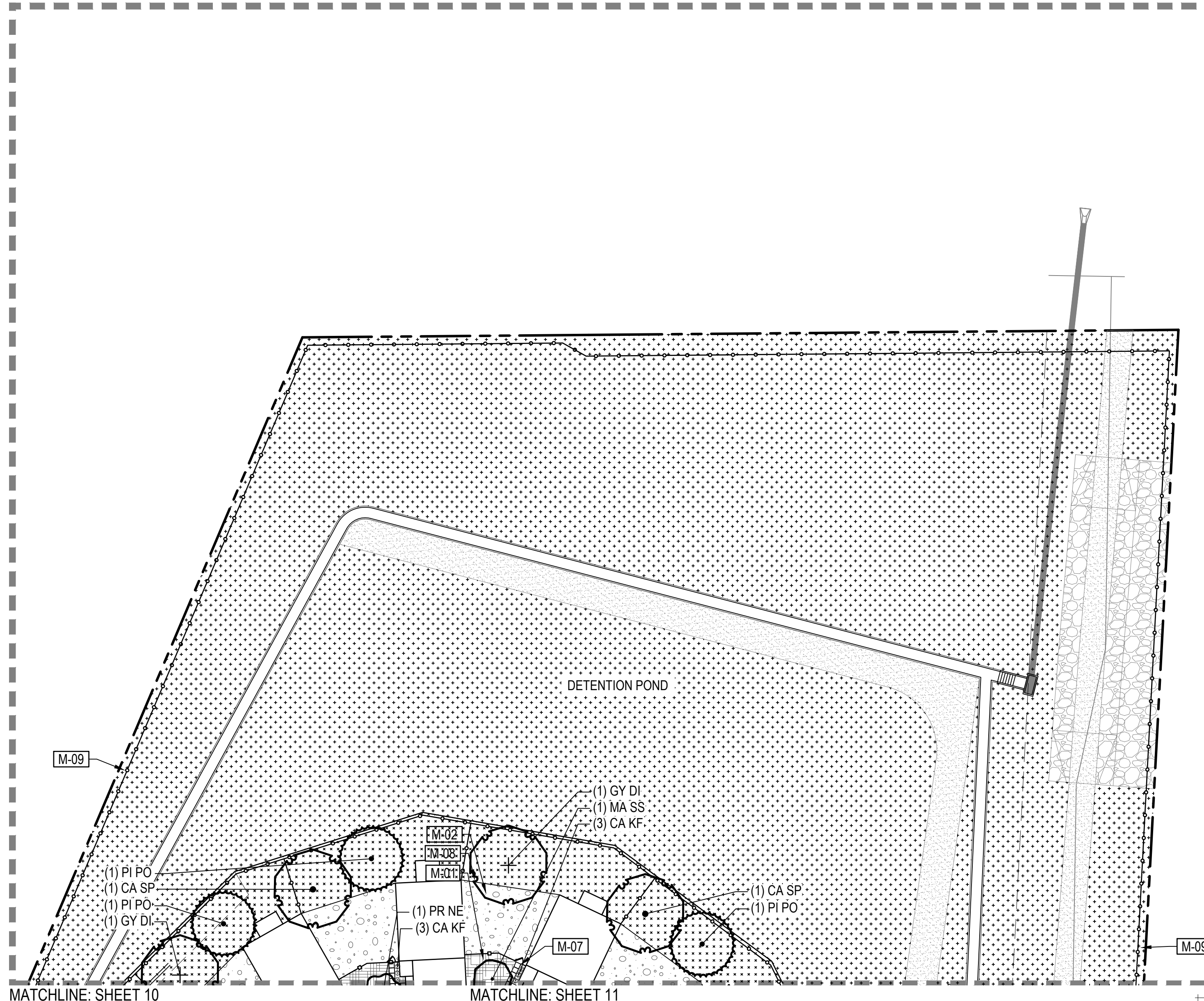
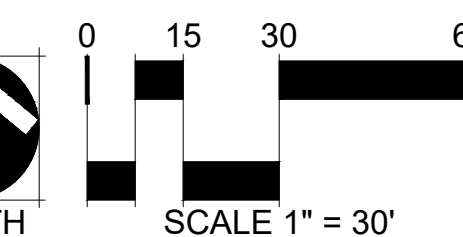
SYMBOL	SITE FURNISHINGS
	S-01 BENCH - 1
	S-03 BIKE RACKS
	S-05 PET STATION
	S-06 FIRE FEATURE
	S-07 RAISED GARDEN BOX

#### PLANT LEGEND

SOD/SEED	COMMON NAME
	NATIVE LAWN MIX
	NATIVE SEED / WILDFLOWER MI.
	TEXAS HYBRID SOD
	NATIVE WETLAND MIX

#### LEGEND

	PROPERTY LINE / RIGHT-OF-WAY
	MATCHLINE
	SIGHT TRIANGLE



MATCHLINE: SHEET 10

MATCHLINE: SHEET 11

OXENFREE AT WELBY  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO

OWNER:  
 COSMIF FARMS LP  
 6726 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR  
 CONSTRUCTION

DATE:  
 08/16/23-FDP/PUD.01

SHEET TITLE:  
 LANDSCAPE  
 PLAN

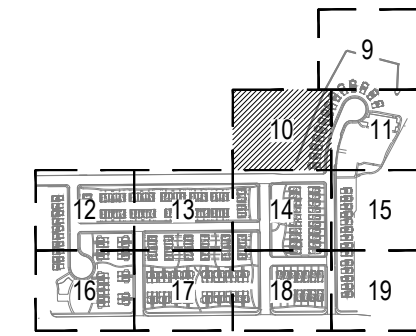
9 OF 62



# OXENFREE AT WELBY

IN THE COUNTY OF ADAMS, COLORADO  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 SHEET 10: LANDSCAPE PLAN

**KEY MAP**



**SITE AMENITIES LEGEND**

CODE	LANDSCAPE MATERIALS
M-01	SHRUB BED AREA
M-02	COBBLE
M-03	CRUSHER FINES
M-04	PLAY SURFACE
M-05	ARTIFICIAL TURF
M-06	STEEL EDGER
M-07	LANDSCAPE PAVER
M-08	PICKET FENCE - YARD
M-09	SPLIT RAIL FENCE

CODE	NOTATION DESCRIPTION
N-01	BUILT-IN BERM SEAT
N-02	CURVED BENCH
N-03	TRELLIS-GATHERING SPACE
N-04	COVERED MAILBOX KIOSK
N-05	ENTRY SIGN
N-06	PICNIC SHELTER

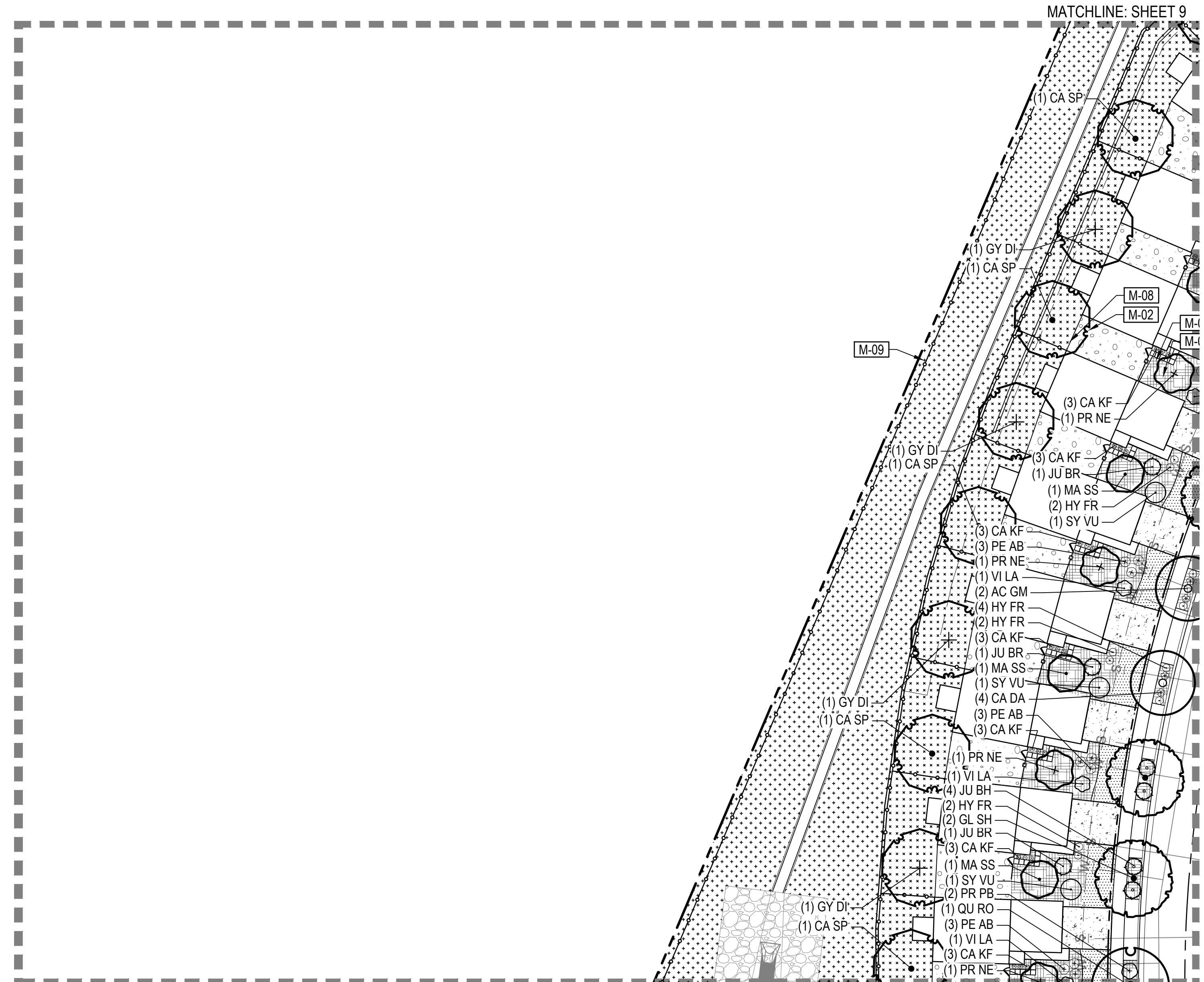
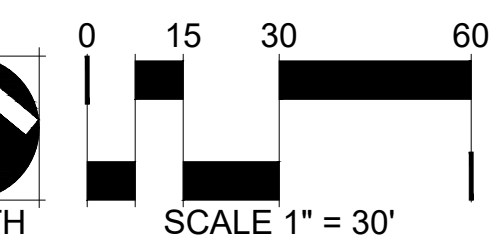
SYMBOL	SITE FURNISHINGS
S-01	BENCH - 1
S-03	BIKE RACKS
S-05	PET STATION
S-06	FIRE FEATURE
S-07	RAISED GARDEN BOX

**PLANT LEGEND**

SOD/SEED	COMMON NAME
[Symbol]	NATIVE LAWN MIX
[Symbol]	NATIVE SEED / WILDFLOWER MI.
[Symbol]	TEXAS HYBRID SOD
[Symbol]	NATIVE WETLAND MIX

**LEGEND**

[Symbol]	PROPERTY LINE / RIGHT-OF-WAY
[Symbol]	MATCHLINE
[Symbol]	SIGHT TRIANGLE



MATCHLINE: SHEET 14

OXENFREE AT WELBY  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO

OWNER:  
 COSMIF FARMS LP  
 6726 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR  
 CONSTRUCTION

DATE:  
 08/16/23-FDP/PU01

SHEET TITLE:  
 LANDSCAPE  
 PLAN

10 OF 62

CHECKED BY: XX  
 DRAWN BY: XX



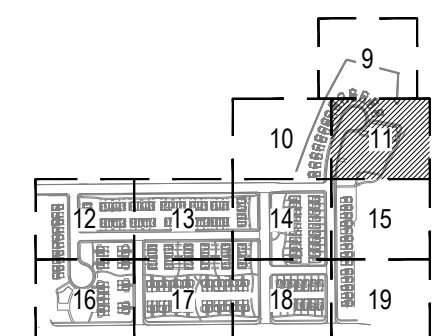
# OXENFREE AT WELBY

## IN THE COUNTY OF ADAMS, COLORADO

### PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN

#### SHEET 11: LANDSCAPE PLAN

#### KEY MAP



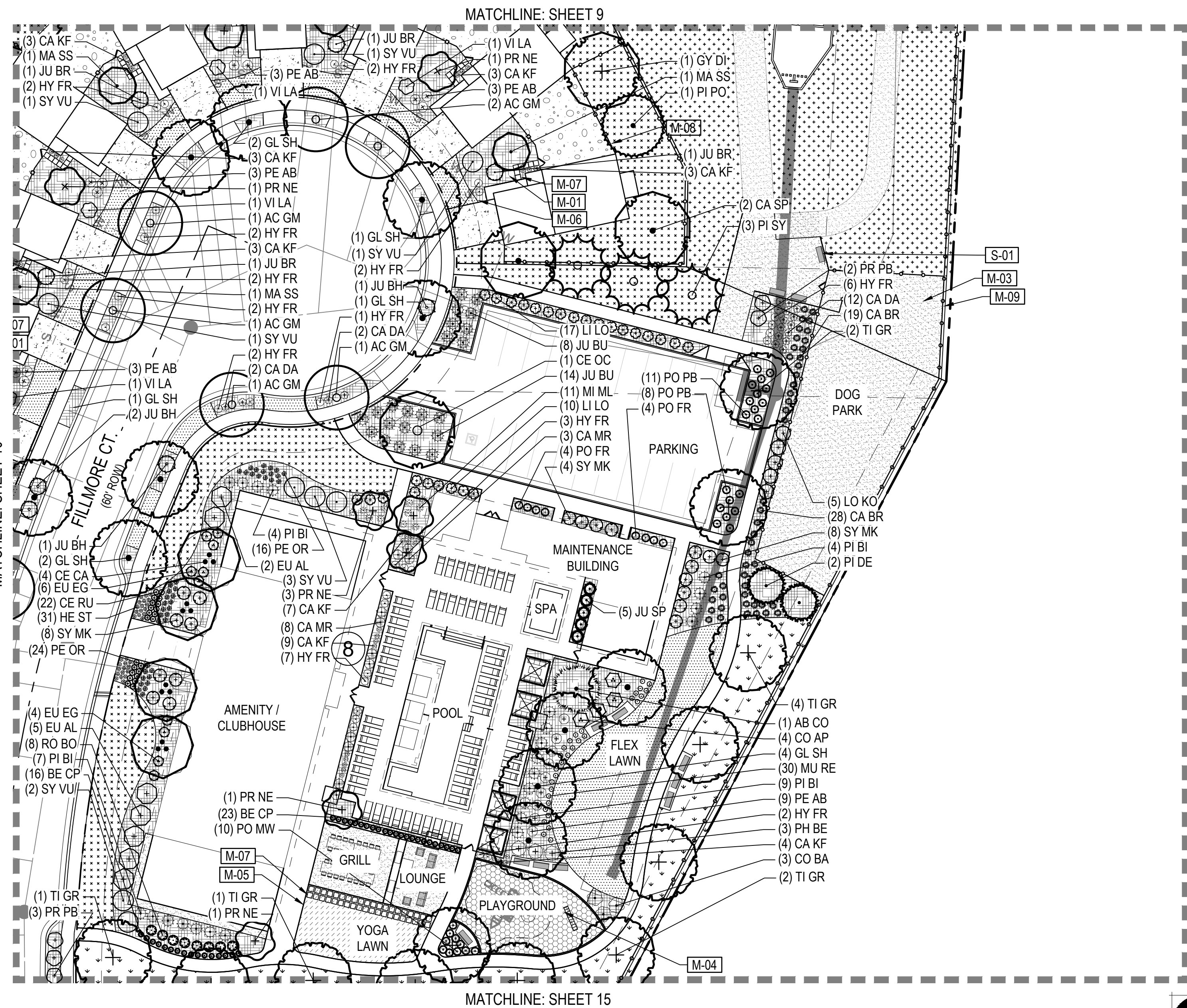
OXENFREE AT WELBY  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO

OWNER:  
 COSMIF FARMS LP  
 6726 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR CONSTRUCTION

DATE:  
 08/16/23-FDP/PUD 01

SHEET TITLE:  
 LANDSCAPE PLAN



#### SITE AMENITIES LEGEND

CODE	LANDSCAPE MATERIALS
M-01	SHRUB BED AREA
M-02	COBBLE
M-03	CRUSHER FINES
M-04	PLAY SURFACE
M-05	ARTIFICIAL TURF
M-06	STEEL EDGER
M-07	LANDSCAPE PAVER
M-08	PICKET FENCE - YARD
M-09	SPLIT RAIL FENCE

CODE	NOTATION DESCRIPTION
N-01	BUILT-IN BERM SEAT
N-02	CURVED BENCH
N-03	TRELLIS-GATHERING SPACE
N-04	COVERED MAILBOX KIOSK
N-05	ENTRY SIGN
N-06	PICNIC SHELTER

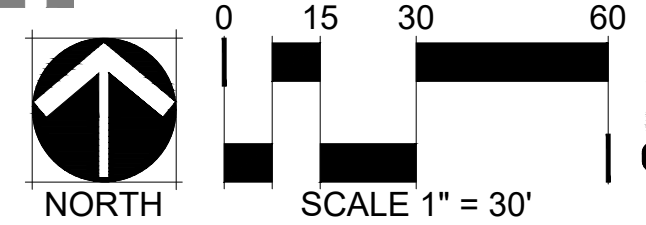
SYMBOL	SITE FURNISHINGS
S-01	BENCH - 1
S-03	BIKE RACKS
S-05	PET STATION
S-06	FIRE FEATURE
S-07	RAISED GARDEN BOX

#### PLANT LEGEND

SOD/SEED	COMMON NAME
[Symbol]	NATIVE LAWN MIX
[Symbol]	NATIVE SEED / WILDFLOWER MI.
[Symbol]	TEXAS HYBRID SOD
[Symbol]	NATIVE WETLAND MIX

#### LEGEND

[Symbol]	PROPERTY LINE / RIGHT-OF-WAY
[Symbol]	MATCHLINE
[Symbol]	SIGHT TRIANGLE



CHECKED BY: XX  
 DRAWN BY: XX



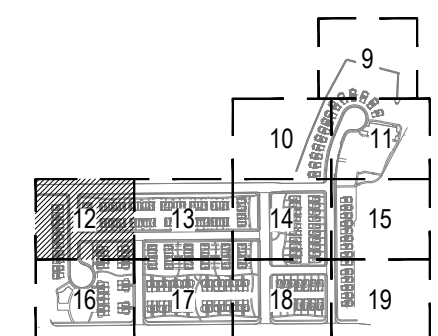
# OXENFREE AT WELBY

## IN THE COUNTY OF ADAMS, COLORADO

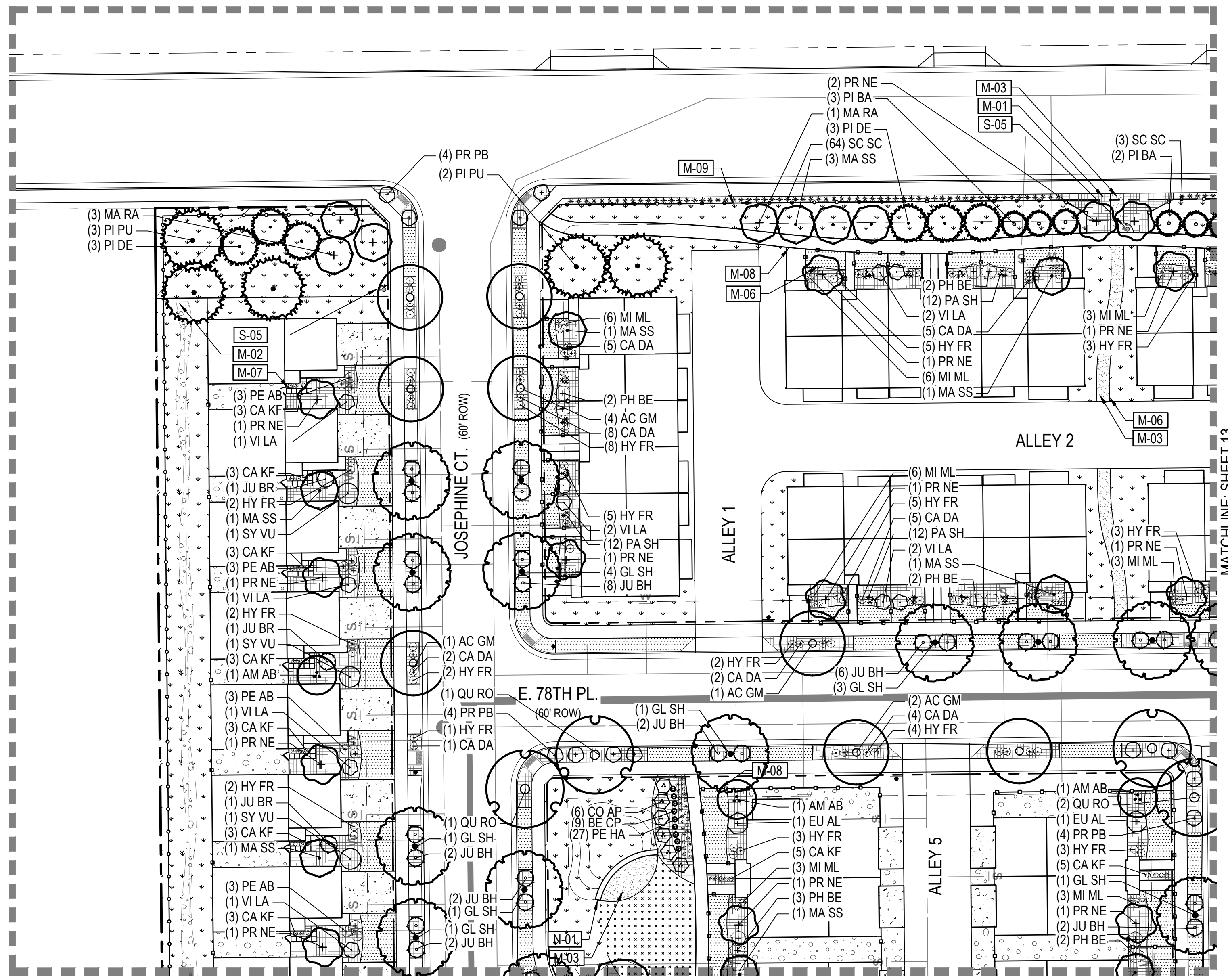
### PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN

#### SHEET 12: LANDSCAPE PLAN

#### KEY MAP



**NORRIS DESIGN**  
 PEOPLE + PLACEMAKING  
 1101 BANNOCK STREET  
 DENVER, CO 80204  
 P 303.892.1166  
 NORRIS-DESIGN.COM



#### SITE AMENITIES LEGEND

CODE	LANDSCAPE MATERIALS
M-01	SHRUB BED AREA
M-02	COBBLE
M-03	CRUSHER FINES
M-04	PLAY SURFACE
M-05	ARTIFICIAL TURF
M-06	STEEL EDGER
M-07	LANDSCAPE PAVER
M-08	PICKET FENCE - YARD
M-09	SPLIT RAIL FENCE

CODE	NOTATION DESCRIPTION
N-01	BUILT-IN BERM SEAT
N-02	CURVED BENCH
N-03	TRELLIS-GATHERING SPACE
N-04	COVERED MAILBOX KIOSK
N-05	ENTRY SIGN
N-06	PICNIC SHELTER

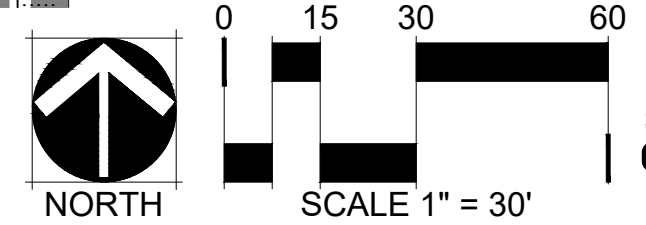
SYMBOL	SITE FURNISHINGS
S-01	BENCH - 1
S-03	BIKE RACKS
S-05	PET STATION
S-06	FIRE FEATURE
S-07	RAISED GARDEN BOX

#### PLANT LEGEND

SOD/SEED	COMMON NAME
[Symbol]	NATIVE LAWN MIX
[Symbol]	NATIVE SEED / WILDFLOWER MI.
[Symbol]	TEXAS HYBRID SOD
[Symbol]	NATIVE WETLAND MIX

#### LEGEND

[Symbol]	PROPERTY LINE / RIGHT-OF-WAY
[Symbol]	MATCHLINE
[Symbol]	SIGHT TRIANGLE



OXENFREE AT WELBY  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO

OWNER:  
 COSM FIELDS LP  
 6725 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR CONSTRUCTION

DATE:  
 08/16/23-FDP/PUO.01

SHEET TITLE:  
 LANDSCAPE PLAN

CHECKED BY: XX  
 DRAWN BY: XX



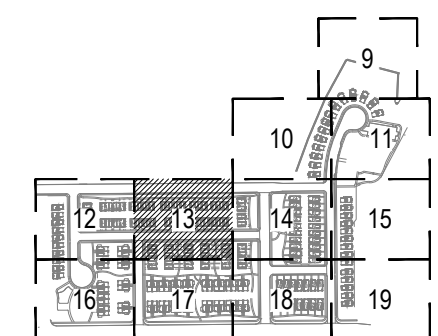
# OXENFREE AT WELBY

## IN THE COUNTY OF ADAMS, COLORADO

### PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN

#### SHEET 13: LANDSCAPE PLAN

#### KEY MAP



**NORRIS DESIGN**  
 PEOPLE + PLACE MAKING  
 1101 BANNOCK STREET  
 DENVER, CO 80204  
 P 303.892.1166  
 NORRIS-DESIGN.COM

#### SITE AMENITIES LEGEND

CODE	LANDSCAPE MATERIALS
M-01	SHRUB BED AREA
M-02	COBBLE
M-03	CRUSHER FINES
M-04	PLAY SURFACE
M-05	ARTIFICIAL TURF
M-06	STEEL EDGER
M-07	LANDSCAPE PAVER
M-08	PICKET FENCE - YARD
M-09	SPLIT RAIL FENCE

CODE	NOTATION DESCRIPTION
N-01	BUILT-IN BERM SEAT
N-02	CURVED BENCH
N-03	TRELLIS-GATHERING SPACE
N-04	COVERED MAILBOX KIOSK
N-05	ENTRY SIGN
N-06	PICNIC SHELTER

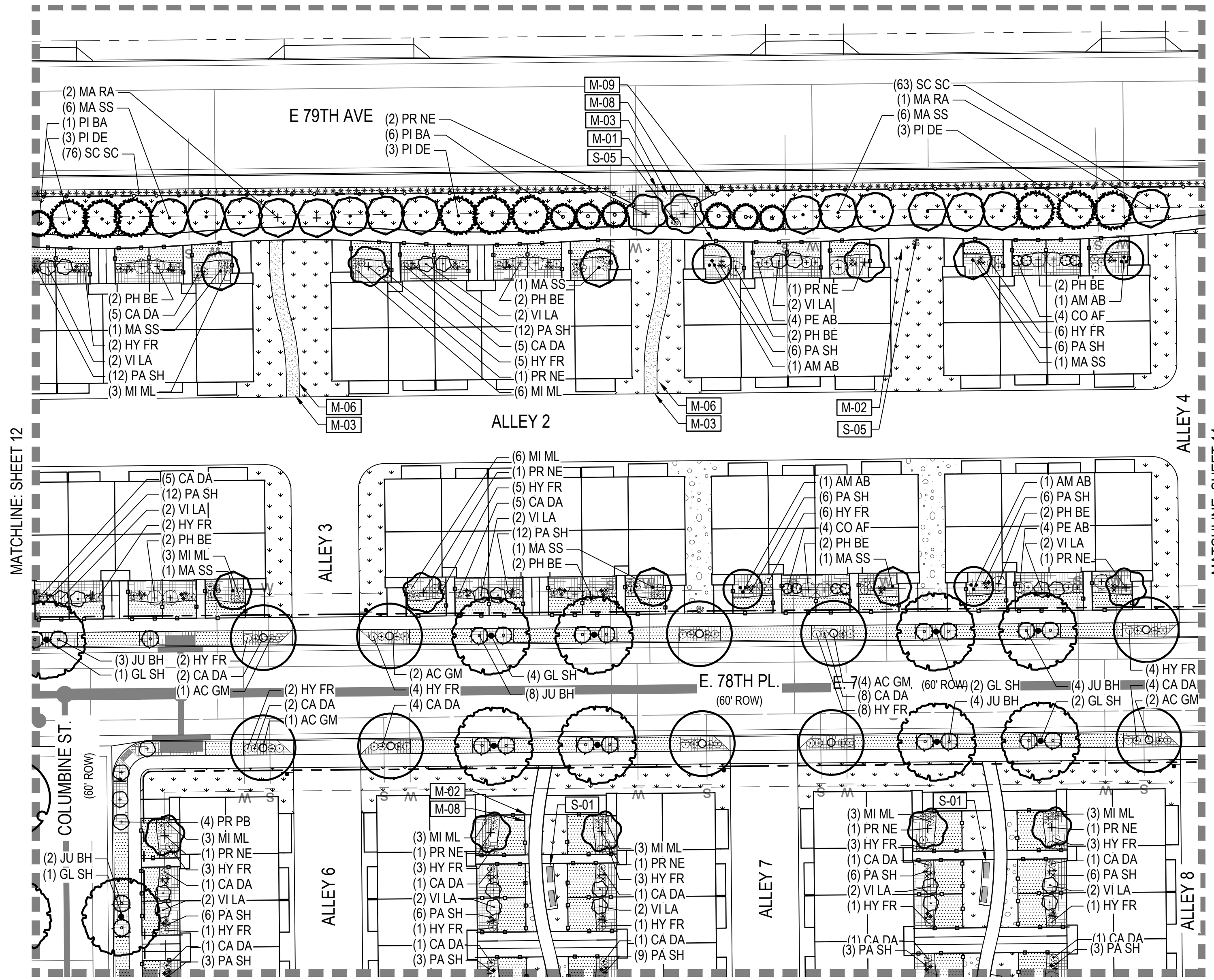
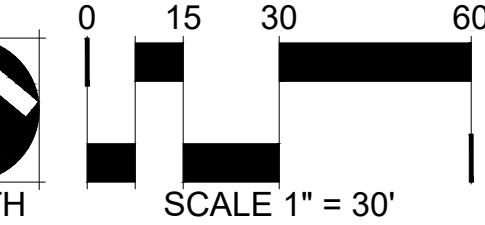
SYMBOL	SITE FURNISHINGS
S-01	BENCH - 1
S-03	BIKE RACKS
S-05	PET STATION
S-06	FIRE FEATURE
S-07	RAISED GARDEN BOX

#### PLANT LEGEND

SOD/SEED	COMMON NAME
[Symbol]	NATIVE LAWN MIX
[Symbol]	NATIVE SEED / WILDFLOWER MI.
[Symbol]	TEXAS HYBRID SOD
[Symbol]	NATIVE WETLAND MIX

#### LEGEND

[Symbol]	PROPERTY LINE / RIGHT-OF-WAY
[Symbol]	MATCHLINE
[Symbol]	SIGHT TRIANGLE



MATCHLINE: SHEET 12

MATCHLINE: SHEET 14

MATCHLINE: SHEET 17

OXENFREE AT WELBY  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO

OWNER:  
 COSM FIELDS LP  
 6725 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR CONSTRUCTION

DATE:  
 08/16/23-FDP/PUD.01

SHEET TITLE:  
 LANDSCAPE PLAN

CHECKED BY: XX  
 DRAWN BY: XX



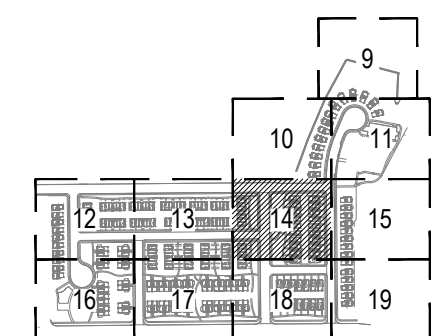
# OXENFREE AT WELBY

## IN THE COUNTY OF ADAMS, COLORADO

### PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN

#### SHEET 14: LANDSCAPE PLAN

#### KEY MAP



**NORRIS DESIGN**  
 PEOPLE + PLACEMAKING  
 1101 BANNOCK STREET  
 DENVER, CO 80204  
 P 303.892.1166  
 NORRIS-DESIGN.COM

OXENFREE AT WELBY  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO

OWNER:  
 COSM FIELDS LP  
 6725 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR  
 CONSTRUCTION

DATE:  
 08/16/23-FDP/PUD.01

SHEET TITLE:  
 LANDSCAPE  
 PLAN

#### SITE AMENITIES LEGEND

CODE	LANDSCAPE MATERIALS
M-01	SHRUB BED AREA
M-02	COBBLE
M-03	CRUSHER FINES
M-04	PLAY SURFACE
M-05	ARTIFICIAL TURF
M-06	STEEL EDGER
M-07	LANDSCAPE PAVER
M-08	PICKET FENCE - YARD
M-09	SPLIT RAIL FENCE

CODE	NOTATION DESCRIPTION
N-01	BUILT-IN BERM SEAT
N-02	CURVED BENCH
N-03	TRELLIS-GATHERING SPACE
N-04	COVERED MAILBOX KIOSK
N-05	ENTRY SIGN
N-06	PICNIC SHELTER

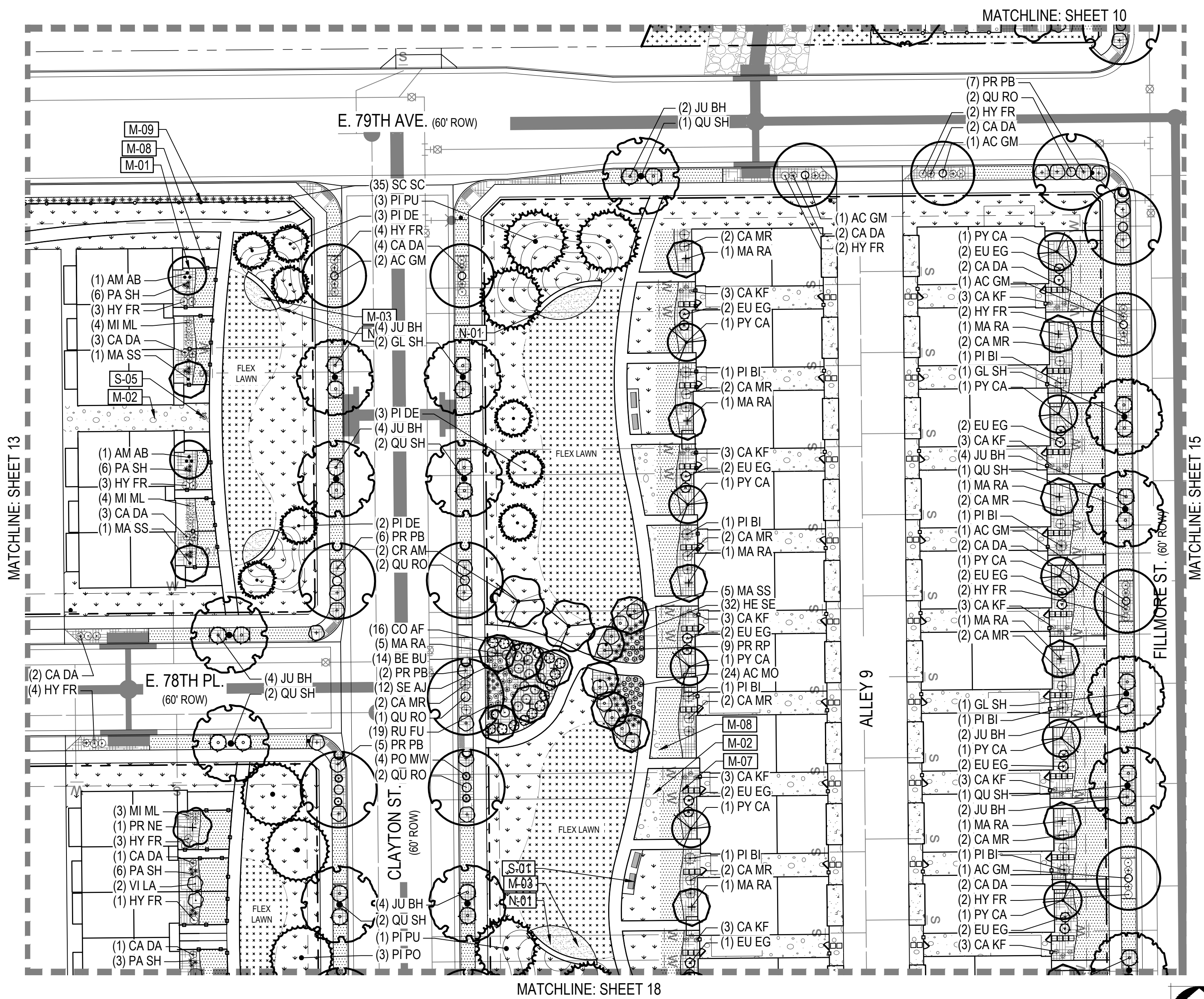
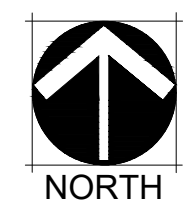
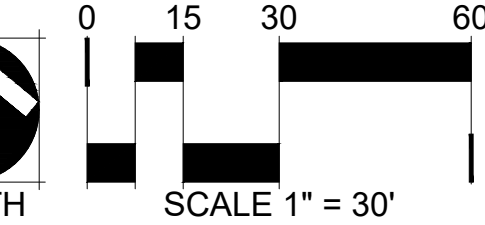
SYMBOL	SITE FURNISHINGS
S-01	BENCH - 1
S-03	BIKE RACKS
S-05	PET STATION
S-06	FIRE FEATURE
S-07	RAISED GARDEN BOX

#### PLANT LEGEND

SOD/SEED	COMMON NAME
(Symbol)	NATIVE LAWN MIX
(Symbol)	NATIVE SEED / WILDFLOWER MI.
(Symbol)	TEXAS HYBRID SOD
(Symbol)	NATIVE WETLAND MIX

#### LEGEND

(Symbol)	PROPERTY LINE / RIGHT-OF-WAY
(Symbol)	MATCHLINE
(Symbol)	SIGHT TRIANGLE



MATCHLINE: SHEET 13

MATCHLINE: SHEET 15

MATCHLINE: SHEET 18

MATCHLINE: SHEET 10

CHECKED BY: XX  
 DRAWN BY: XX



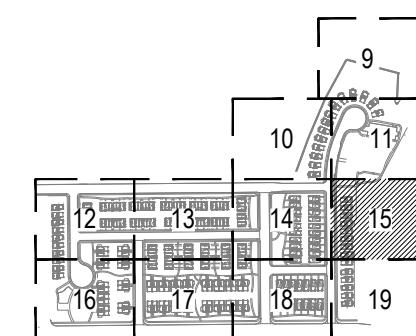
# OXENFREE AT WELBY

## IN THE COUNTY OF ADAMS, COLORADO

### PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN

#### SHEET 15: LANDSCAPE PLAN

#### KEY MAP

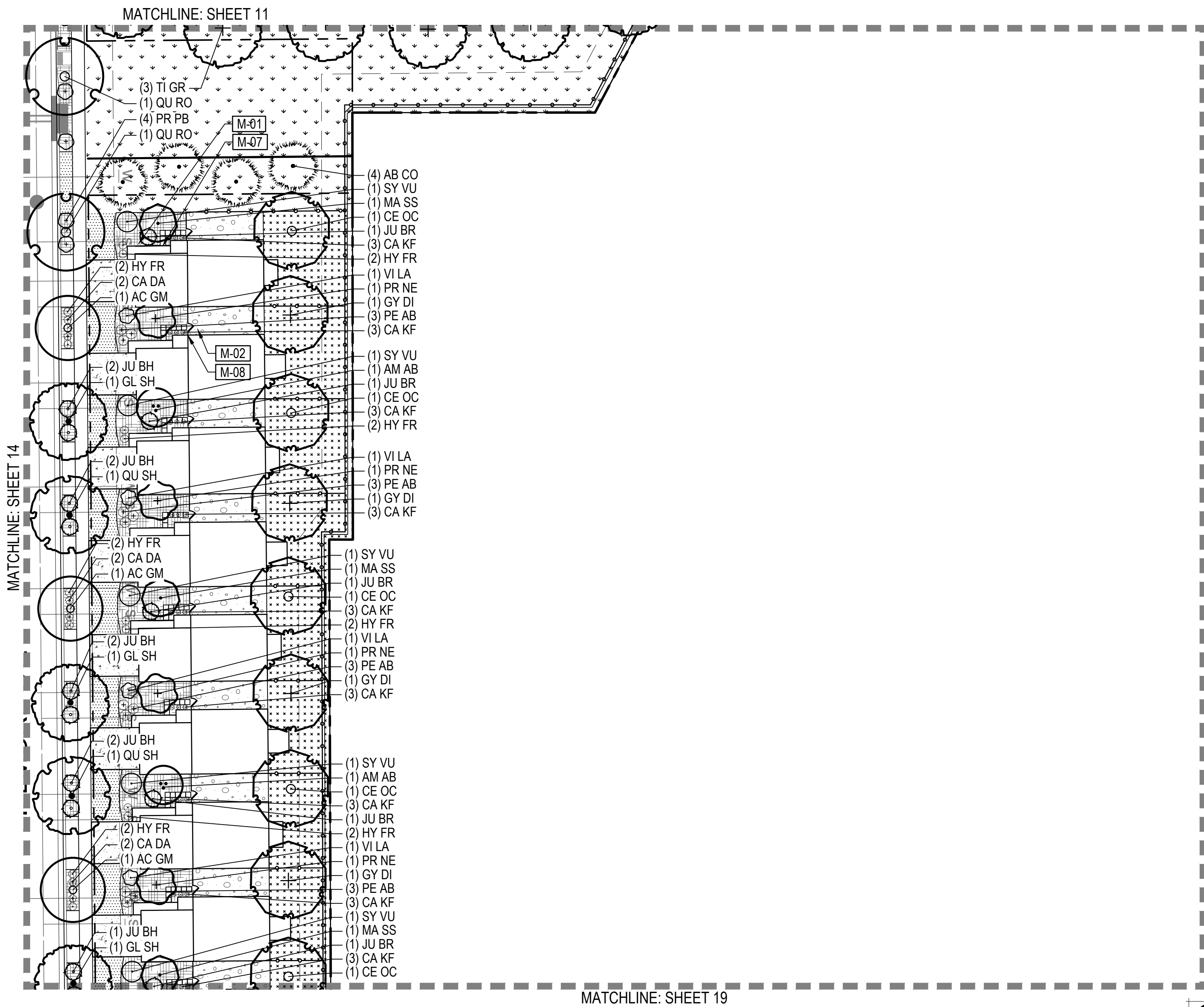


OXENFREE AT WELBY  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO

OWNER:  
 COSM FIELDS LP  
 6726 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

DATE:  
 08/16/23-FDP/PU01

SHEET TITLE:  
 LANDSCAPE PLAN



#### SITE AMENITIES LEGEND

CODE	LANDSCAPE MATERIALS
M-01	SHRUB BED AREA
M-02	COBBLE
M-03	CRUSHER FINES
M-04	PLAY SURFACE
M-05	ARTIFICIAL TURF
M-06	STEEL EDGER
M-07	LANDSCAPE PAVER
M-08	PICKET FENCE - YARD
M-09	SPLIT RAIL FENCE

CODE	NOTATION DESCRIPTION
N-01	BUILT-IN BERM SEAT
N-02	CURVED BENCH
N-03	TRELLIS-GATHERING SPACE
N-04	COVERED MAILBOX KIOSK
N-05	ENTRY SIGN
N-06	PICNIC SHELTER

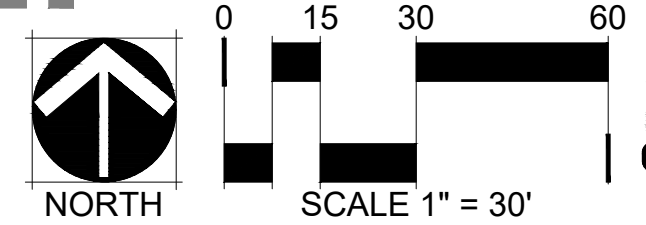
SYMBOL	SITE FURNISHINGS
S-01	BENCH - 1
S-03	BIKE RACKS
S-05	PET STATION
S-06	FIRE FEATURE
S-07	RAISED GARDEN BOX

#### PLANT LEGEND

SOD/SEED	COMMON NAME
[Symbol]	NATIVE LAWN MIX
[Symbol]	NATIVE SEED / WILDFLOWER MI.
[Symbol]	TEXAS HYBRID SOD
[Symbol]	NATIVE WETLAND MIX

#### LEGEND

[Symbol]	PROPERTY LINE / RIGHT-OF-WAY
[Symbol]	MATCHLINE
[Symbol]	SIGHT TRIANGLE



CHECKED BY: XX  
 DRAWN BY: XX



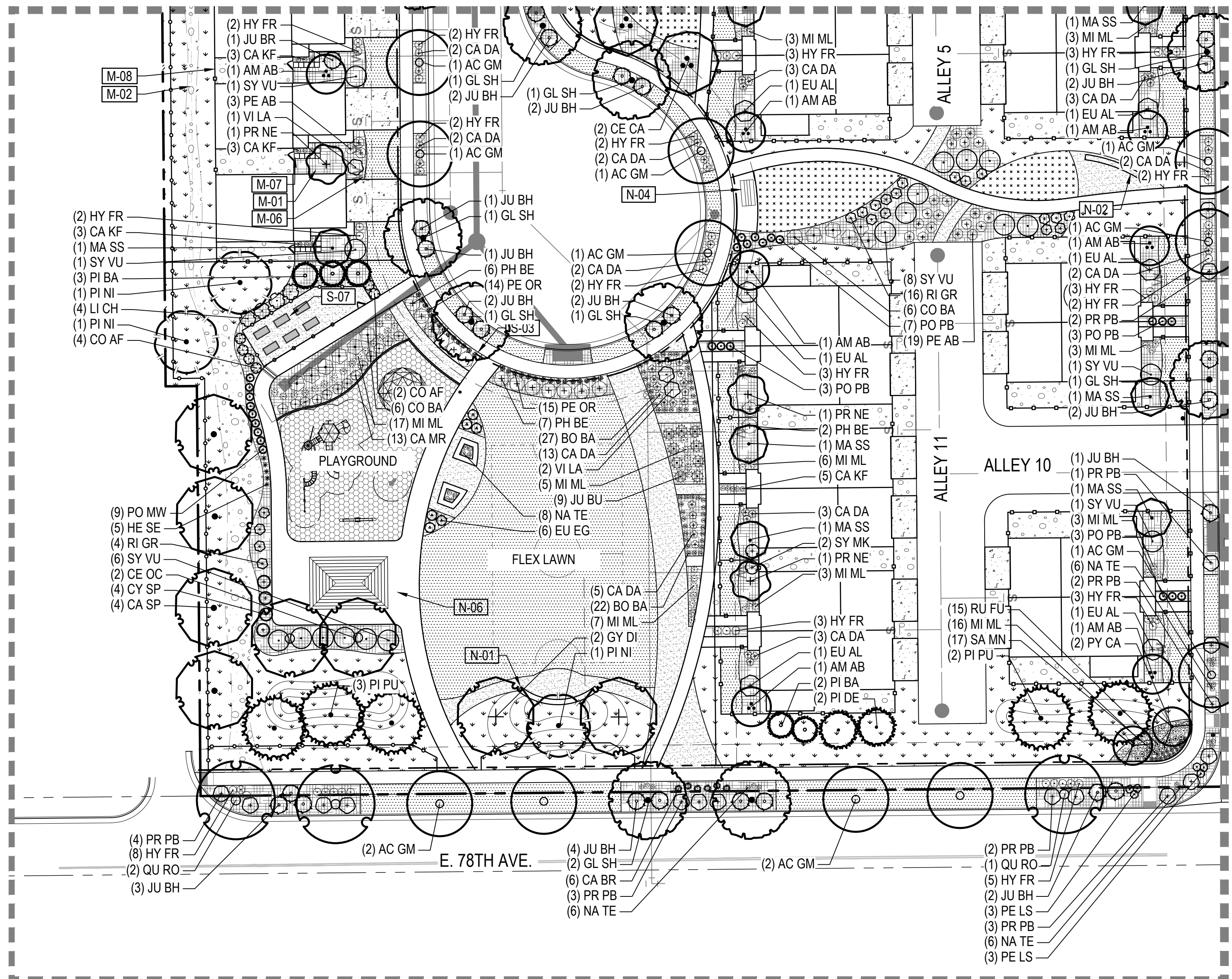
# OXENFREE AT WELBY

## IN THE COUNTY OF ADAMS, COLORADO

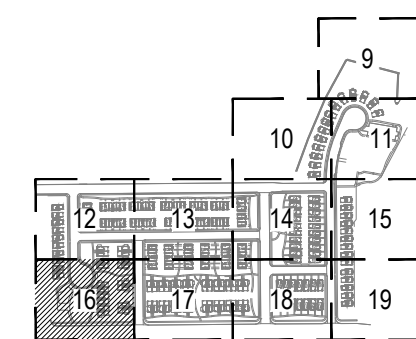
### PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN

#### SHEET 16: LANDSCAPE PLAN

MATCHLINE: SHEET 12



#### KEY MAP



#### SITE AMENITIES LEGEND

CODE	LANDSCAPE MATERIALS
M-01	SHRUB BED AREA
M-02	COBBLE
M-03	CRUSHER FINES
M-04	PLAY SURFACE
M-05	ARTIFICIAL TURF
M-06	STEEL EDGER
M-07	LANDSCAPE PAVER
M-08	PICKET FENCE - YARD
M-09	SPLIT RAIL FENCE

CODE	NOTATION DESCRIPTION
N-01	BUILT-IN BERM SEAT
N-02	CURVED BENCH
N-03	TRELLIS-GATHERING SPACE
N-04	COVERED MAILBOX KIOSK
N-05	ENTRY SIGN
N-06	PICNIC SHELTER

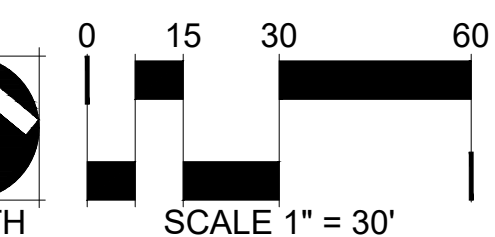
SYMBOL	SITE FURNISHINGS
S-01	BENCH - 1
S-03	BIKE RACKS
S-05	PET STATION
S-06	FIRE FEATURE
S-07	RAISED GARDEN BOX

#### PLANT LEGEND

SOD/SEED	COMMON NAME
[Symbol]	NATIVE LAWN MIX
[Symbol]	NATIVE SEED / WILDFLOWER MI.
[Symbol]	TEXAS HYBRID SOD
[Symbol]	NATIVE WETLAND MIX

#### LEGEND

[Symbol]	PROPERTY LINE / RIGHT-OF-WAY
[Symbol]	MATCHLINE
[Symbol]	SIGHT TRIANGLE





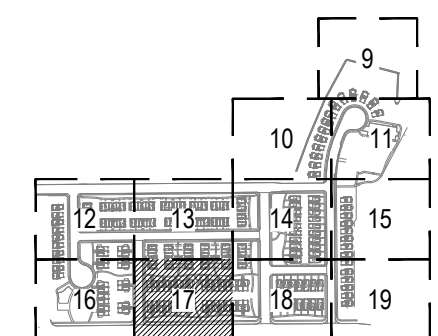
# OXENFREE AT WELBY

## IN THE COUNTY OF ADAMS, COLORADO

### PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN

#### SHEET 17: LANDSCAPE PLAN

#### KEY MAP



**NORRIS DESIGN**  
 PEOPLE + PLACEMAKING  
 1101 BANNOCK STREET  
 DENVER, CO 80204  
 P 303.892.1156  
 NORRIS-DESIGN.COM

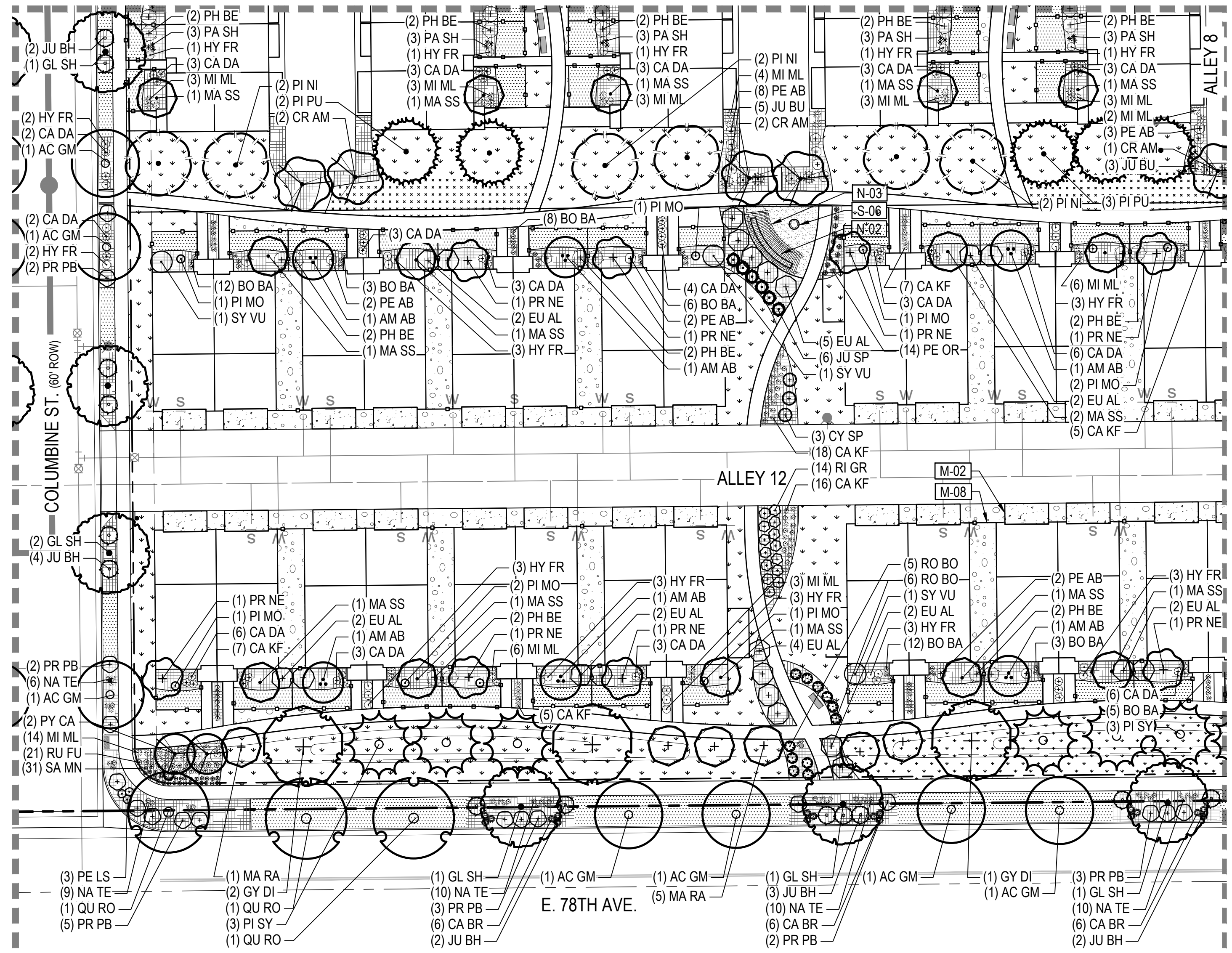
OXENFREE AT WELBY  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO

OWNER:  
 COSMIF FARMS LP  
 6726 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

DATE:  
 08/16/23-FDP/PUD.01

SHEET TITLE:  
 LANDSCAPE PLAN

MATCHLINE: SHEET 13



#### SITE AMENITIES LEGEND

CODE	LANDSCAPE MATERIALS
M-01	SHRUB BED AREA
M-02	COBBLE
M-03	CRUSHER FINES
M-04	PLAY SURFACE
M-05	ARTIFICIAL TURF
M-06	STEEL EDGER
M-07	LANDSCAPE PAVER
M-08	PICKET FENCE - YARD
M-09	SPLIT RAIL FENCE

CODE	NOTATION DESCRIPTION
N-01	BUILT-IN BERM SEAT
N-02	CURVED BENCH
N-03	TRELLIS-GATHERING SPACE
N-04	COVERED MAILBOX KIOSK
N-05	ENTRY SIGN
N-06	PICNIC SHELTER

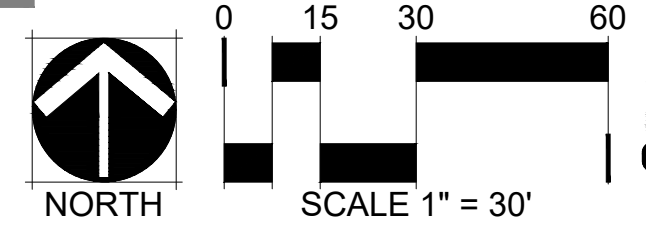
SYMBOL	SITE FURNISHINGS
S-01	BENCH - 1
S-03	BIKE RACKS
S-05	PET STATION
S-06	FIRE FEATURE
S-07	RAISED GARDEN BOX

#### PLANT LEGEND

SOD/SEED	COMMON NAME
[Symbol]	NATIVE LAWN MIX
[Symbol]	NATIVE SEED / WILDFLOWER MI.
[Symbol]	TEXAS HYBRID SOD
[Symbol]	NATIVE WETLAND MIX

#### LEGEND

[Symbol]	PROPERTY LINE / RIGHT-OF-WAY
[Symbol]	MATCHLINE
[Symbol]	SIGHT TRIANGLE



CHECKED BY: XX  
 DRAWN BY: XX



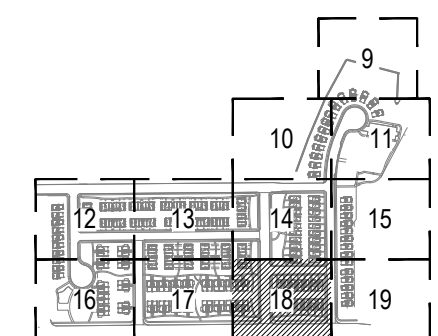
# OXENFREE AT WELBY

## IN THE COUNTY OF ADAMS, COLORADO

### PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN

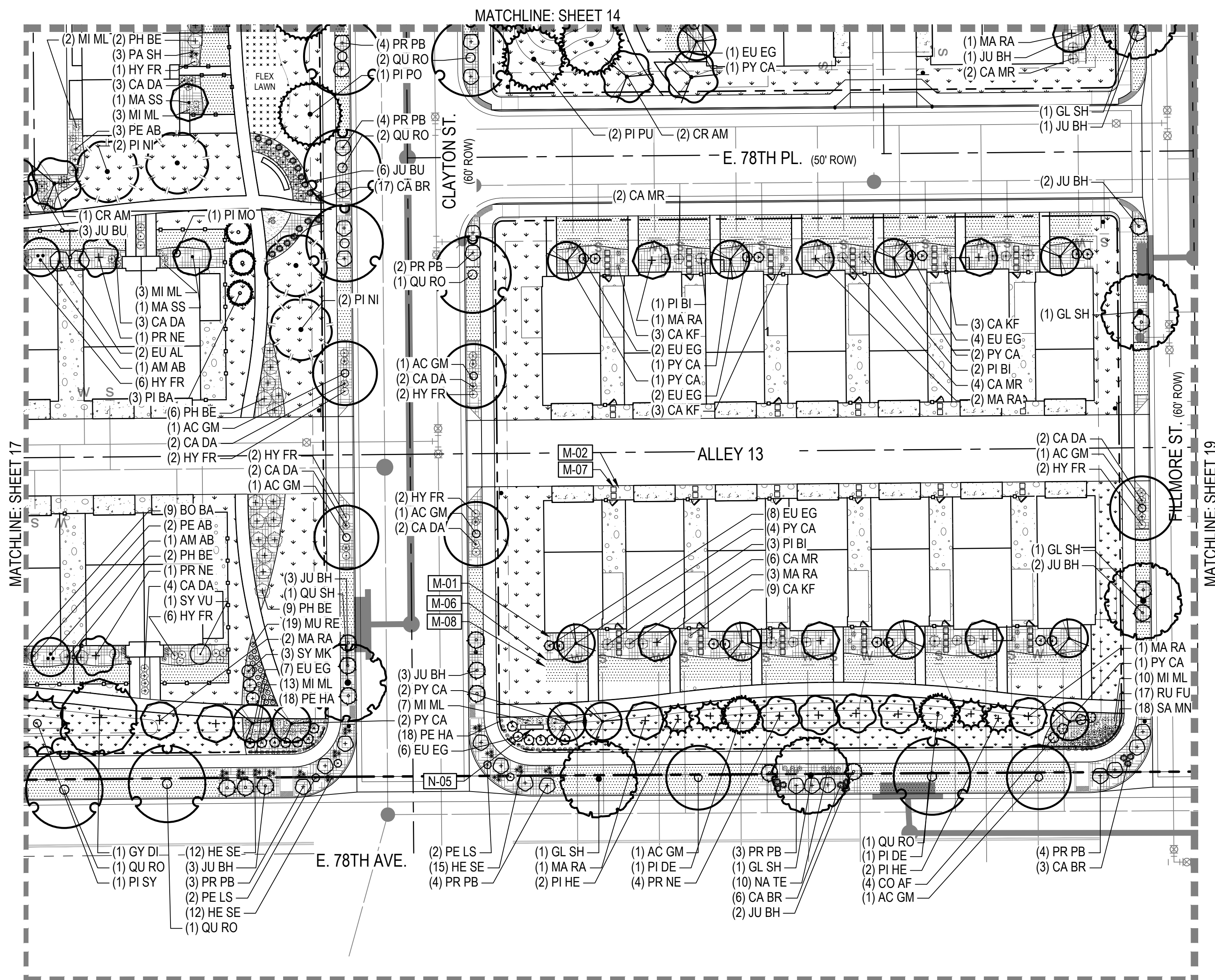
#### SHEET 18: LANDSCAPE PLAN

#### KEY MAP



**NORRIS DESIGN**  
 PEOPLE + PLACEMAKING  
 1101 BANNOCK STREET  
 DENVER, CO 80204  
 P 303.892.1156  
 NORRIS-DESIGN.COM

OXENFREE AT WELBY  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO



#### SITE AMENITIES LEGEND

CODE	LANDSCAPE MATERIALS
M-01	SHRUB BED AREA
M-02	COBBLE
M-03	CRUSHER FINES
M-04	PLAY SURFACE
M-05	ARTIFICIAL TURF
M-06	STEEL EDGER
M-07	LANDSCAPE PAVER
M-08	PICKET FENCE - YARD
M-09	SPLIT RAIL FENCE

CODE	NOTATION DESCRIPTION
N-01	BUILT-IN BERM SEAT
N-02	CURVED BENCH
N-03	TRELLIS-GATHERING SPACE
N-04	COVERED MAILBOX KIOSK
N-05	ENTRY SIGN
N-06	PICNIC SHELTER

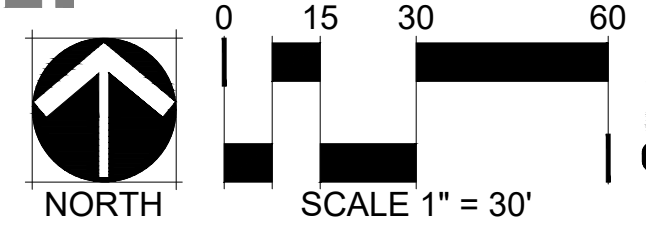
SYMBOL	SITE FURNISHINGS
S-01	BENCH - 1
S-03	BIKE RACKS
S-05	PET STATION
S-06	FIRE FEATURE
S-07	RAISED GARDEN BOX

#### PLANT LEGEND

SOD/SEED	COMMON NAME
[Symbol]	NATIVE LAWN MIX
[Symbol]	NATIVE SEED / WILDFLOWER MI.
[Symbol]	TEXAS HYBRID SOD
[Symbol]	NATIVE WETLAND MIX

#### LEGEND

[Symbol]	PROPERTY LINE / RIGHT-OF-WAY
[Symbol]	MATCHLINE
[Symbol]	SIGHT TRIANGLE



NOT FOR CONSTRUCTION

DATE:  
08/16/23-FDP/PUD.01

SHEET TITLE:  
LANDSCAPE PLAN

CHECKED BY: XX  
DRAWN BY: XX



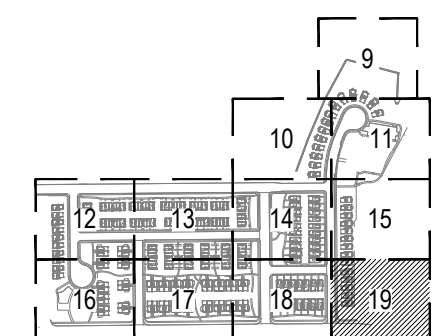
# OXENFREE AT WELBY

## IN THE COUNTY OF ADAMS, COLORADO

### PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN

#### SHEET 19: LANDSCAPE PLAN

#### KEY MAP



**NORRIS DESIGN**  
PEOPLE + PLACEMAKING  
 1101 BANNOCK STREET  
 DENVER, CO 80204  
 P 303.852.1156  
[NORRIS-DESIGN.COM](http://NORRIS-DESIGN.COM)

**OXENFREE AT WELBY**  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO

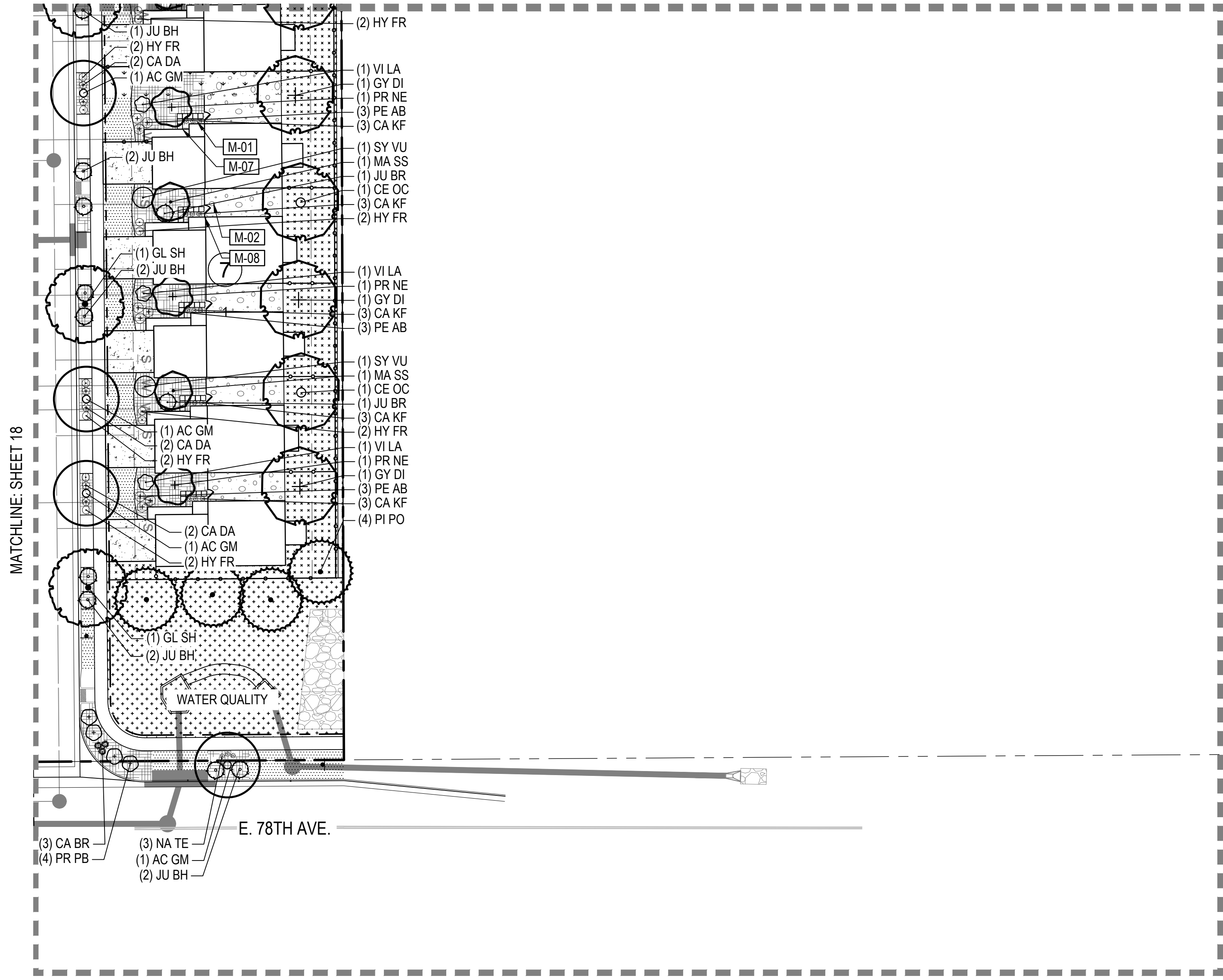
OWNER:  
 COSMIF FARMS LP  
 5725 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR  
 CONSTRUCTION

DATE:  
 08/16/23-FDP/PPUD 01

SHEET TITLE:  
 LANDSCAPE  
 PLAN

MATCHLINE: SHEET 15



#### SITE AMENITIES LEGEND

CODE	LANDSCAPE MATERIALS
M-01	SHRUB BED AREA
M-02	COBBLE
M-03	CRUSHER FINES
M-04	PLAY SURFACE
M-05	ARTIFICIAL TURF
M-06	STEEL EDGER
M-07	LANDSCAPE PAVER
M-08	PICKET FENCE - YARD
M-09	SPLIT RAIL FENCE

CODE	NOTATION DESCRIPTION
N-01	BUILT-IN BERM SEAT
N-02	CURVED BENCH
N-03	TRELLIS-GATHERING SPACE
N-04	COVERED MAILBOX KIOSK
N-05	ENTRY SIGN
N-06	PICNIC SHELTER

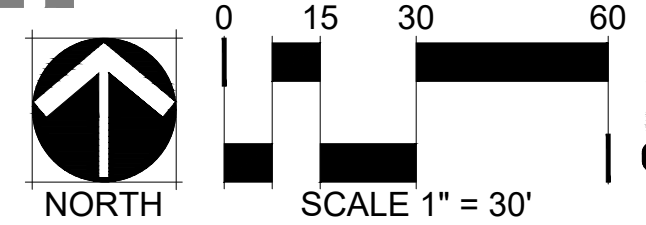
SYMBOL	SITE FURNISHINGS
S-01	BENCH - 1
S-03	BIKE RACKS
S-05	PET STATION
S-06	FIRE FEATURE
S-07	RAISED GARDEN BOX

#### PLANT LEGEND

SOD/SEED	COMMON NAME
[Symbol]	NATIVE LAWN MIX
[Symbol]	NATIVE SEED / WILDFLOWER MI.
[Symbol]	TEXAS HYBRID SOD
[Symbol]	NATIVE WETLAND MIX

#### LEGEND

[Symbol]	PROPERTY LINE / RIGHT-OF-WAY
[Symbol]	MATCHLINE
[Symbol]	SIGHT TRIANGLE



CHECKED BY: XX  
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# OXENFREE AT WELBY

## IN THE COUNTY OF ADAMS, COLORADO

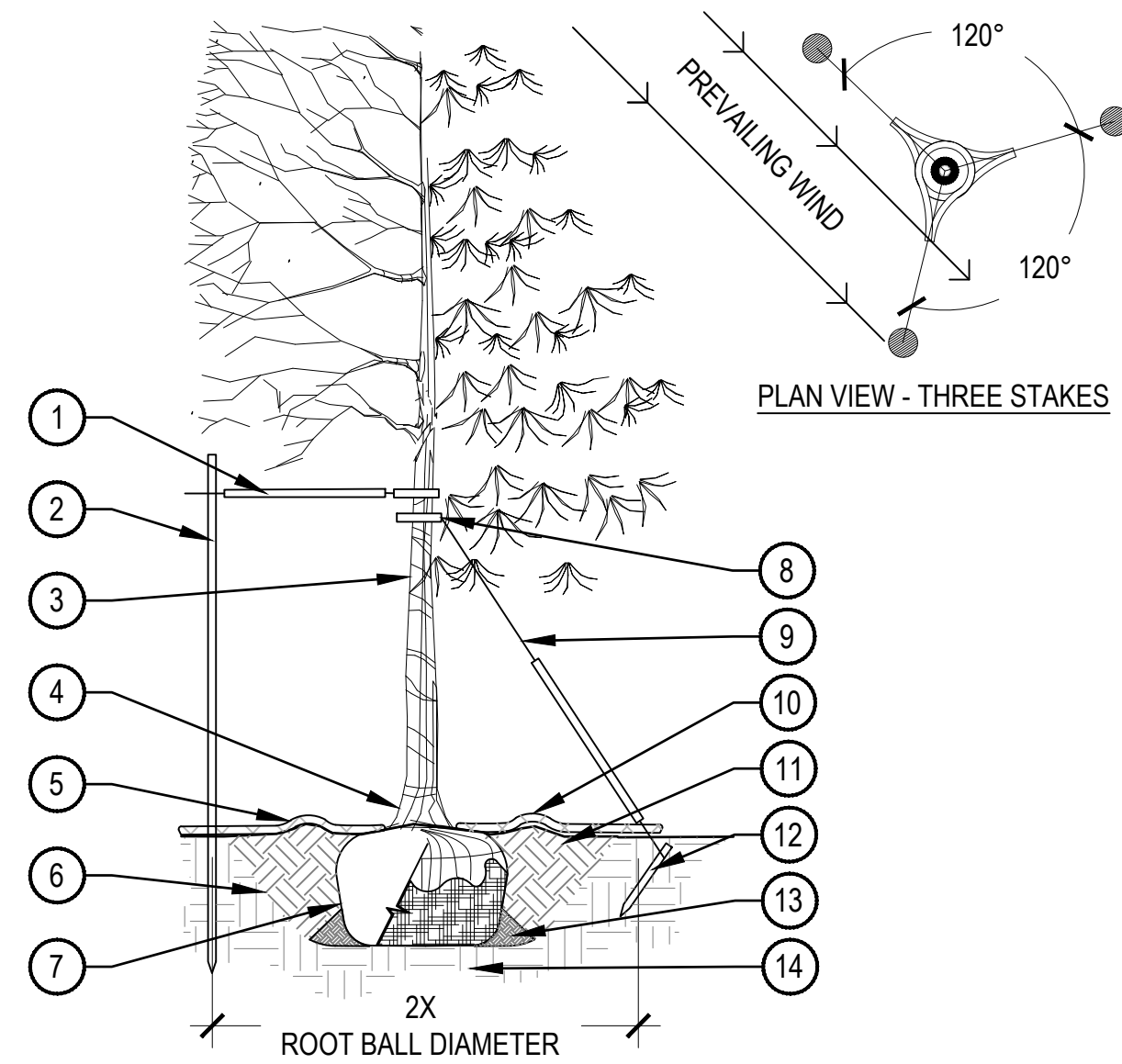
### PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN

**PRUNING NOTES:**

1. ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS.
2. DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

**STAKING NOTES:**

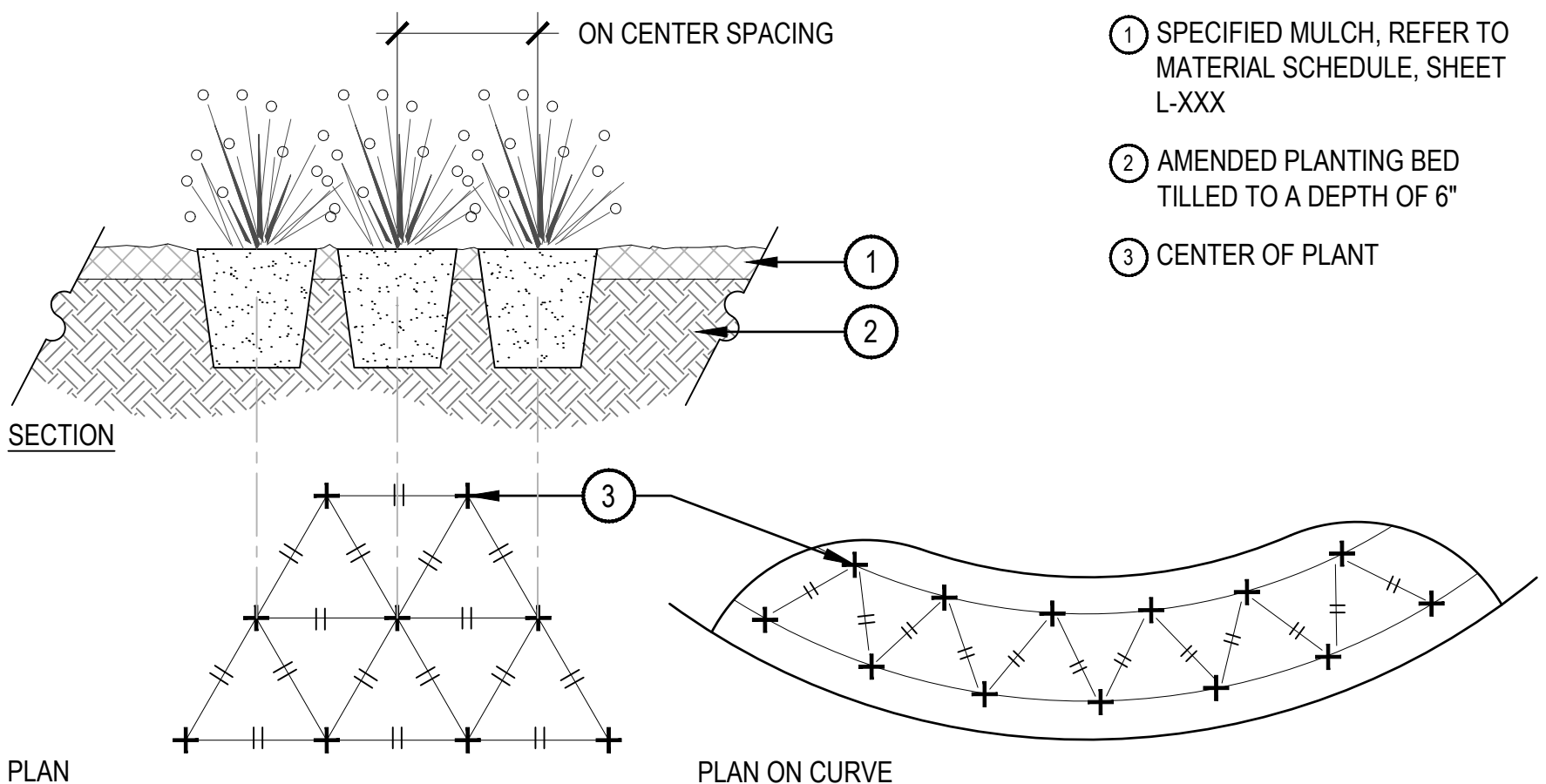
1. STAKE TREES PER FOLLOWING SCHEDULE, THEN REMOVE AT END OF FIRST GROWING SEASON.
  - a. 1-1/2" CALIPER SIZE - MIN. 1 STAKE ON SIDE OF PREVAILING WIND (GENERALLY N.W. SIDE).
  - b. 1-1/2" - 3" CALIPER SIZE - MIN. 2 STAKES - ONE ON N.W. SIDE, ONE ON S.W. SIDE (OR PREVAILING WIND SIDE AND 180° FROM THAT SIDE).
  - c. 3" CALIPER SIZE AND LARGER - 3 STAKES PER DIAGRAM.
2. WIRE OR CABLE SHALL BE MIN. 12 GAUGE, TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. NYLON STRAPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1-1/2" OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.



1. PLACE MINIMUM 1/2" PVC PIPE AROUND EACH WIRE, EXPOSED WIRE SHALL BE MAXIMUM 2" EACH SIDE
2. 6'-0" UNTREATED WOOD POST, MINIMUM 1.5" DIAMETER, ALL SHALL BE DRIVEN OUTSIDE ROOTBALL AND IN UNDISTURBED SOIL
3. TREE WRAP TO BE INSTALLED ONLY FROM OCTOBER 1 THROUGH APRIL 30, DECIDUOUS ONLY, WRAP FROM BASE OF TRUNK TO BOTTOM LIMB
4. PLANT TREE SO THAT TOP MOST MAJOR ROOT IS 1"-2" ABOVE FINISHED GRADE
5. 2'-0" RADIUS MULCH RING, CENTERED ON TRUNK, 3" DEPTH, DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK, FINISHED GRADE REFERENCES TOP OF MULCH
6. 1:1 SLOPE ON SIDES OF PLANTING HOLE
7. ROPES AT TOP OF ROOTBALL SHALL BE CUT, REMOVE TOP 1/3 OF BURLAP, NON-BIODEGRADABLE MATERIAL SHALL BE TOTALLY REMOVED
8. GROMMETED NYLON STRAPS
9. GALVANIZED WIRE, MINIMUM 12 GAUGE CABLE, TWIST WIRE ONLY TO KEEP FROM SLIPPING
10. 4-6" HIGH WATER SAUCER IN NON-TURF AREAS
11. BACKFILL WITH BLEND OF EXISTING SOIL AND A MAXIMUM 20%, BY VOLUME, ORGANIC MATERIAL, WATER THOROUGHLY WHEN BACKFILLING
12. 2'-0" STEEL T-POST, ALL SHALL BE DRIVEN BELOW GRADE AND OUTSIDE ROOTBALL IN UNDISTURBED SOIL
13. PLACE SOIL AROUND ROOT BALL FIRMLY, DO NOT COMPACT OR TAMP, SETTLE SOIL WITH WATER TO FILL ALL AIR POCKETS
14. PLACE ROOT BALL ON UNDISTURBED SOIL TO PREVENT SETTLEMENT

## 1 TREE PLANTING DETAIL

SCALE: 3/16" = 1'-0"



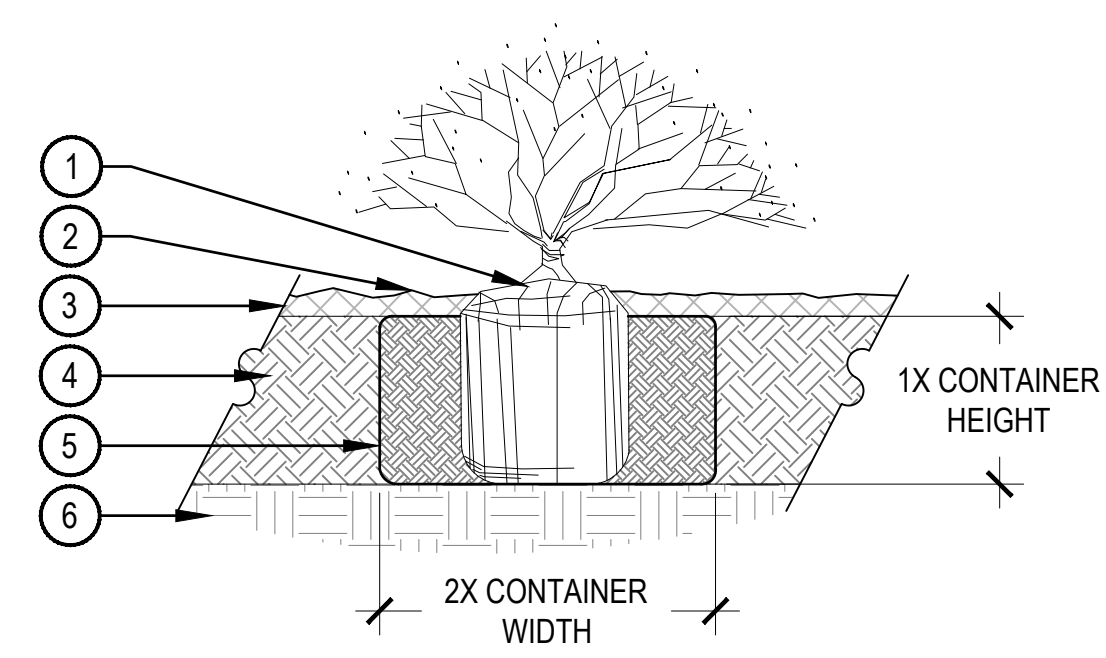
1. SPECIFIED MULCH, REFER TO MATERIAL SCHEDULE, SHEET L-XXX
2. AMENDED PLANTING BED TILLED TO A DEPTH OF 6"
3. CENTER OF PLANT

**NOTES:**

1. WHEN PLANTED ON A CURVE, ORIENT ROWS TO FOLLOW THE LONG AXIS OF AREAS WHERE PLANTS ARE MASSES.

## 2 PERENNIAL PLANT LAYOUT

SCALE: 1" = 1'-0"



1. SET SHRUB ROOT-BALL 1" HIGHER THAN FINISH GRADE
2. FINISH GRADE (TOP OF MULCH)
3. SPECIFIED MULCH, REFER TO MATERIAL SCHEDULE, SHEET L-XXX
4. TILL IN SPECIFIED SOIL AMENDMENT TO A DEPTH OF 8" IN BED
5. BACKFILLED AMENDED SOIL
6. UNDISTURBED SOIL

**NOTE:**

1. BROKEN OR CRUMBLING ROOT-BALLS WILL BE REJECTED.
2. CARE SHOULD BE TAKEN NOT TO DAMAGE THE SHRUB OR ROOT-BALL WHEN REMOVING IT FROM ITS CONTAINER.
3. ALL JUNIPERS SHOULD BE PLANTED SO THE TOP OF THE ROOT-BALL OCCURS ABOVE THE FINISH GRADE OF THE MULCH LAYER.
4. DIG PLANT PIT TWICE AS WIDE AND AS HIGH AS THE CONTAINER.
5. PRUNE ALL DEAD OR DAMAGED WOOD PRIOR TO PLANTING, DO NOT PRUNE MORE THAN 20% OF LIMBS.

## 3 SHRUB PLANTING

SCALE: 1 1/2" = 1'-0"

OXENFREE AT WELBY  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO

OWNER:  
 COSMIF FARMS LP  
 6726 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR CONSTRUCTION

DATE:  
 08/16/23-FDP/PUD 01

SHEET TITLE:  
 LANDSCAPE  
 DETAILS

20 OF 62



CHECKED BY: XX  
 DRAWN BY: XX

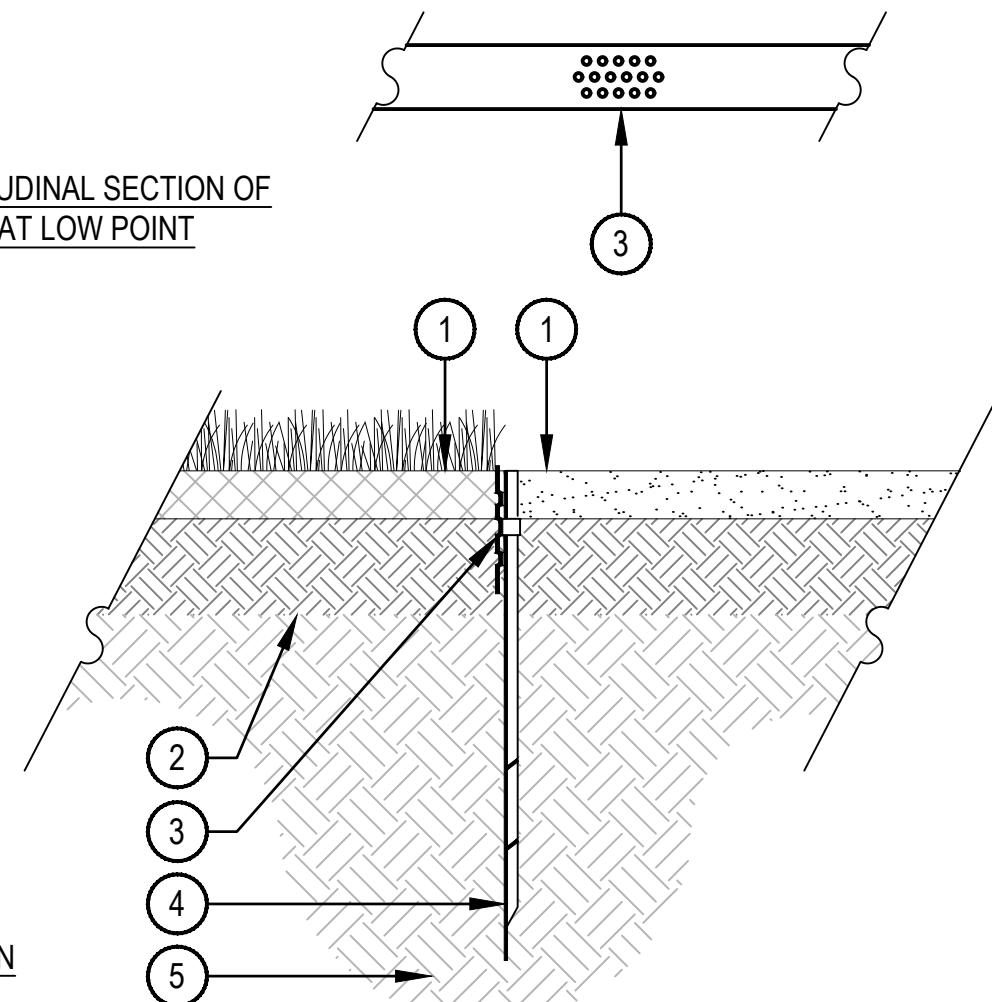


# OXENFREE AT WELBY

## IN THE COUNTY OF ADAMS, COLORADO

### PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN

LONGITUDINAL SECTION OF EDGER AT LOW POINT



- ① FINISHED GRADE, TOP OF SOD THATCH LAYER AND TOP OF MULCH OR CRUSHER FINES SHALL BE FLUSH WITH TOP OF EDGER
- ② AMENDED SOIL PER SPECIFICATIONS
- ③ METAL EDGER, DRILL (16) 1/2" DIAMETER HOLES 1" ON CENTER MINIMUM AT ALL LOW POINTS OR POORLY DRAINING AREAS IN ORDER TO ENSURE ADEQUATE DRAINAGE
- ④ EDGER STAKE
- ⑤ SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY

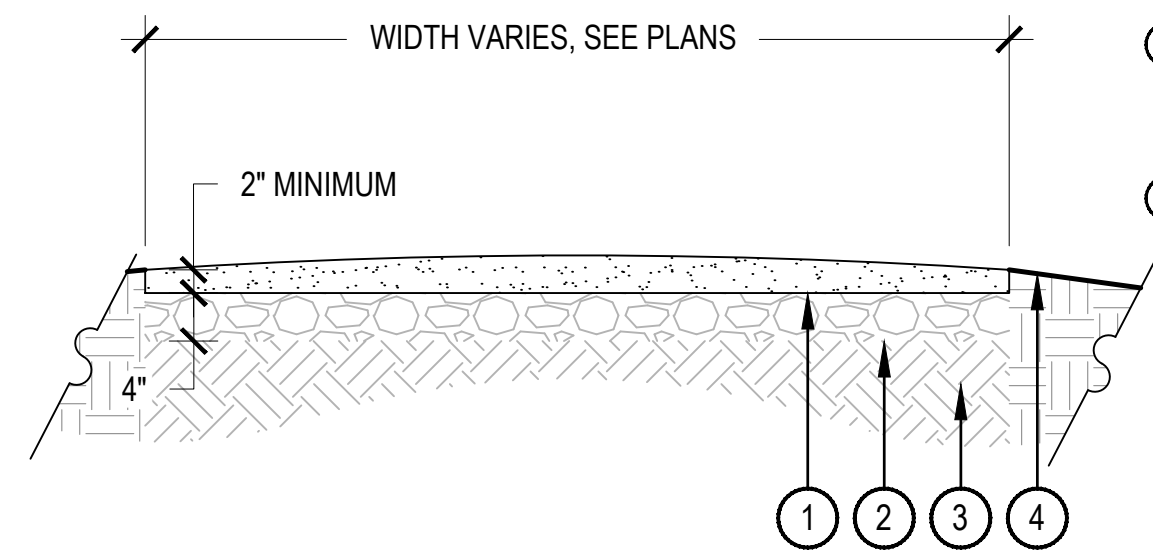
SECTION

NOTES:

- 1. THERE SHALL BE NO EXPOSED SHARP/ JAGGED EDGES.
- 2. CONTRACTOR SHALL INSTALL STAKES AS REQUIRED BY THE MANUFACTURER.
- 3. ENSURE POSITIVE DRAINAGE.

## 1 METAL EDGER

SCALE: 1" = 1'-0"



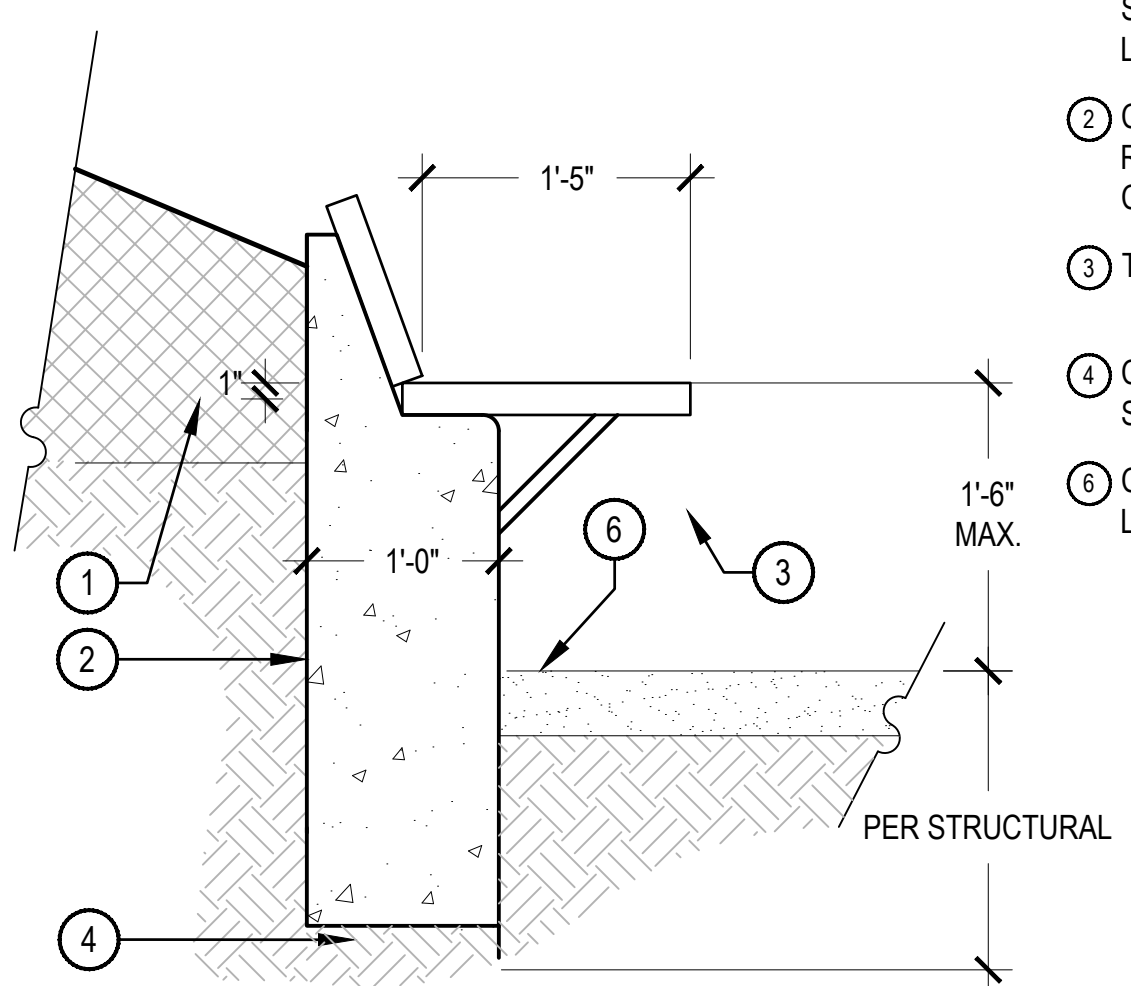
- ① COMPACTED, STABILIZED CRUSHER FINES, REFER TO MATERIAL SCHEDULE, SHEET L-XXX
- ② AGGREGATE BASE
- ③ SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY
- ④ SLOPE ADJACENT GRADE AWAY FROM TRAIL

NOTES:

- 1. COMPACT CRUSHER FINES WET, COMPACT TO 95% STANDARD PROCTOR DENSITY.
- 2. USE A SMALL 4' RIDING ROLLER TO COMPACT TRAIL.
- 3. CROWN OF 2% IN FLAT AREAS AS SHOWN.
- 4. CROSS SLOPE TRAIL AT 1-2% WITH GRADE WHERE TOPOGRAPHY DICTATES.
- 5. APPLY STABILIZER/TACKIFIER TO CRUSHER FINES SURFACE.

## 2 CRUSHER FINES TRAIL/PAVING

SCALE: 3/4" = 1'-0"



- ① SURROUNDING BERM - MAX SLOPE- 3:1 REFER TO LANDSCAPE PLANS
- ② CONCRETE SEATWALL, 1" RADIUS ON ALL EXPOSED CORNERS
- ③ TREATED WOOD
- ④ CONCRETE FOOTER PER STRUCTURAL
- ⑥ CRUSHER FINES SEE LANDSCAPE PLAN

NOTES:

- 1. NORRIS DESIGN HAS PROVIDED THIS DETAIL FOR REFERENCE PURPOSE, THIS DETAIL HAS NOT BEEN ENGINEERED.
- 2. SEATWALL SHALL BE INSTALLED SO HORIZONTAL CURVES ARE SMOOTH AND FREE-FLOWING AS SHOWN ON PLANS.

## 3 BERM SEATWALL

SCALE: 1" = 1'-0"



- OWNER: ARABO (OR APPROVED EQUAL)
- PRODUCT: CURVED BENCH
- MATERIALS: HEAT-TREATED WOOD, GALVANIZED STEEL
- COLOR: BLACK
- SURFACE MOUNT
- <https://www.janehamleywells.com/>

NOTE: MOUNT AND INSTALL PER MANUFACTURE'S SPECIFICATIONS

## 4 CURVED BENCH

NTS



OXENFREE AT WELBY  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO

OWNER:  
 COSMIF FARMS LP  
 6726 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR CONSTRUCTION

DATE:  
 08/16/23-FDP/PUD 01

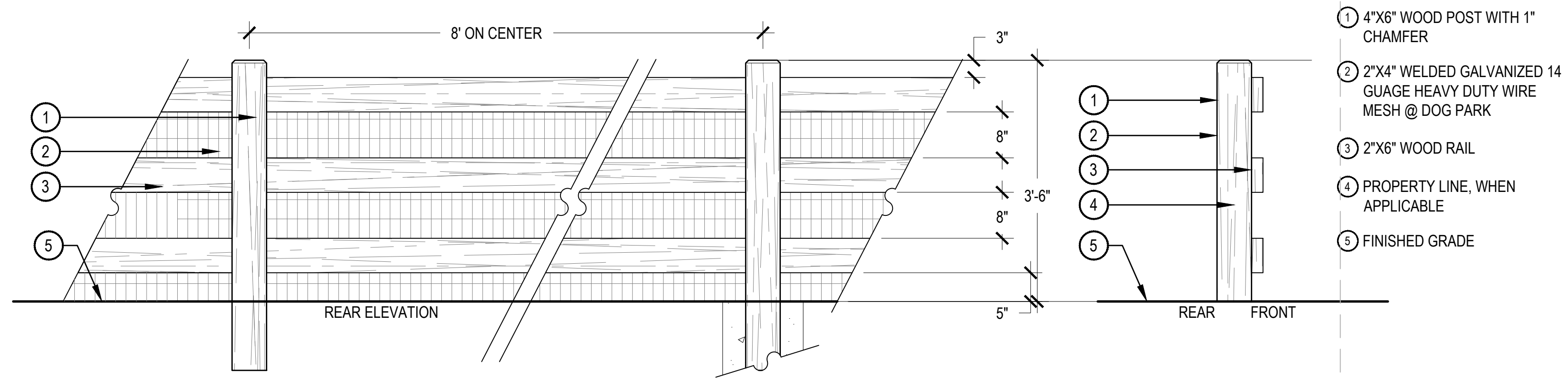
SHEET TITLE:  
 LANDSCAPE  
 DETAILS

CHECKED BY: XX  
 DRAWN BY: XX

# OXENFREE AT WELBY

## IN THE COUNTY OF ADAMS, COLORADO

### PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN



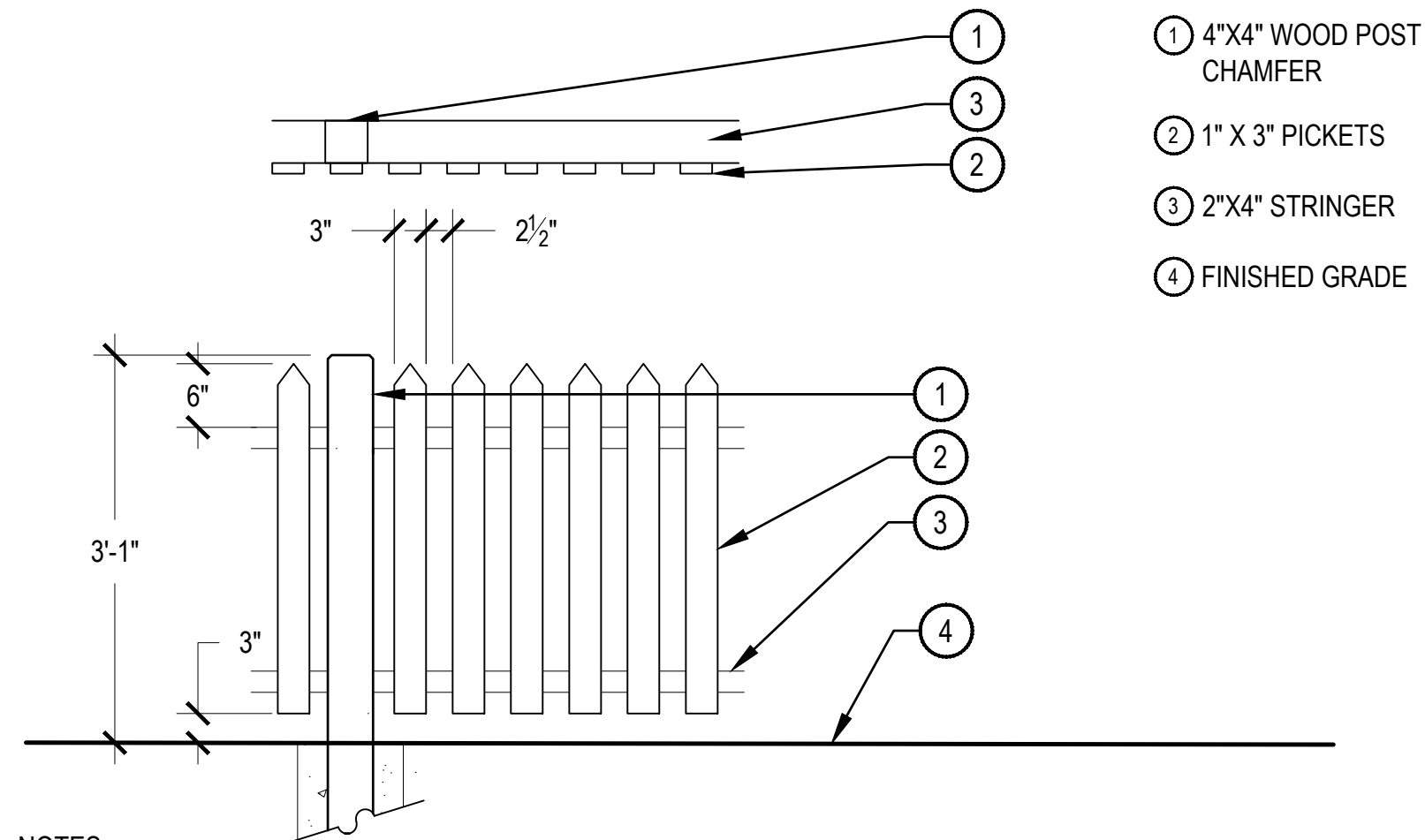
- ① 4"X6" WOOD POST WITH 1" CHAMFER
- ② 2"X4" WELDED GALVANIZED 14 GAUGE HEAVY DUTY WIRE MESH @ DOG PARK
- ③ 2"X6" WOOD RAIL
- ④ PROPERTY LINE, WHEN APPLICABLE
- ⑤ FINISHED GRADE

**NOTES:**

1. ALL LUMBER SHALL BE NO. 1 SELECT, CEDAR, AND SHALL BE SOLID, STRAIGHT, FREE FROM KNOTS, SPLITS, SHAKES, & DISCOLORATION.
2. FRONT SIDE OF FENCE SHALL FACE PUBLIC RIGHT OF WAY.
3. ALL NAILS, FASTENERS, AND OTHER HARDWARE SHALL BE HOT DIPPED GALVANIZED. NAILS SHALL BE SHANK.
4. ALL EXPOSED LUMBER SHALL BE STAINED WITH A COMMERCIAL GRADE SEALANT. REFER TO MATERIAL SCHEDULE FOR COLOR.

OXENFREE AT WELBY  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO

## 1 3-RAIL CEDAR FENCE

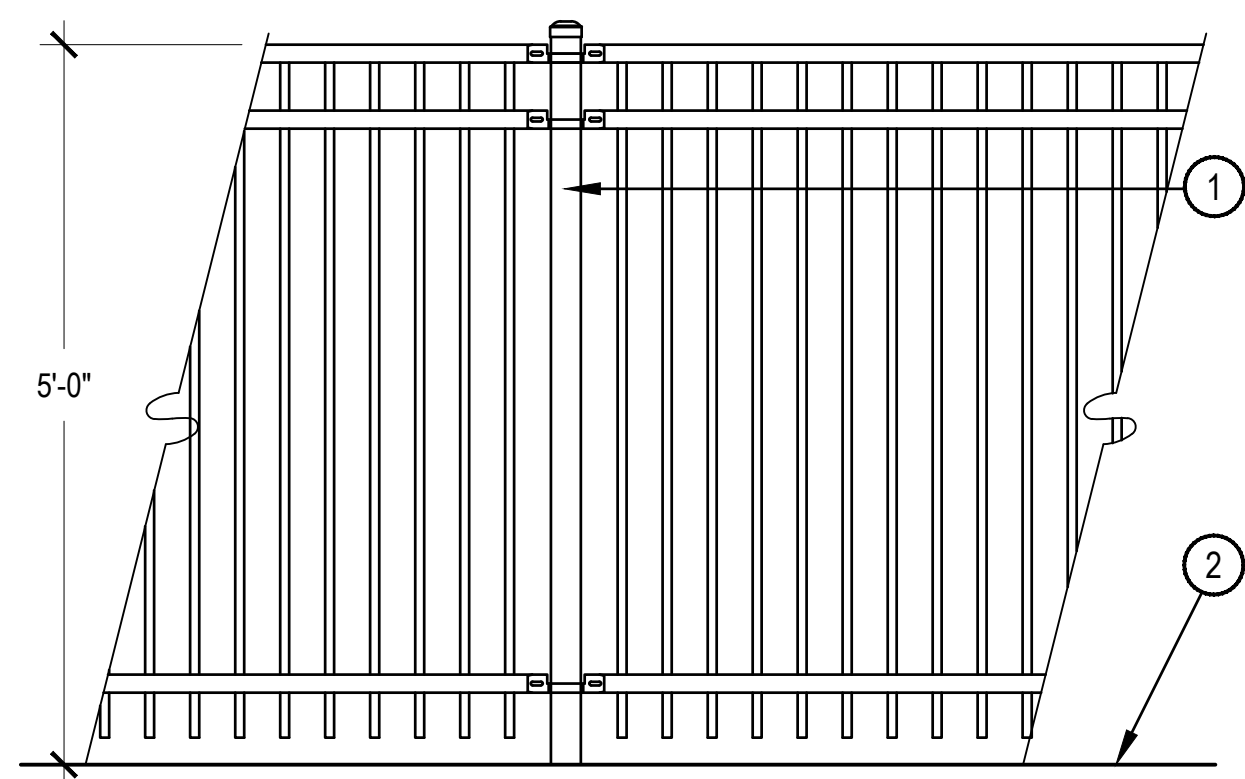


- ① 4"X4" WOOD POST WITH 1" CHAMFER
- ② 1" X 3" PICKETS
- ③ 2"X4" STRINGER
- ④ FINISHED GRADE

**NOTES:**

1. ALL NAILS AND HARDWARE TO BE HOT DIPPED GALVANIZED.
2. PICKETS TO BE HUNG WITH UNIFORM HEIGHT AND SPACING
3. FENCE TO BE PAINTED OR STAINED PER SPECIFICATIONS
4. POSTS TO BE SPACE 6" O.O
5. WOOD POSTS AND STRINGS TO BE WOLMANIZED PINE GRADE C OR BETTER.

## 2 PICKET FENCE



**NOTES:**

1. FENCE SHALL BE BY AMERISTAR FENCE OR APPROVED EQUAL
2. FENCE STYLE FOR POOL ENCLOSURE SHALL BE: MONTAGE PLUS (POOL, PET, PLAY FENCING) MAGESTIC - 3 RAIL, NO FLUSH BOTTOM
3. FENCE STYLE FOR ALL OTHER LOCATIONS SHALL BE: MONTAGE PLUS (STANDARD 4" PICKET SPACING) MAGESTIC - 3 RAIL, NO FLUSH BOTTOM
4. COLOR: BRONZE
5. ALL FENCING AROUND POOL AREA SHALL MEET CURRENT STATE AND IBC POOL ENCLOSURE CODE REQUIREMENTS.

## 3 ORNAMENTAL METAL FENCE - POOL

SCALE: 3/4" = 1'-0"

- ① FENCE POST - SET IN CONCRETE FOOTER, REFER TO FENCE SPECIFICATIONS FOR FOOTER INFORMATION
- ② FINISH GRADE

OWNER:  
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 6726 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR CONSTRUCTION

DATE:  
 08/16/23-FDP/PUD.01

SHEET TITLE:  
 LANDSCAPE DETAILS



SCALE: 3/4" = 1'-0"

CHECKED BY: XX  
 DRAWN BY: XX

SCALE: 3/4" = 1'-0"



# OXENFREE AT WELBY

## IN THE COUNTY OF ADAMS, COLORADO

### PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN



MAGLIN (OR APPROVED EQUAL)  
 PRODUCT: 200 TRASH CONTAINER  
 MATERIALS: POWDERCOATED STEEL  
 COLOR: BLACK  
 SURFACE MOUNT  
<https://www.maglin.com/>

NOTE: MOUNT AND INSTALL PER MANUFACTURE'S SPECIFICATIONS



MAGLIN (OR APPROVED EQUAL)  
 PRODUCT: 450 BENCH  
 MATERIALS: POWDERCOATED STEEL AND IPE WOOD  
 COLOR: BLACK  
 SURFACE MOUNT  
<https://www.maglin.com/>

NOTE: MOUNT AND INSTALL PER MANUFACTURE'S SPECIFICATIONS

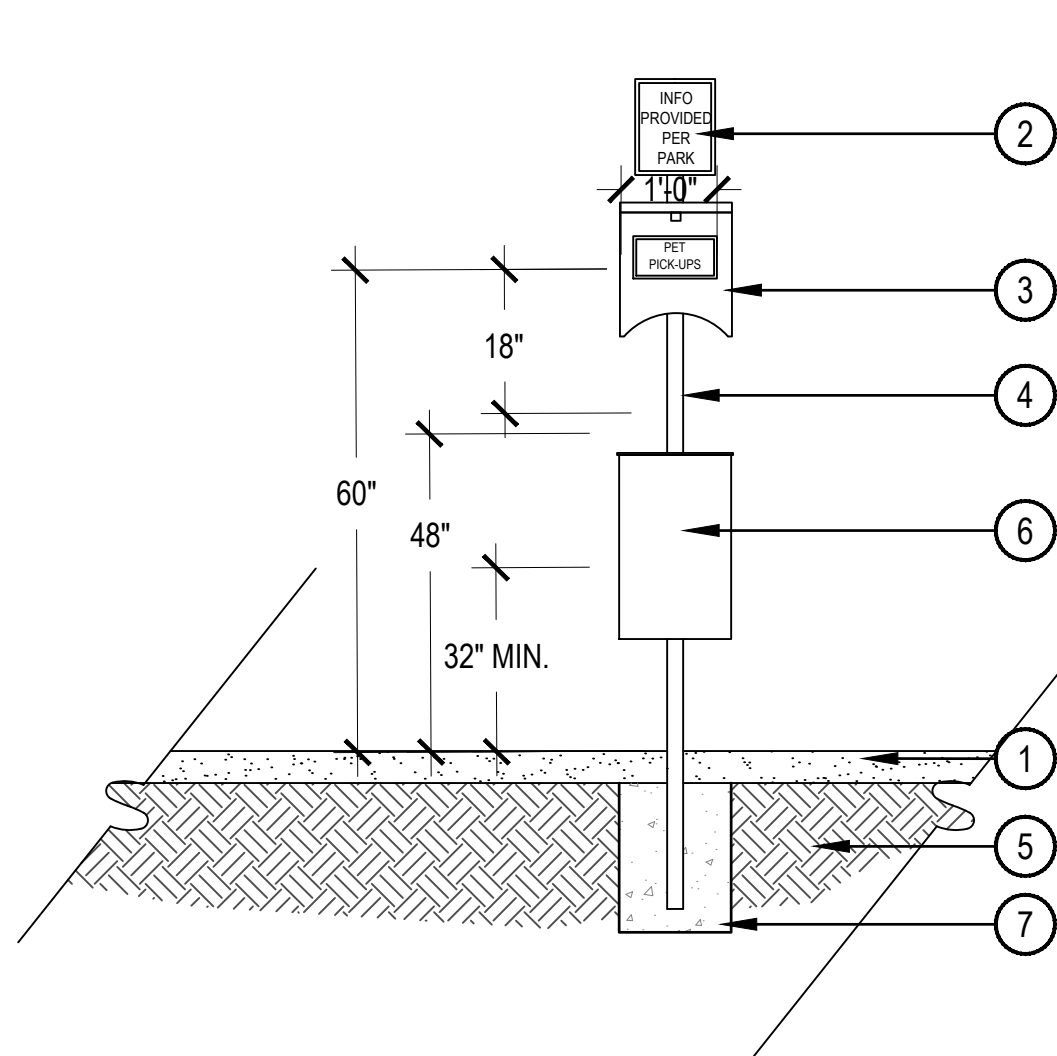
OXENFREE AT WELBY  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO

1 TRASH RECEPTACLE

NTS

2 BENCH

NTS



- ① TURF OR PLANTING BED  
REF: PLANS
- ② REFLECTIVE ALUMINUM SIGN
- ③ TRASH BAG DISPENSER
- ④ SQUARE TUBING
- ⑤ COMPACTED SUBGRADE
- ⑥ PET WASTE RECEPTACLE
- ⑦ SECURE POST IN FOOTING PER MANUFACTURER'S RECOMMENDATIONS

MANUFACTURER: LIVIN THE DOG LIFE  
 MODEL: ALUMINUM PET STATION - DL-1003-L-DP - OR APPROVED EQUAL  
 COLOR TO MATCH FEDERAL GREEN (RAL 6012)



MAGLIN (OR APPROVED EQUAL)  
 PRODUCT: 500 BIKE RACK  
 MATERIALS: POWDERCOATED STEEL  
 COLOR: BLACK  
 EMBEDDED  
<https://www.maglin.com/>

NOTE: MOUNT AND INSTALL PER MANUFACTURE'S SPECIFICATIONS

OWNER:  
 COSMIF FARMS LP  
 6726 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR CONSTRUCTION

DATE:  
 08/16/23-FDP/PU01

SHEET TITLE:  
 LANDSCAPE DETAILS

23 OF 62

CHECKED BY: XX  
 DRAWN BY: XX

3 PET WASTE STATION

SCALE: 1/2" = 1'-0"

4 BIKE RACK

NTS





# OXENFREE AT WELBY

## IN THE COUNTY OF ADAMS, COLORADO

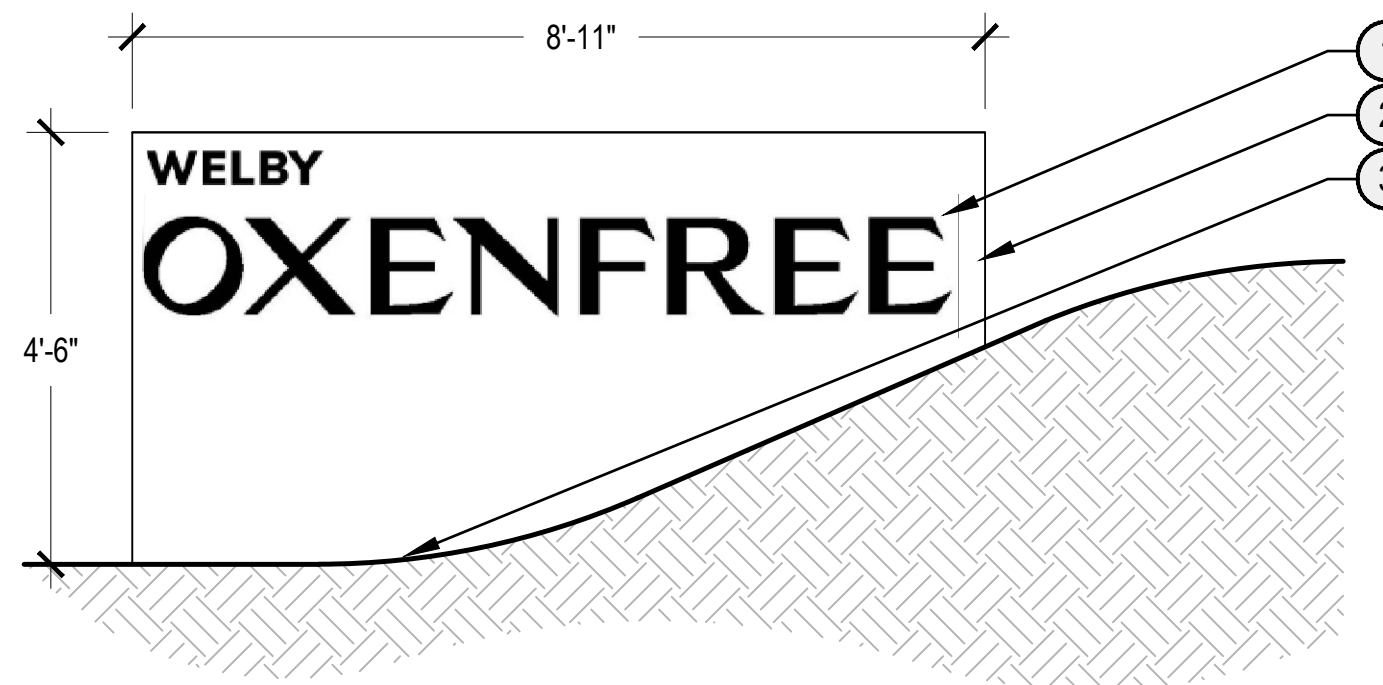
### PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN



MAGLIN (OR APPROVED EQUAL)  
 PRODUCT: 510 TABLE  
 MATERIALS: POWDERCOATED STEEL  
 COLOR: BLACK  
 SURFACE MOUNT  
<https://www.maglin.com/>

NOTE: MOUNT AND INSTALL PER MANUFACTURE'S SPECIFICATIONS

- ① LASER CUT ALUMINUM LETTERS, PIN MOUNTED
- ② STONE TILE SIGN FACE
- ③ LED UP-LIGHTING



1 PICNIC TABLE

NTS

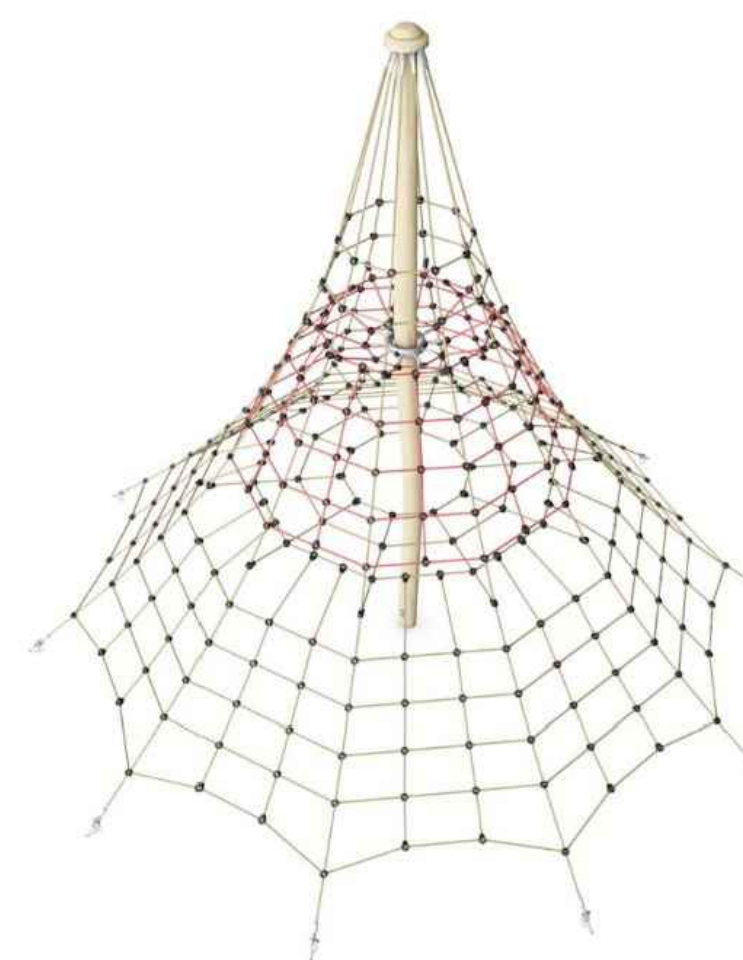
2 MONUMENT

SCALE: 1/2" = 1'-0"

OXENFREE AT WELBY  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO



POLIGON (OR APPROVED EQUAL)  
 PRODUCT: REK-15X25 OR REK-18x30  
 MATERIALS: POWDERCOATED STEEL, WOOD UNDER TRIM  
 COLOR: BLACK CHERRY FRAME, NEW REDWOOD CEILING  
 EMBEDDED  
<https://www.poligon.com/products/square/>  
 ROOF: COMPOSITION  
 NOTE: MOUNT AND INSTALL PER MANUFACTURE'S SPECIFICATIONS



KOMPAN OR APPROVED EQUAL  
 PRODUCT: NRO834  
 MATERIALS: ROBINIA WOOD, PA CABLES WITH STEEL REINFORCEMENT  
 COLOR: BLACK CHERRY FRAME, NEW REDWOOD CEILING  
<https://www.kompan.com/en/us/p/nro834>  
 NOTE: MOUNT AND INSTALL PER MANUFACTURE'S SPECIFICATIONS

3 SHELTER

NTS

4 PLAY CLIMBER

NTS

OWNER:  
 COSMIF FARMS LP  
 6728 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR CONSTRUCTION

DATE:  
 08/16/23-FDP/PUD 01

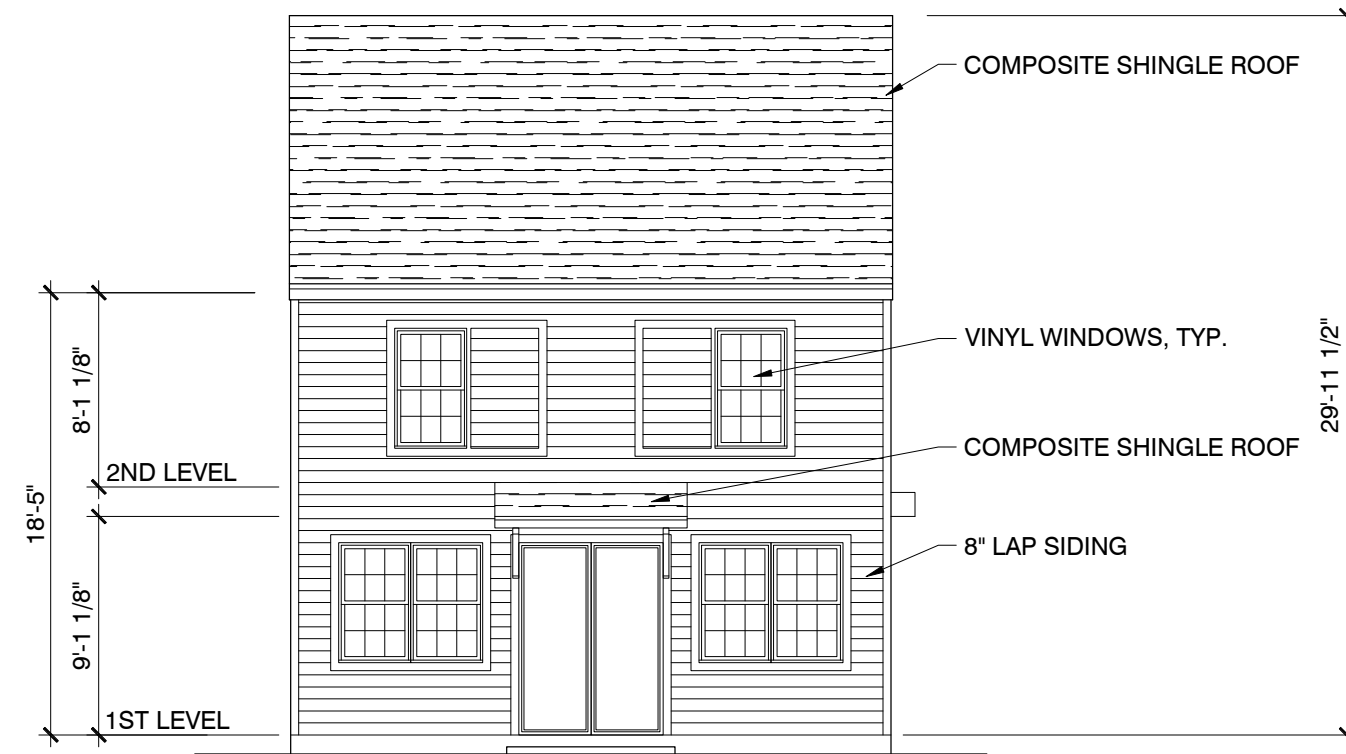
SHEET TITLE:  
 LANDSCAPE DETAILS

24 OF 62

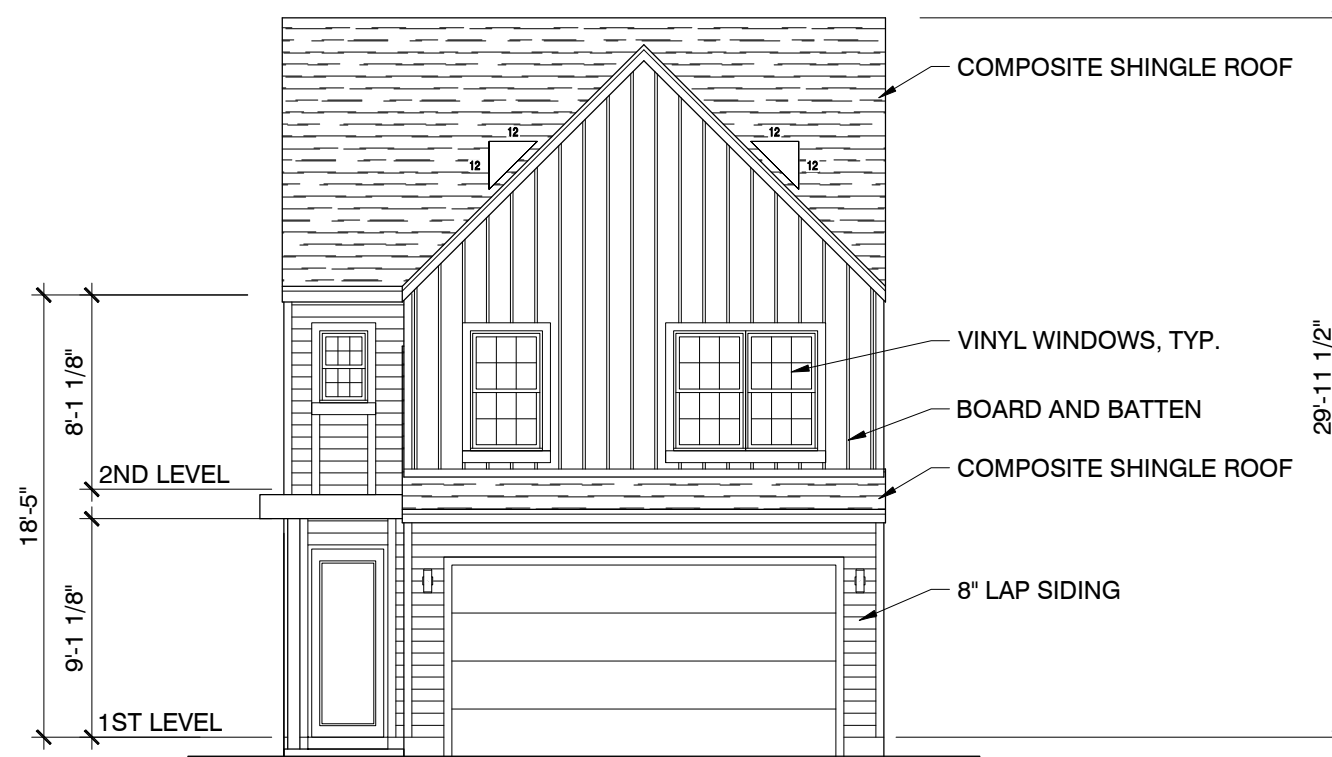


# OXENFREE AT WELBY

IN THE COUNTY OF ADAMS, COLORADO  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 SHEET 25: E25-1641 - CONTEMPORARY 'A'



**CONTEMPORARY 'A' - REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



**CONTEMPORARY 'A' - FRONT ELEVATION**  
 SCALE: 1/8"=1'-0"

OWNER:  
 COSMI FARMS LP  
 8728 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR  
 CONSTRUCTION

DATE:  
 08-16-23 FPD/PUD 01

SHEET TITLE:  
 E25-1641  
 CONTEMPORARY  
 'A'



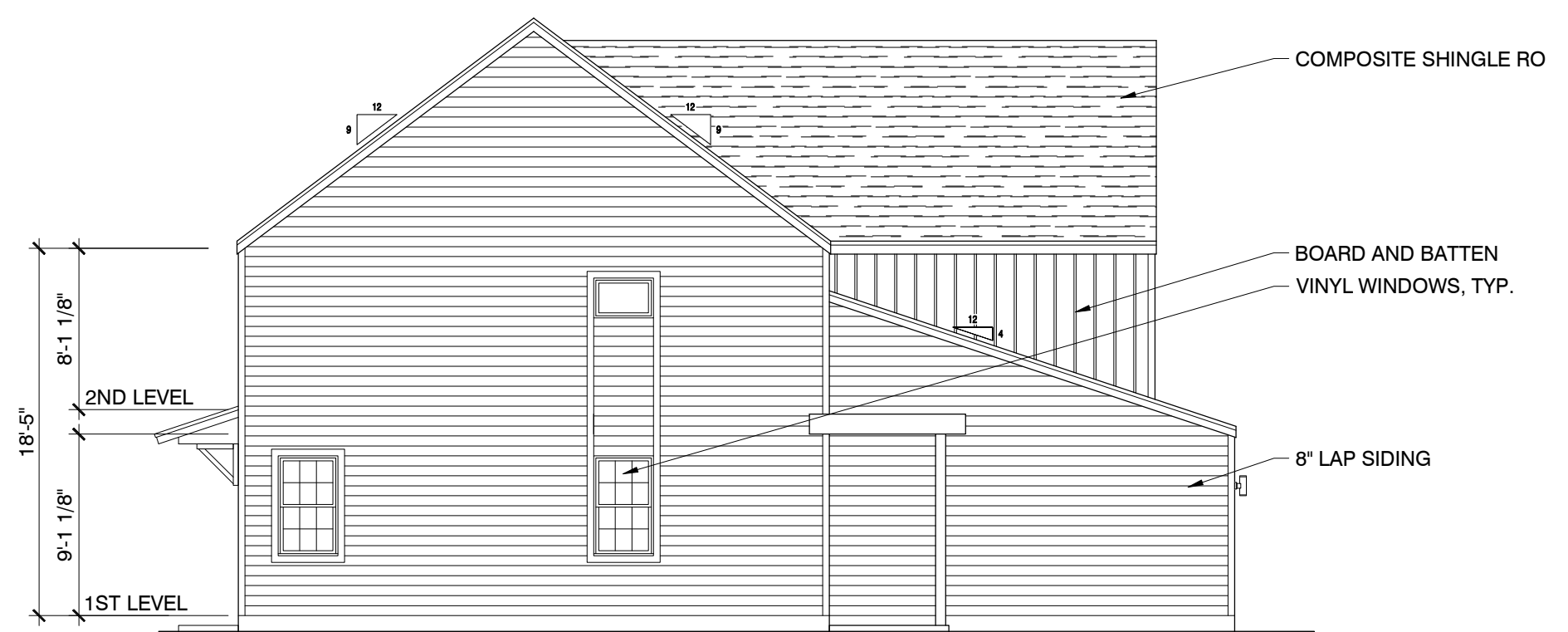


# OXENFREE AT WELBY

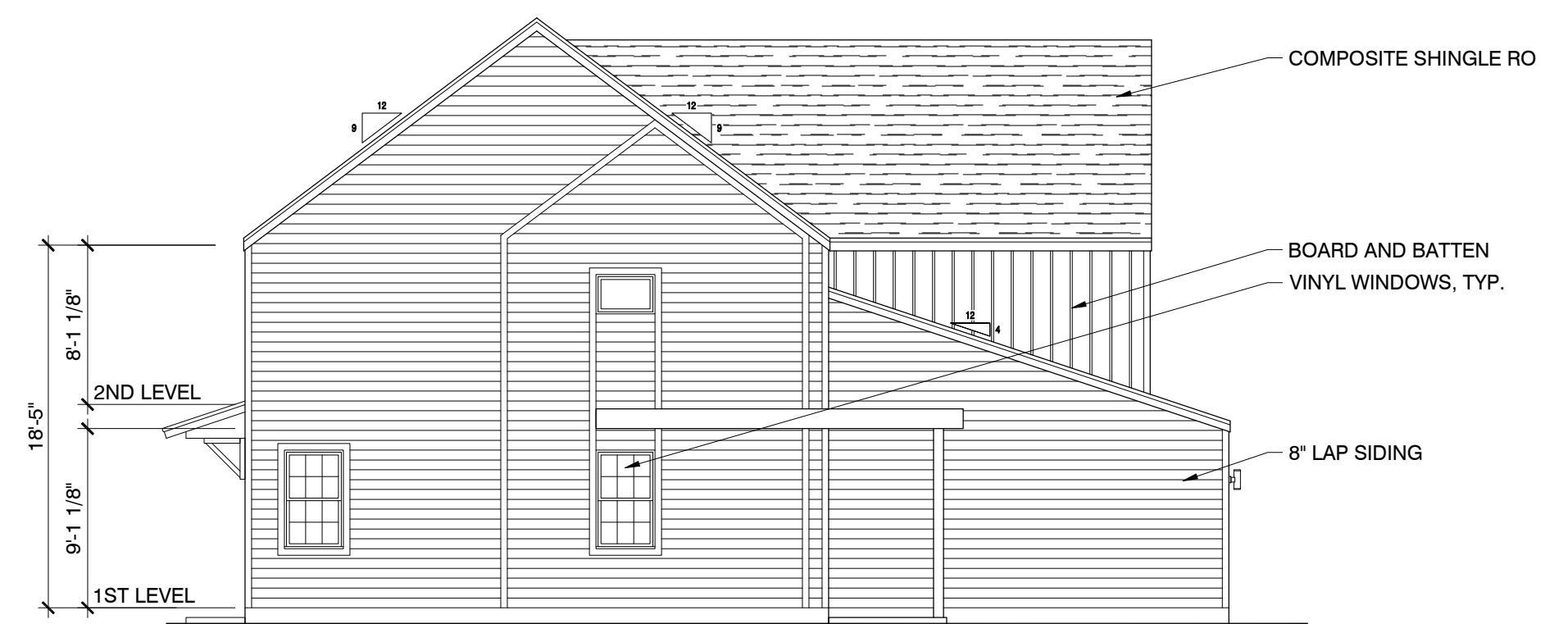
IN THE COUNTY OF ADAMS, COLORADO  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 SHEET 26: E25-1641 - CONTEMPORARY 'A'



**CONTEMPORARY 'A' - RIGHT ELEVATION**  
 SCALE: 1/8"=1'-0"



**CONTEMPORARY 'A' - LEFT ELEVATION**  
 SCALE: 1/8"=1'-0"



**CONTEMPORARY 'A' ENHANCED - LEFT ELEVATION**  
 SCALE: 1/8"=1'-0"

OXENFREE AT WELBY  
 PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO

OWNER:  
 COSMI FARMS LP  
 8728 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

E25-1641  
 CONTEMPORARY 'A'

NOT FOR  
 CONSTRUCTION

DATE:  
 08-16-23 FPD/PUD 01

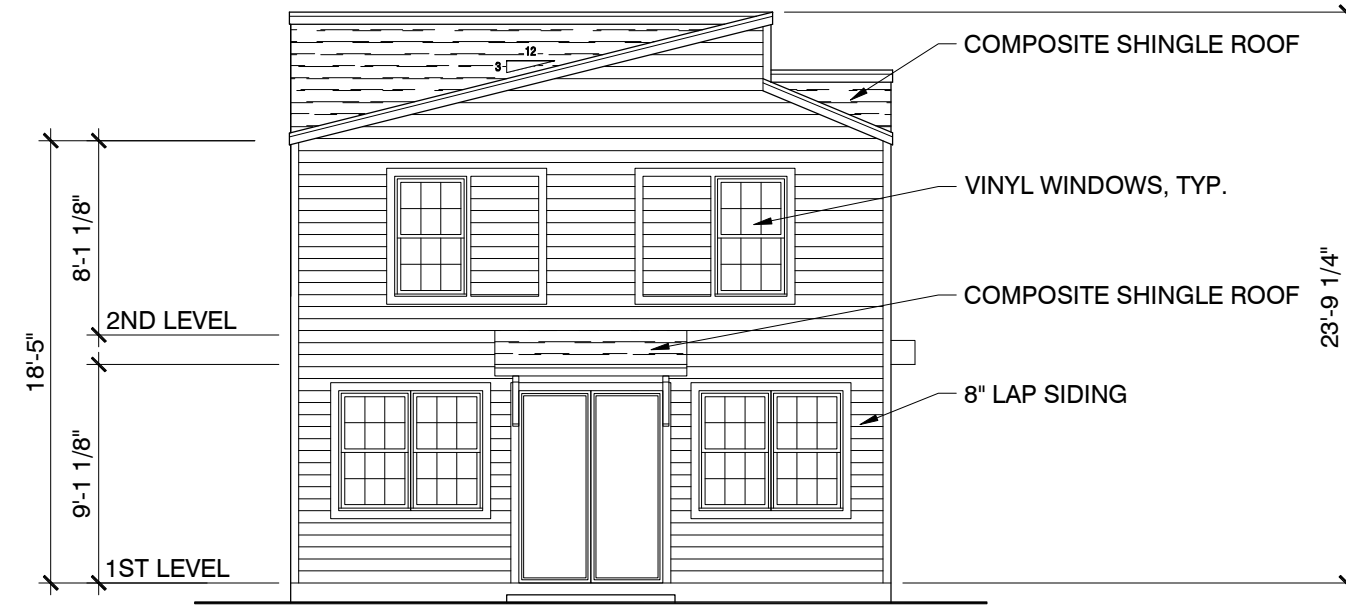
SHEET TITLE:  
 E25-1641  
 CONTEMPORARY  
 'A'



CHECKED BY:  
 DRAWN BY:

# OXENFREE AT WELBY

IN THE COUNTY OF ADAMS, COLORADO  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 SHEET 27: E25-1641 - LOFT 'C'



**LOFT 'C' - REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



**LOFT 'C' - FRONT ELEVATION**  
 SCALE: 1/8"=1'-0"

**OXENFREE AT WELBY**  
 PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO

OWNER:  
 COSMI FARMS LP  
 8728 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR  
 CONSTRUCTION

DATE:  
 08-16-23 FPD/PUD 01

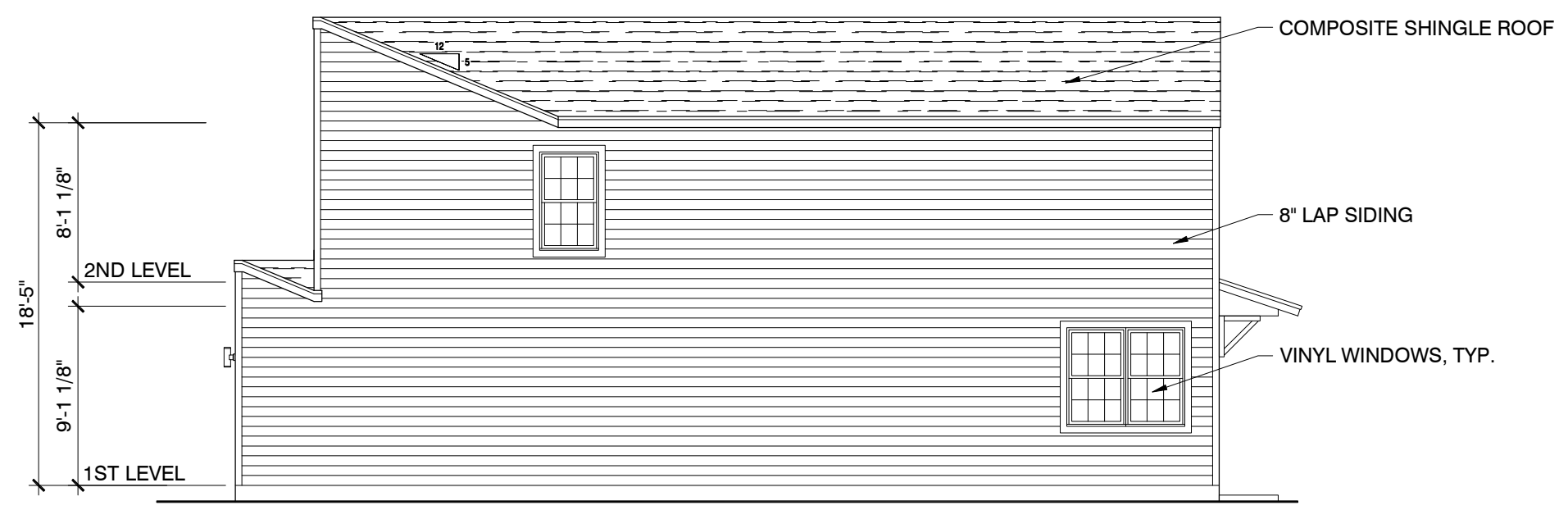
SHEET TITLE:  
 E25-1641  
 LOFT 'C'



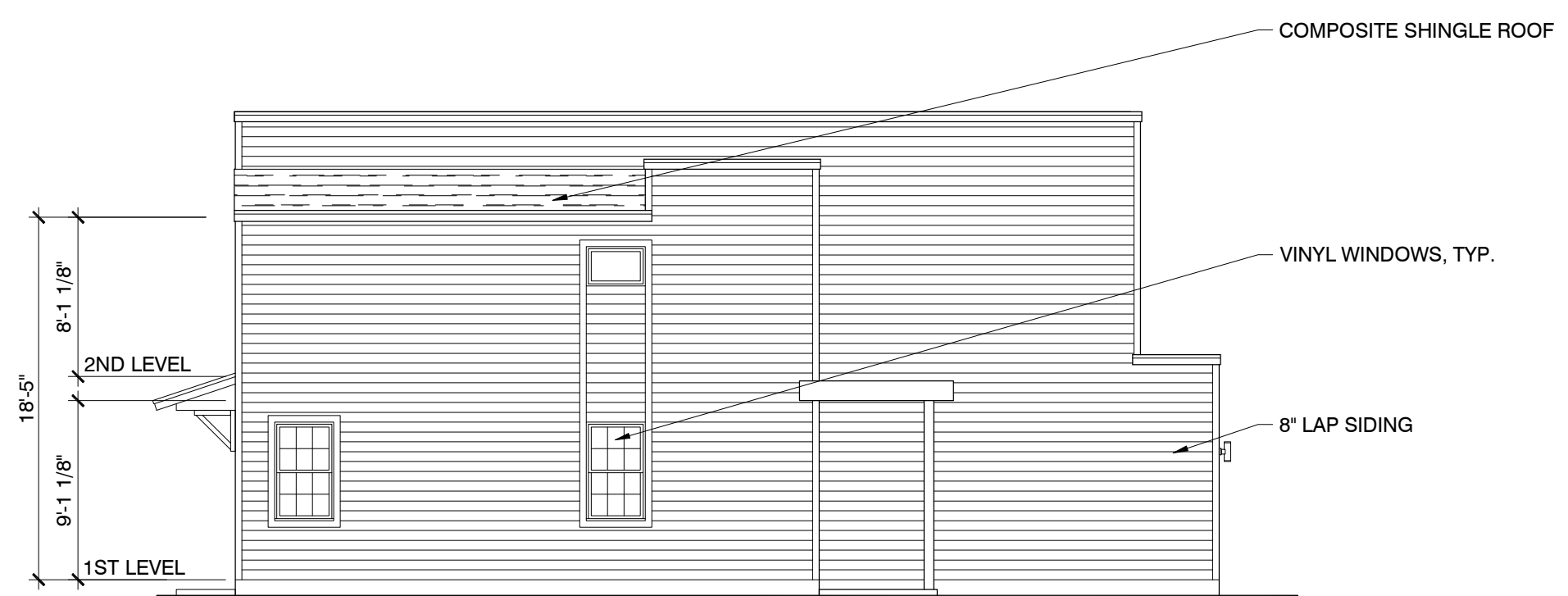


# OXENFREE AT WELBY

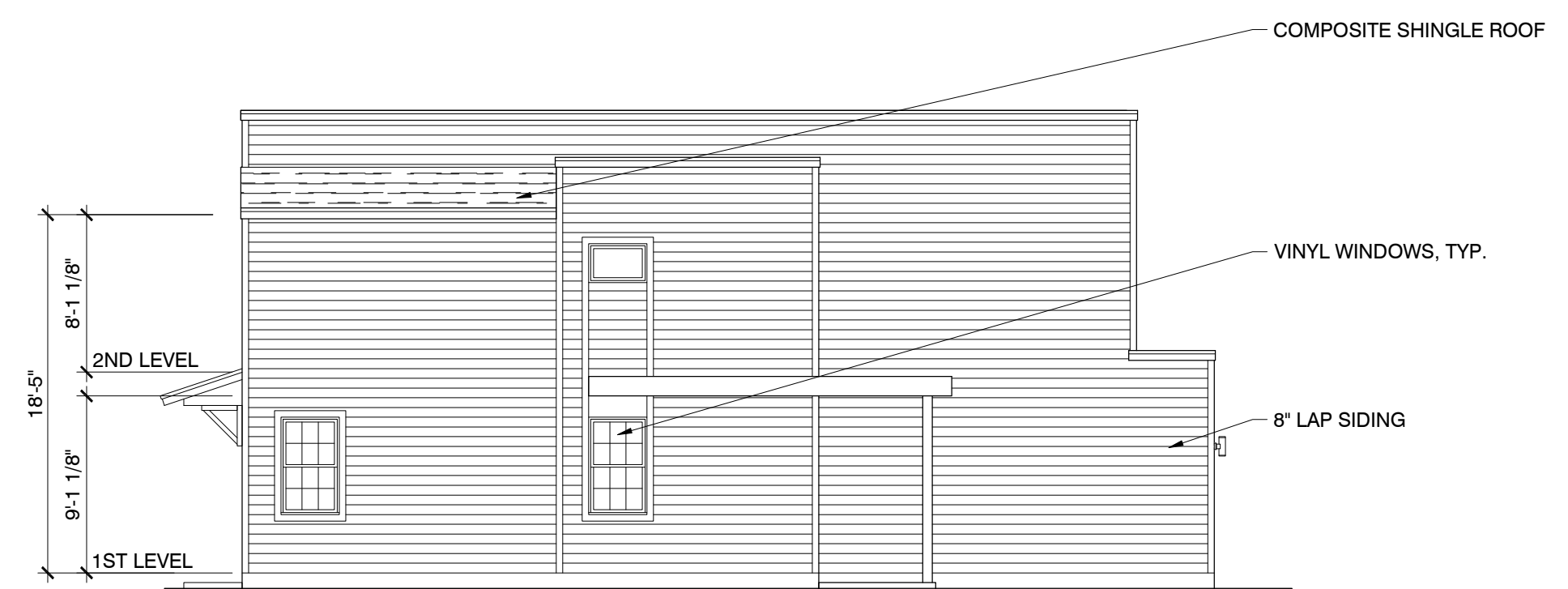
IN THE COUNTY OF ADAMS, COLORADO  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 SHEET 28: E25-1641 - LOFT 'C'



**LOFT 'C' - RIGHT ELEVATION**  
 SCALE: 1/8"=1'-0"



**LOFT 'C' - LEFT ELEVATION**  
 SCALE: 1/8"=1'-0"



**LOFT 'C' ENHANCED - LEFT ELEVATION**  
 SCALE: 1/8"=1'-0"

**OXENFREE AT WELBY**  
 PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO

OWNER:  
 COSMI FARMS LP  
 8728 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR  
 CONSTRUCTION

DATE:  
 08-16-23 FPD/PUD 01

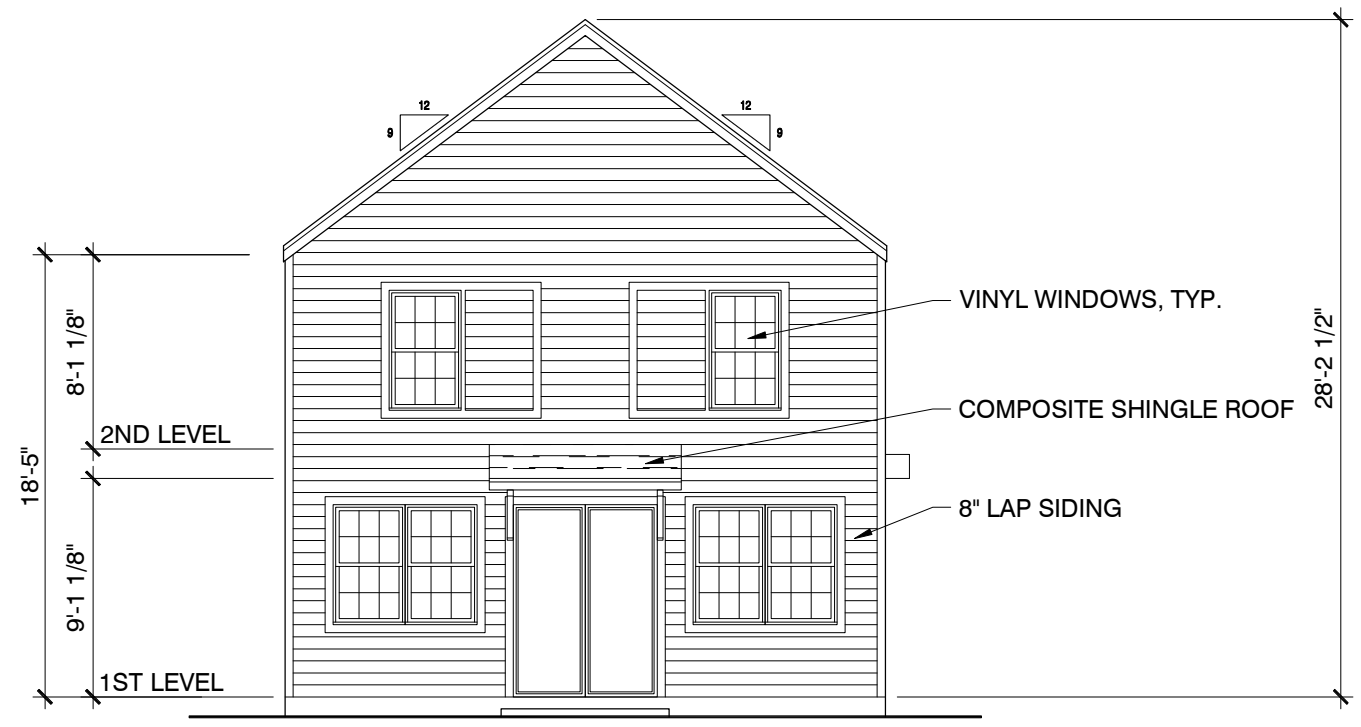
SHEET TITLE:  
 E25-1641  
 LOFT 'C'



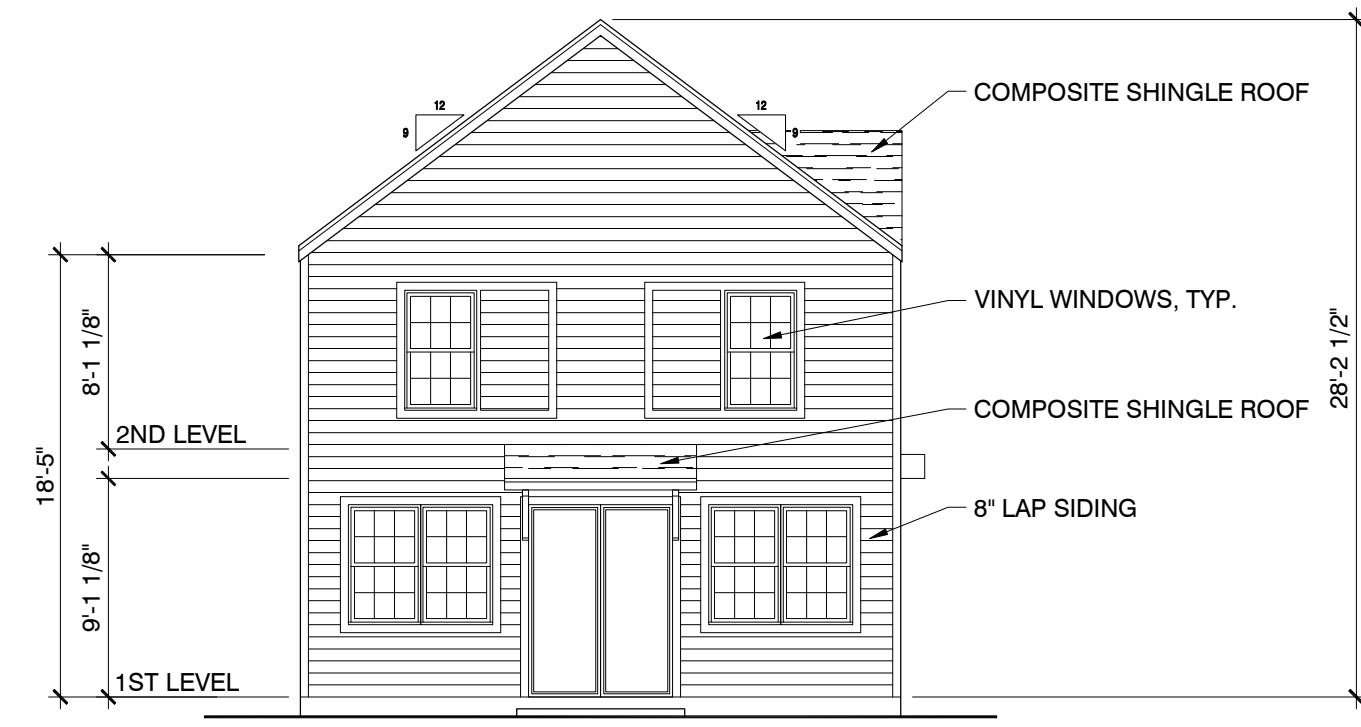
CHECKED BY:  
 DRAWN BY:

# OXENFREE AT WELBY

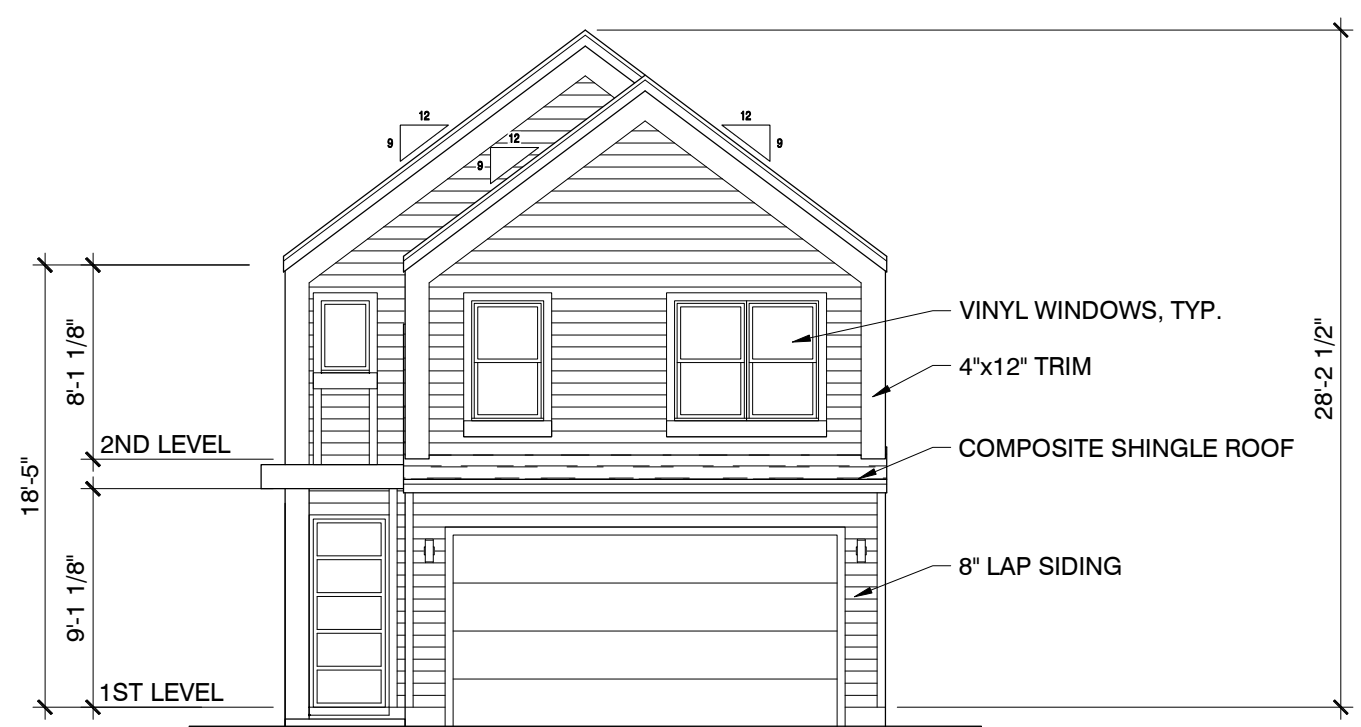
IN THE COUNTY OF ADAMS, COLORADO  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 SHEET 29: E25-1641 - MODERN 'E'



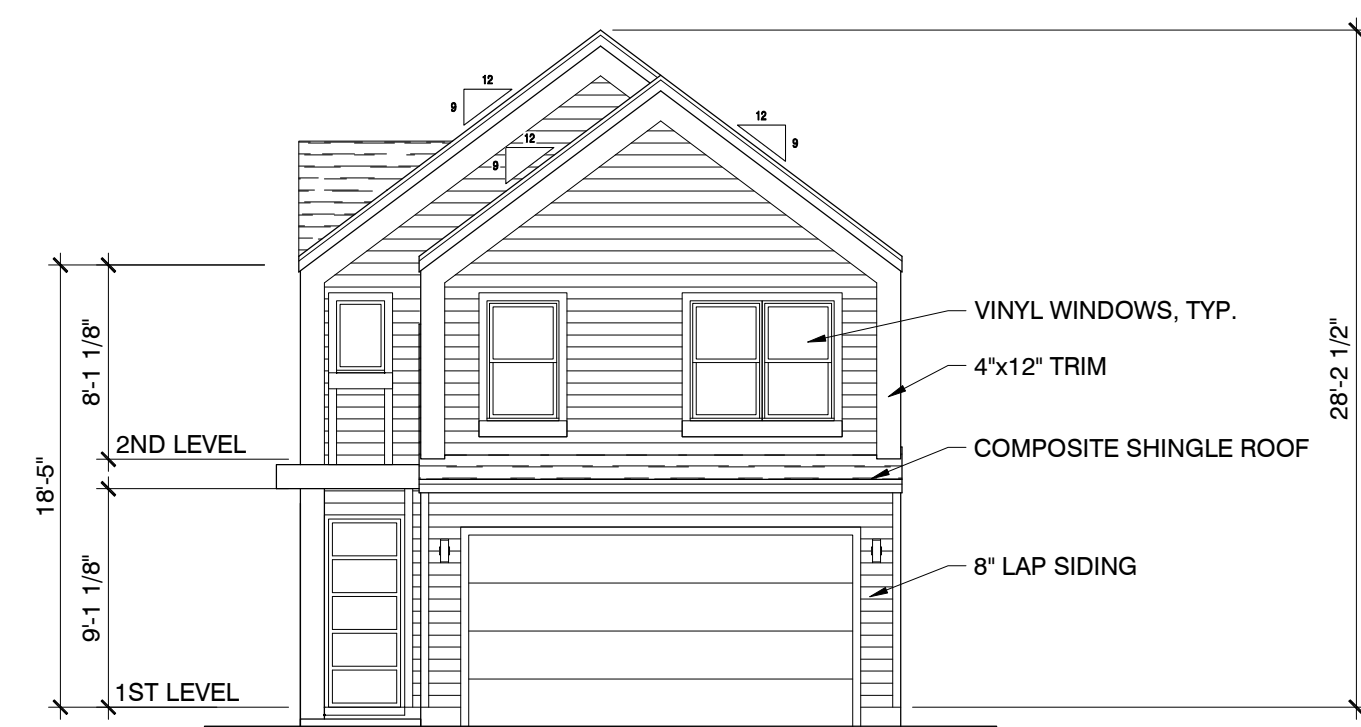
**MODERN 'E' - REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



**MODERN 'E' ENHANCED - REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



**MODERN 'E' - FRONT ELEVATION**  
 SCALE: 1/8"=1'-0"



**MODERN 'E' ENHANCED - FRONT ELEVATION**  
 SCALE: 1/8"=1'-0"

**OXENFREE AT WELBY**  
 PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO

OWNER:  
 COSMI FARMS LP  
 8728 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR  
 CONSTRUCTION

DATE:  
 08-16-23 FPD/PUD 01

SHEET TITLE:  
 E25-1641  
 MODERN 'E'



CHECKED BY: FAE  
 DRAWN BY: FAE

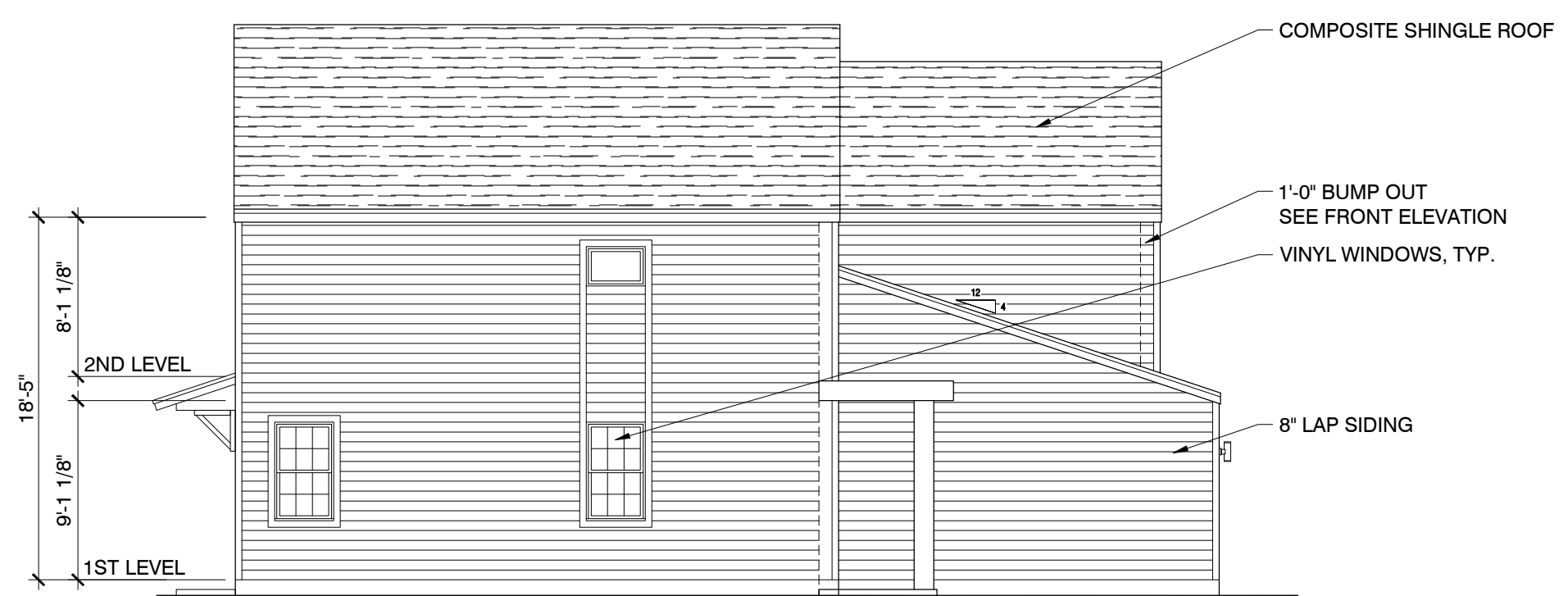


# OXENFREE AT WELBY

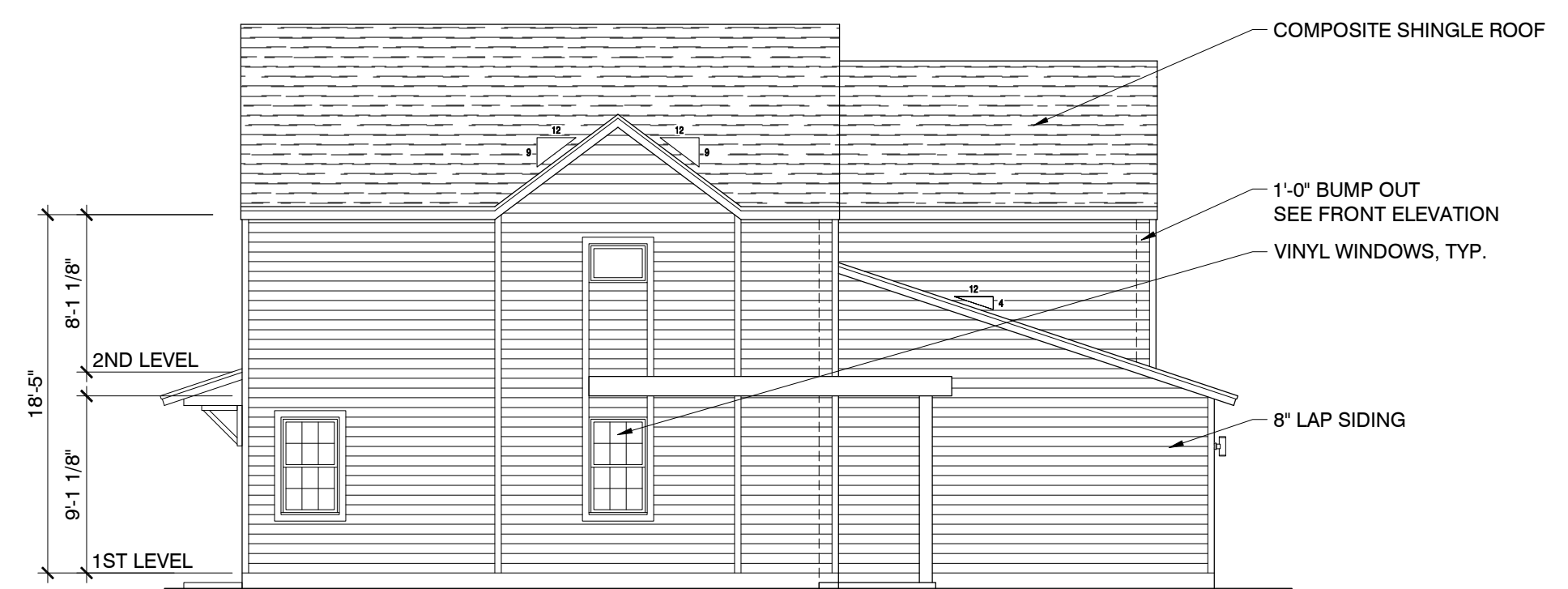
IN THE COUNTY OF ADAMS, COLORADO  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 SHEET 30: E25-1641 - MODERN 'E'



**MODERN 'E' - RIGHT ELEVATION**  
 SCALE: 1/8"=1'-0"



**MODERN 'E' - LEFT ELEVATION**  
 SCALE: 1/8"=1'-0"



**MODERN 'E' ENHANCED - LEFT ELEVATION**  
 SCALE: 1/8"=1'-0"

OXENFREE AT WELBY  
 PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO

OWNER:  
 COSMI FARMS LP  
 8728 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR  
 CONSTRUCTION

DATE:  
 08-16-23 FPD/PUD 01

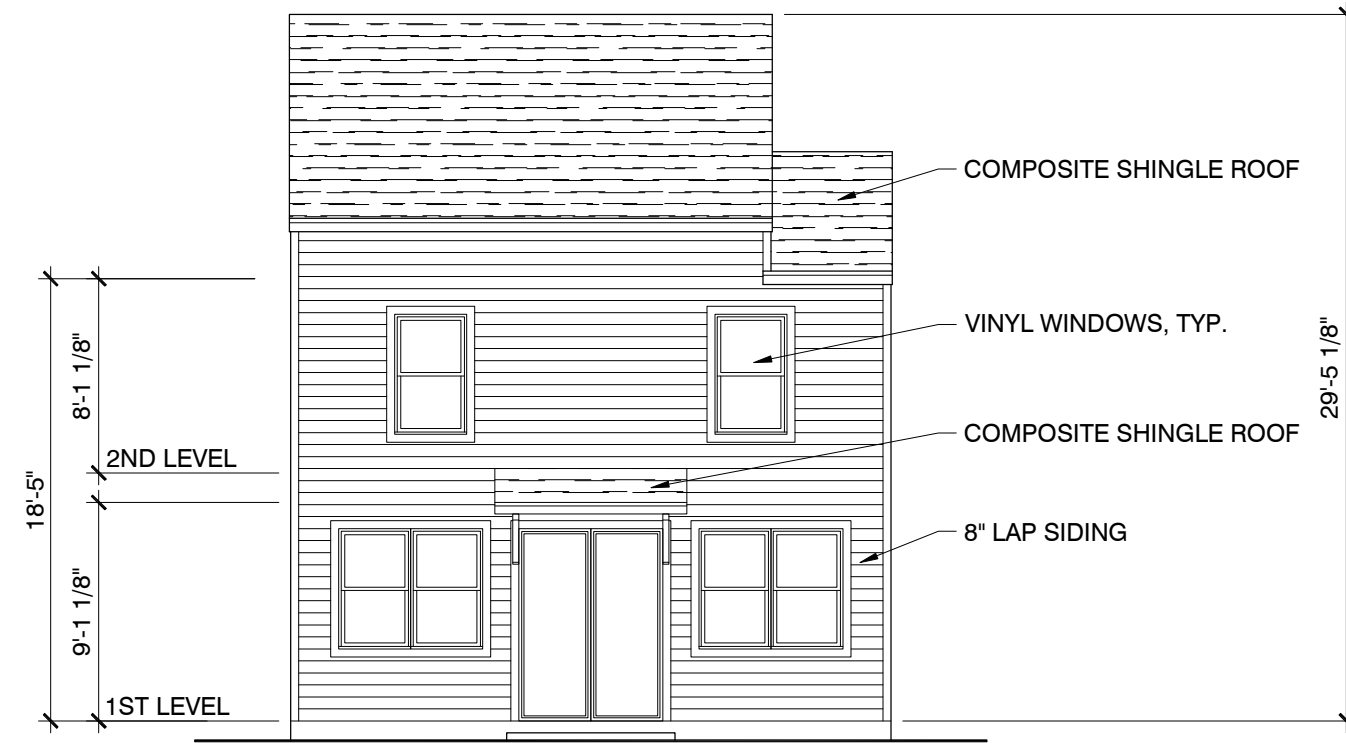
SHEET TITLE:  
 E25-1641  
 MODERN 'E'



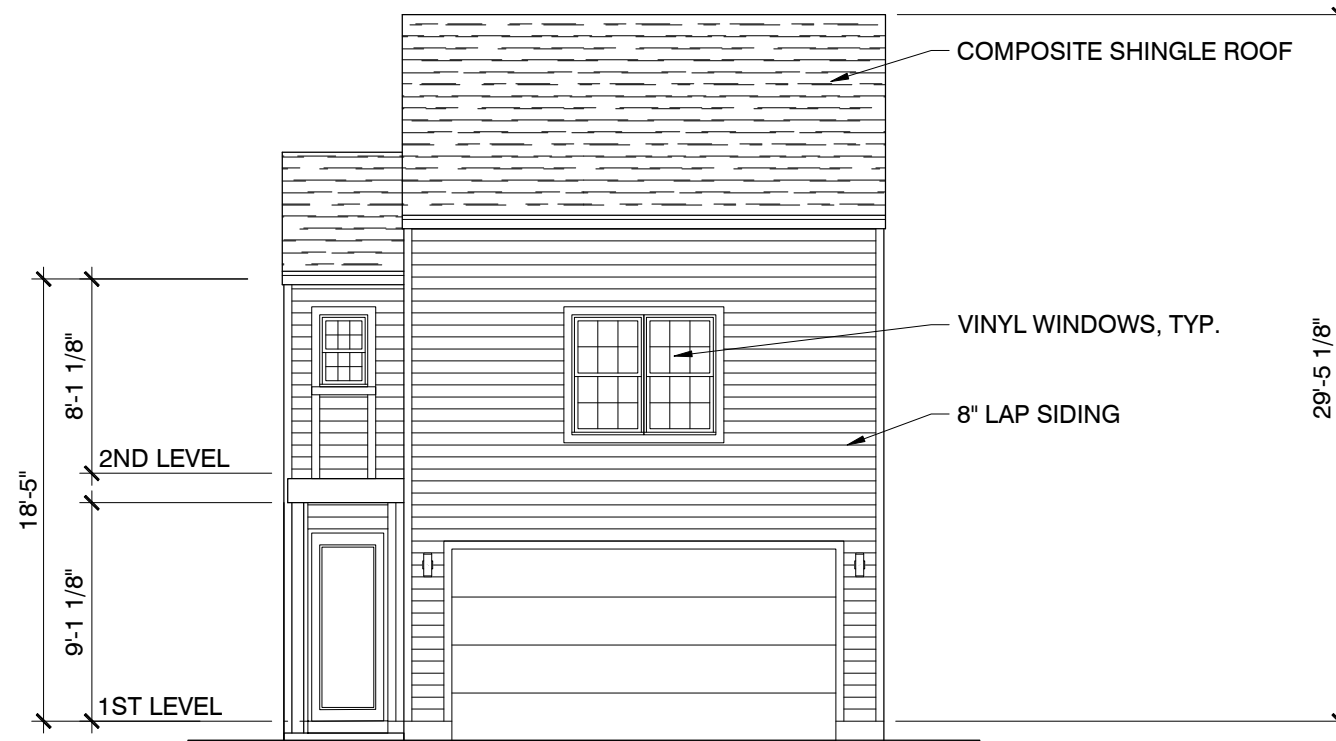
CHECKED BY:  
 DRAWN BY:

# OXENFREE AT WELBY

IN THE COUNTY OF ADAMS, COLORADO  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 SHEET 31: E25-1888 - CONTEMPORARY 'A'



**CONTEMPORARY 'A' - REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



**CONTEMPORARY 'A' - FRONT ELEVATION**  
 SCALE: 1/8"=1'-0"

**OXENFREE AT WELBY**  
 PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO

OWNER:  
 COSMI FARMS LP  
 8728 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR  
 CONSTRUCTION

DATE:  
 08-16-23 FPD/PUD 01

SHEET TITLE:  
 E25-1888  
 CONTEMPORARY  
 'A'

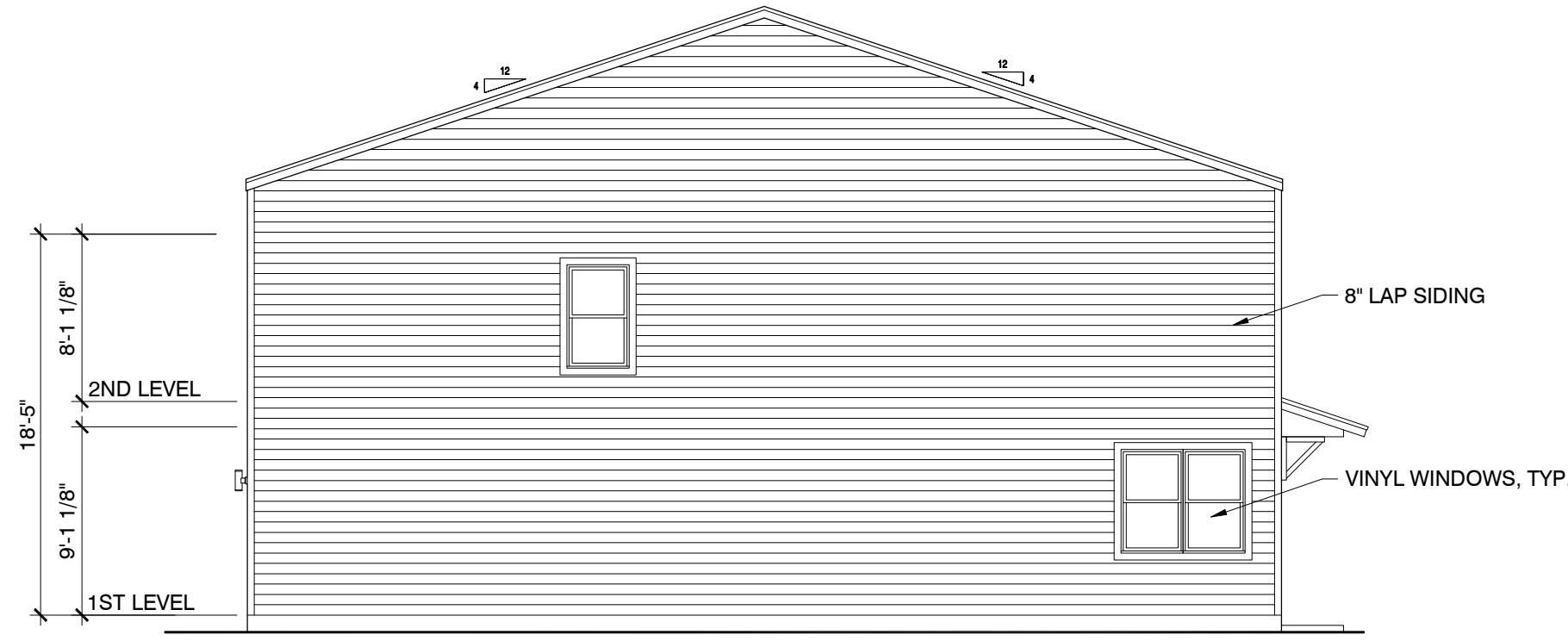


CHECKED BY: FAE  
 DRAWN BY: FAE

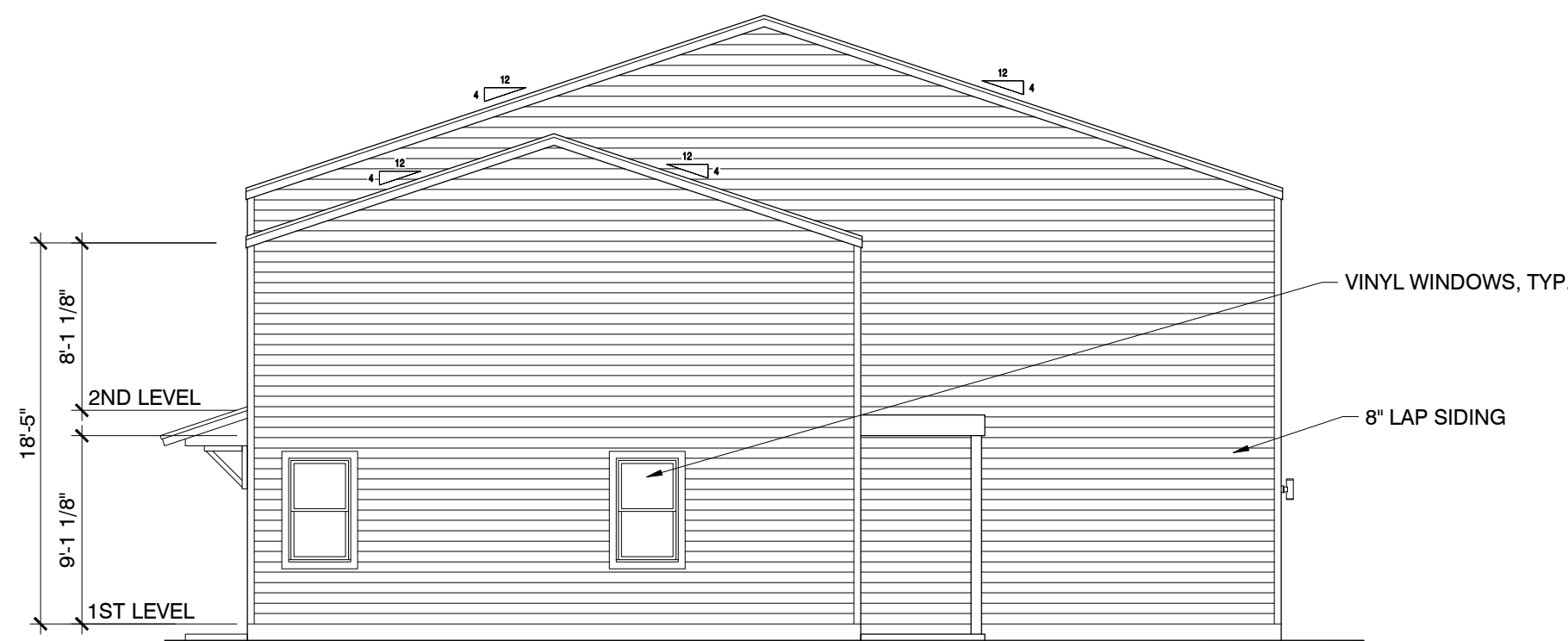


# OXENFREE AT WELBY

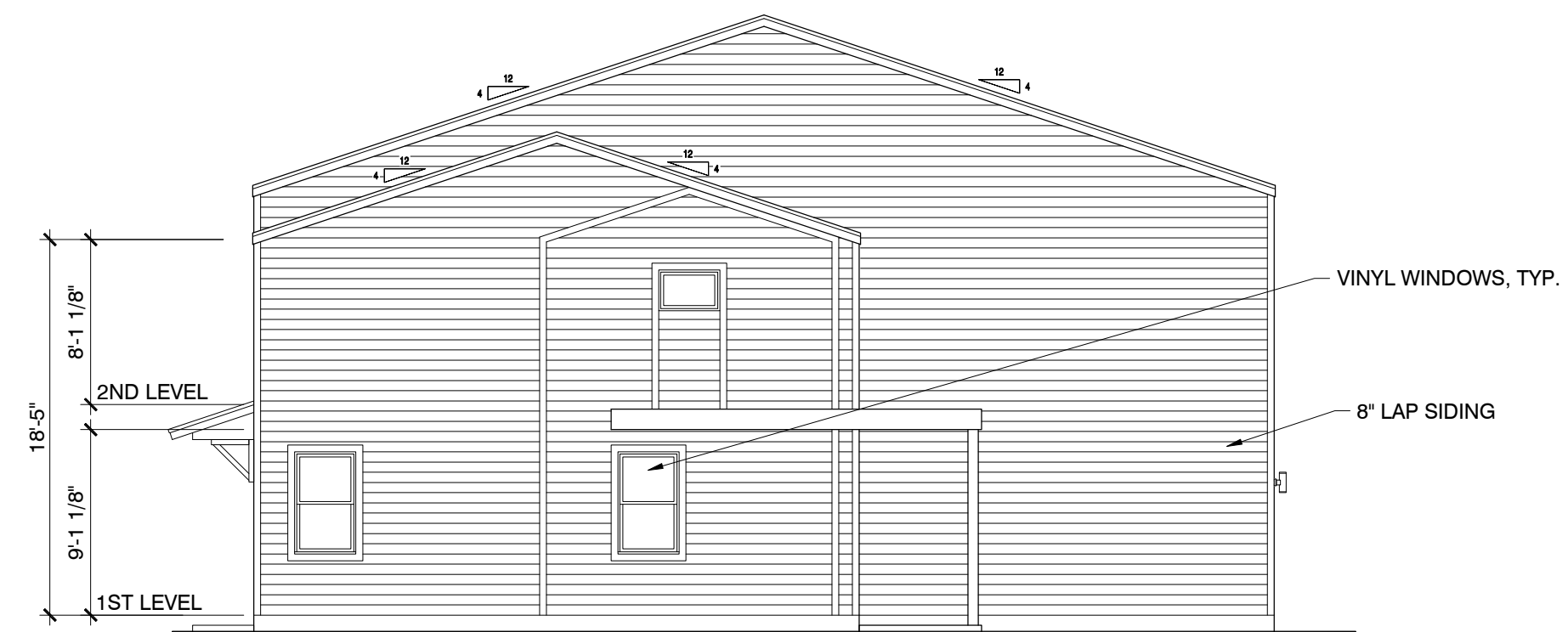
IN THE COUNTY OF ADAMS, COLORADO  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 SHEET 32: E25-1888 - CONTEMPORARY 'A'



**CONTEMPORARY 'A' - RIGHT ELEVATION**  
 SCALE: 1/8"=1'-0"



**CONTEMPORARY 'A' - LEFT ELEVATION**  
 SCALE: 1/8"=1'-0"



**CONTEMPORARY 'A' ENHANCED - LEFT ELEVATION**  
 SCALE: 1/8"=1'-0"

**OXENFREE AT WELBY**  
 PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO

OWNER:  
 COSMI FARMS LP  
 8728 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR  
 CONSTRUCTION

DATE:  
 08-16-23 FPD/PUD 01

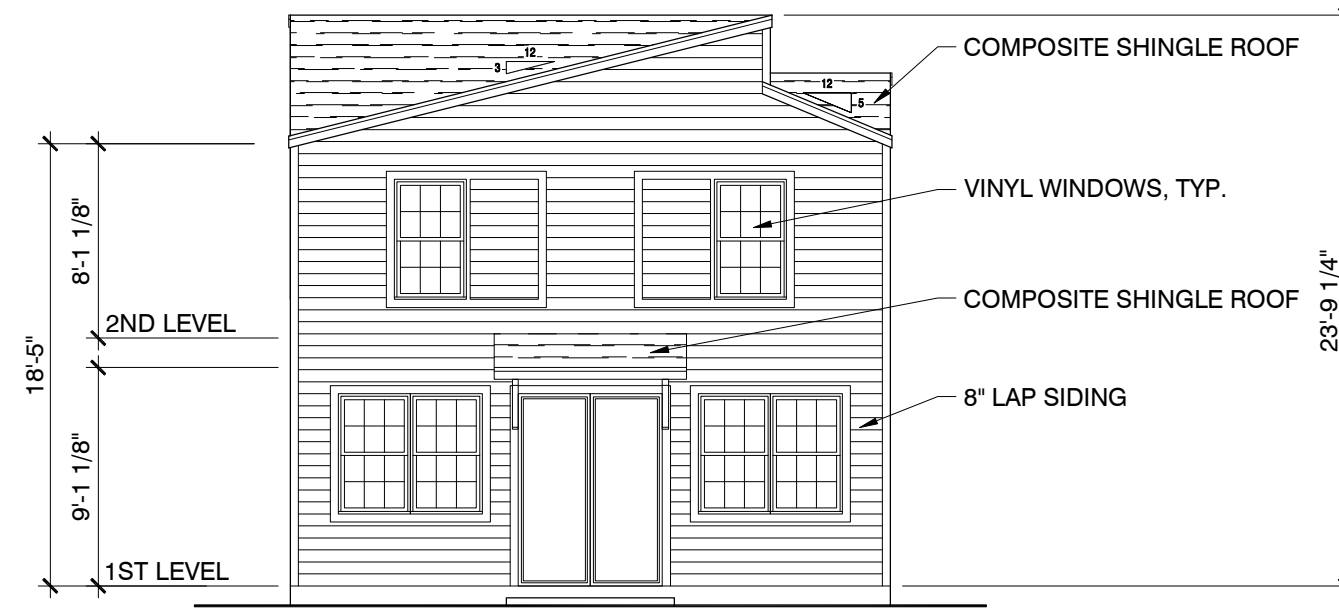
SHEET TITLE:  
 E25-1888  
 CONTEMPORARY  
 'A'



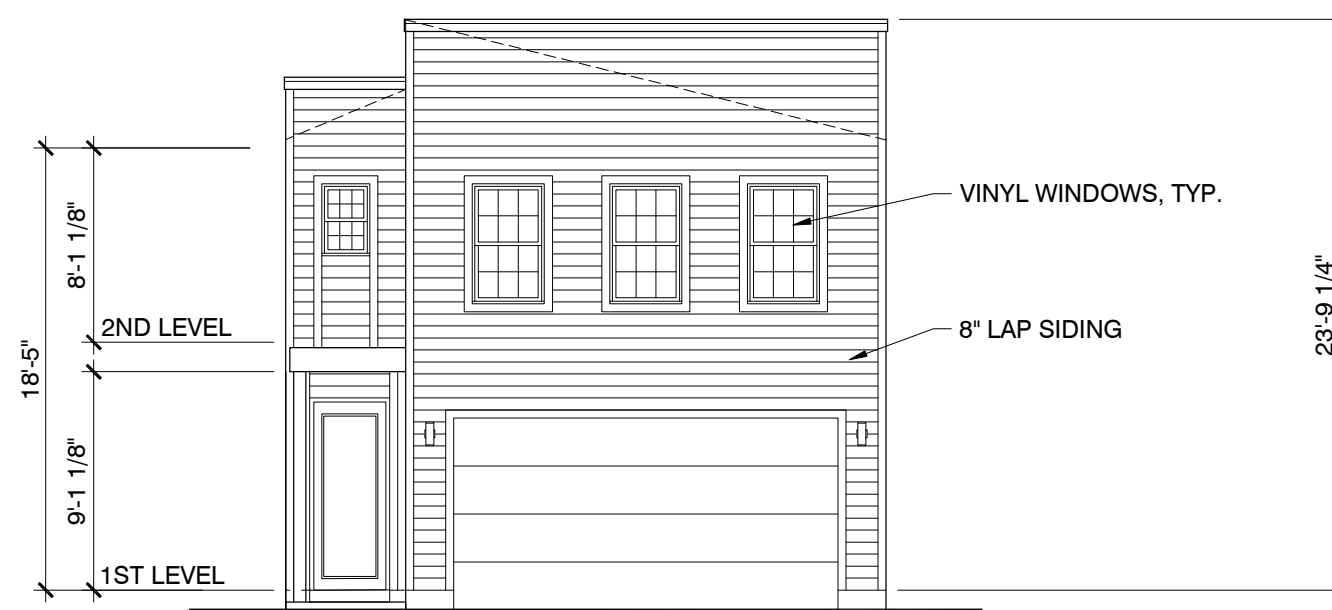
CHECKED BY:  
 DRAWN BY:

# OXENFREE AT WELBY

IN THE COUNTY OF ADAMS, COLORADO  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 SHEET 33: E25-1888 - LOFT 'C'



**LOFT 'C' - REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



**LOFT 'C' - FRONT ELEVATION**  
 SCALE: 1/8"=1'-0"

**OXENFREE AT WELBY**  
 PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO

OWNER:  
 COSMI FARMS LP  
 8728 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR  
 CONSTRUCTION

DATE:  
 08-16-23 FPD/PUD 01

SHEET TITLE:  
 E25-1888  
 LOFT 'C'

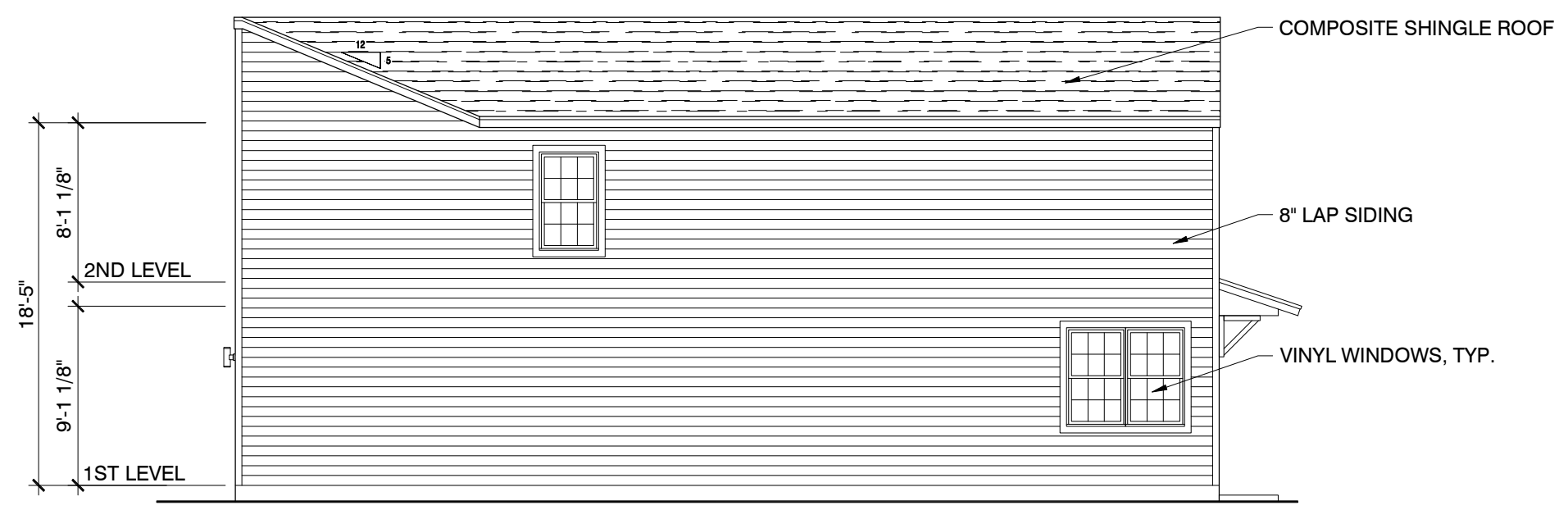


CHECKED BY: FAE  
 DRAWN BY: FAE

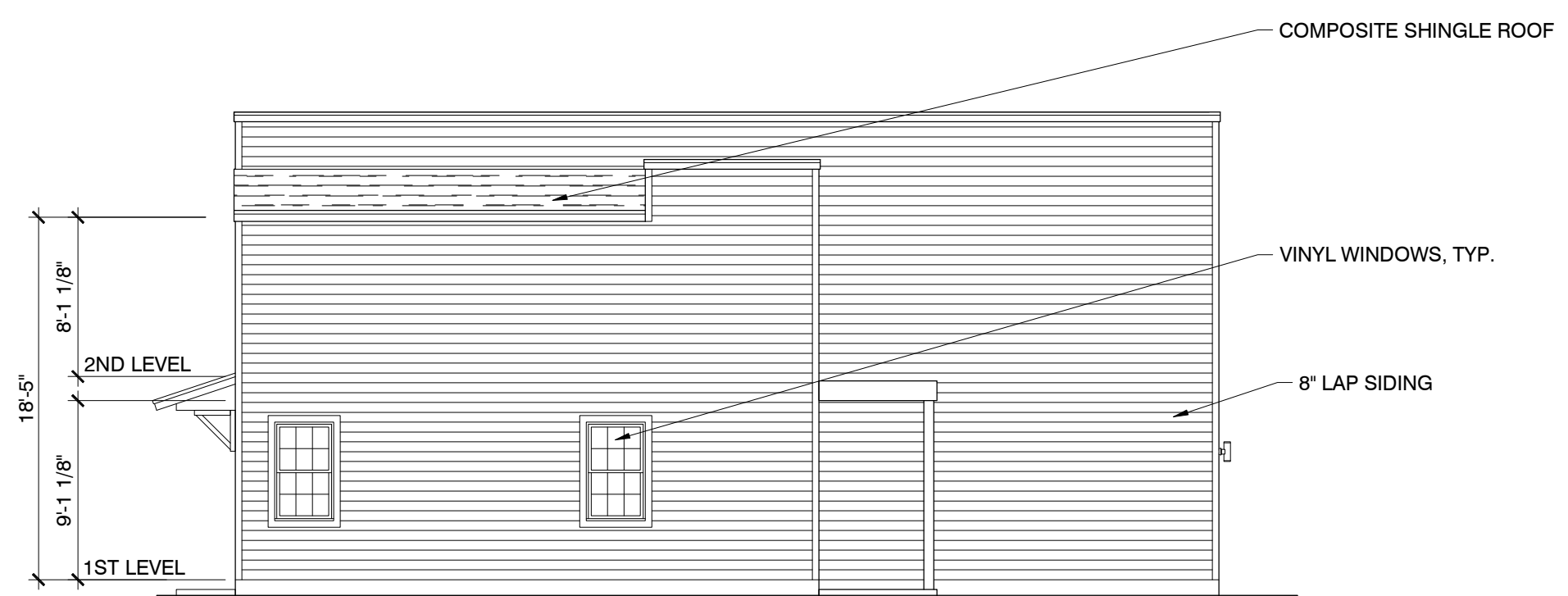


# OXENFREE AT WELBY

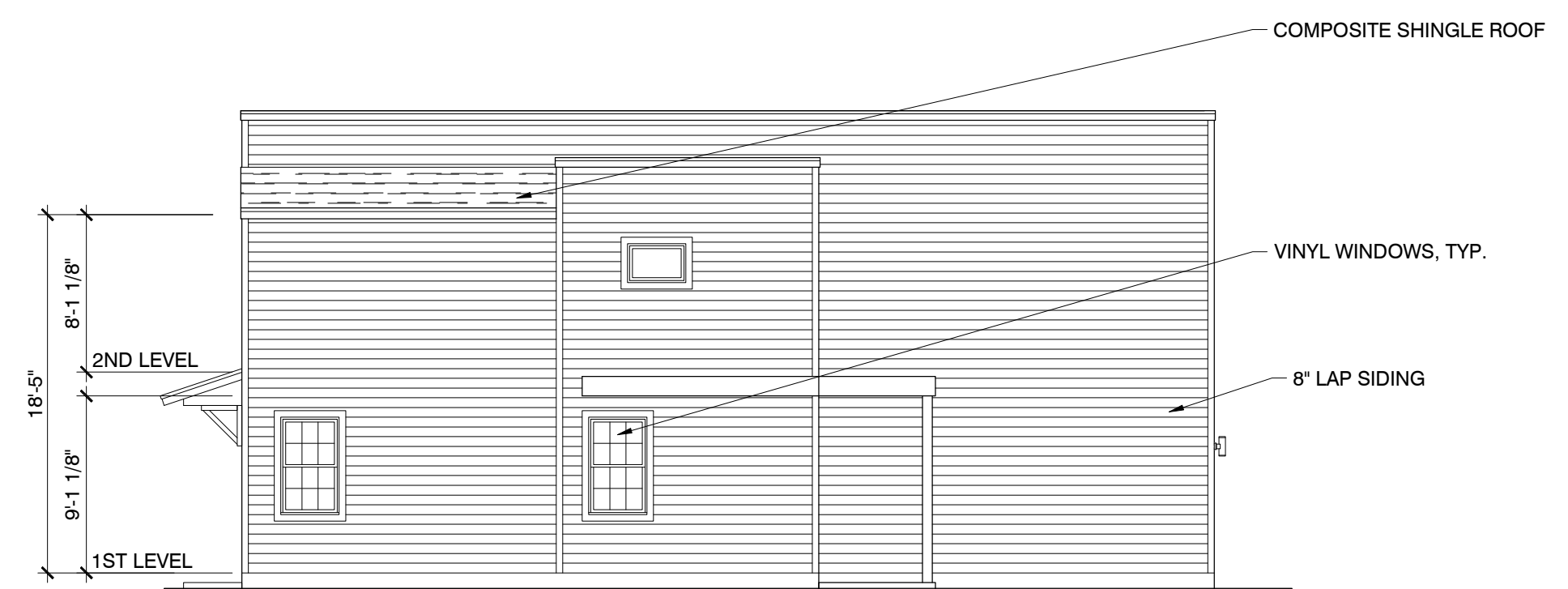
IN THE COUNTY OF ADAMS, COLORADO  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 SHEET 34: E25-1888 - LOFT 'C'



**LOFT 'C' - RIGHT ELEVATION**  
 SCALE: 1/8"=1'-0"



**LOFT 'C' - LEFT ELEVATION**  
 SCALE: 1/8"=1'-0"



**LOFT 'C' ENHANCED - LEFT ELEVATION**  
 SCALE: 1/8"=1'-0"

OXENFREE AT WELBY  
 PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO

OWNER:  
 COSMI FARMS LP  
 8728 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR  
 CONSTRUCTION

DATE:  
 08-16-23 FPD/PUD 01

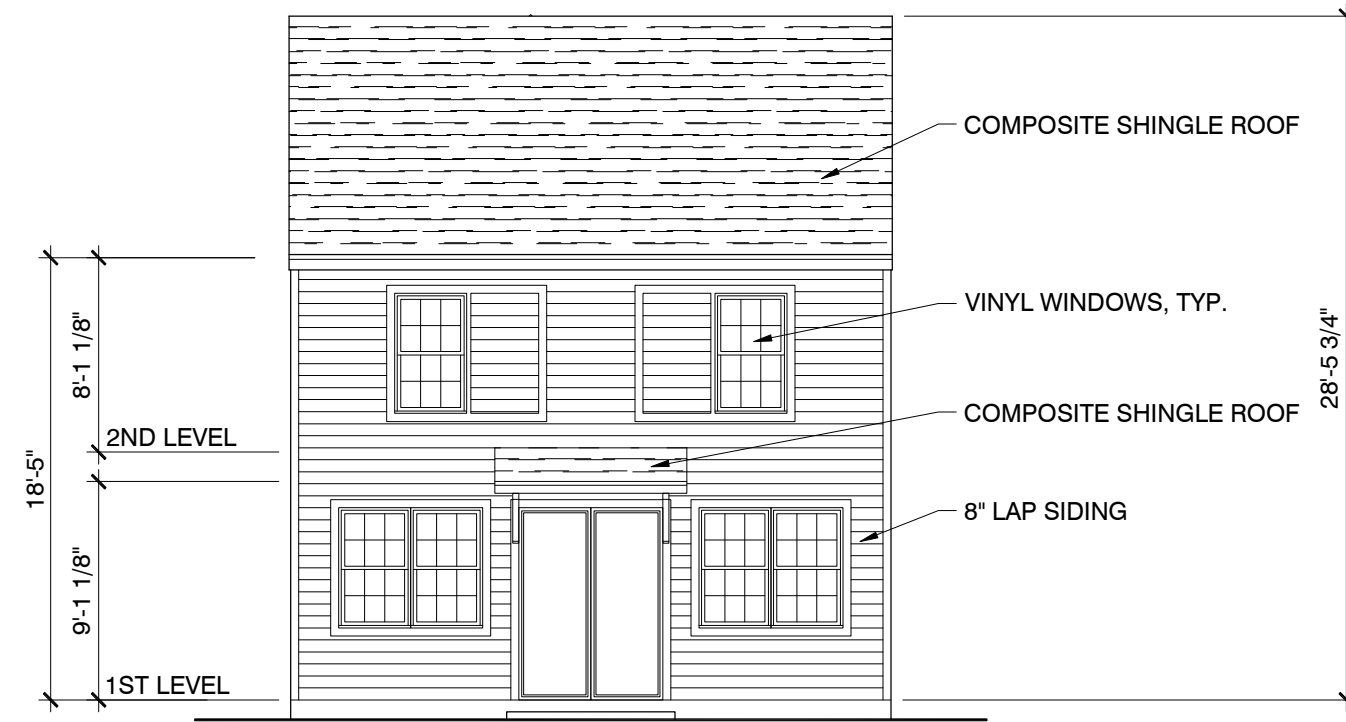
SHEET TITLE:  
 E25-1888  
 LOFT 'C'



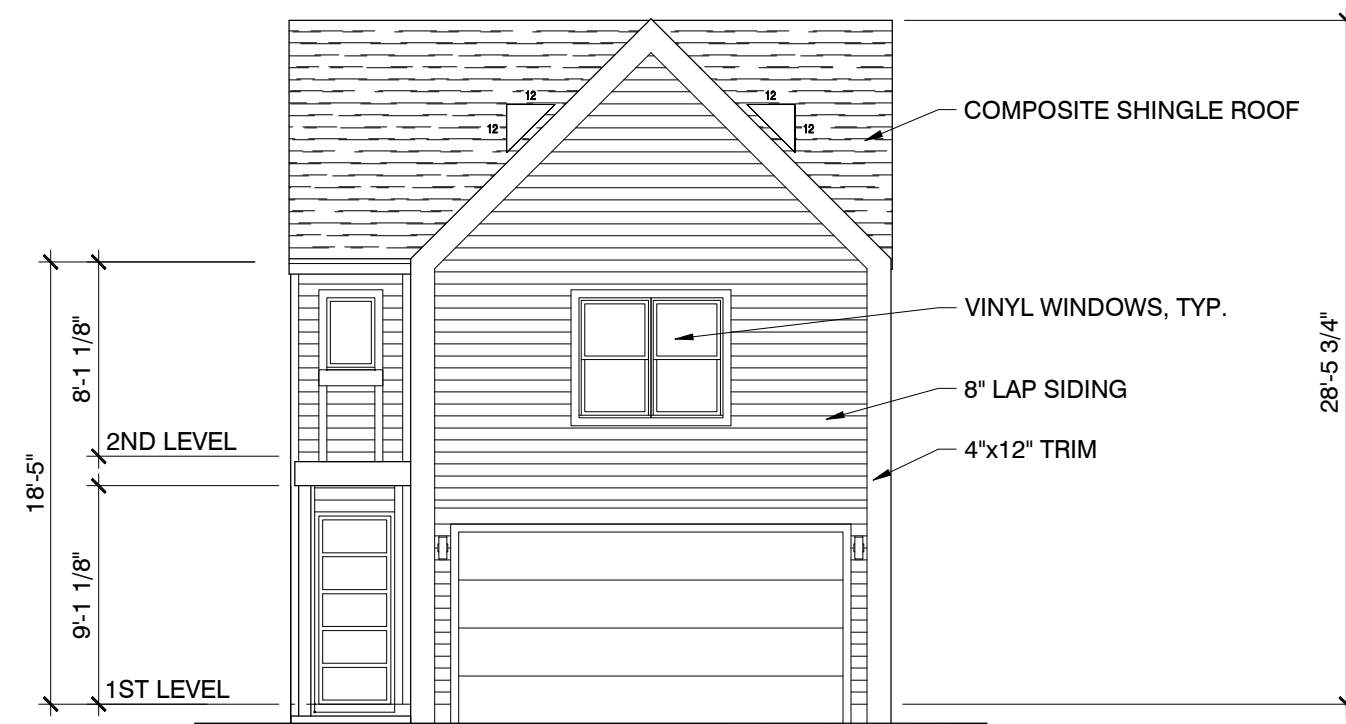
CHECKED BY:  
 DRAWN BY:

# OXENFREE AT WELBY

IN THE COUNTY OF ADAMS, COLORADO  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 SHEET 35: E25-1888 - MODERN 'E'



**MODERN 'E' - REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



**MODERN 'E' - FRONT ELEVATION**  
 SCALE: 1/8"=1'-0"

**OXENFREE AT WELBY**  
 PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO

OWNER:  
 COSMI FARMS LP  
 8728 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR  
 CONSTRUCTION

DATE:  
 08-16-23 FPD/PUD 01

SHEET TITLE:  
 E25-1888  
 MODERN 'E'



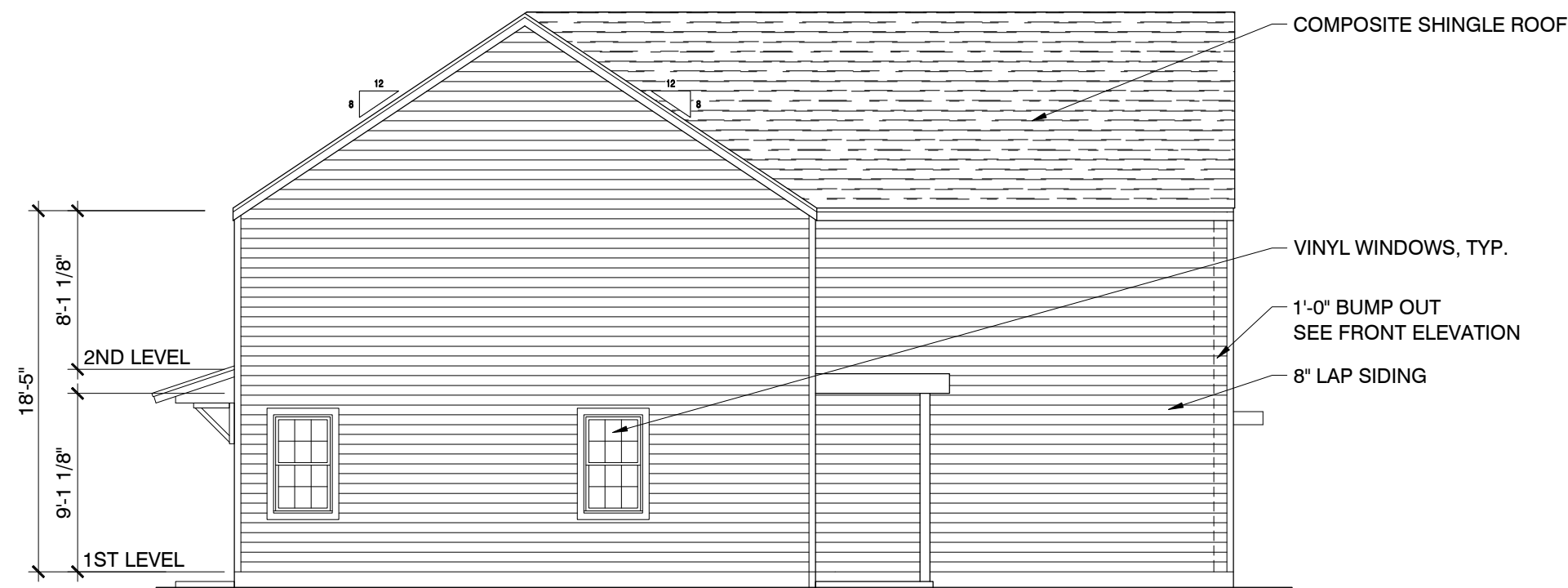
CHECKED BY: FAE  
 DRAWN BY: FAE

# OXENFREE AT WELBY

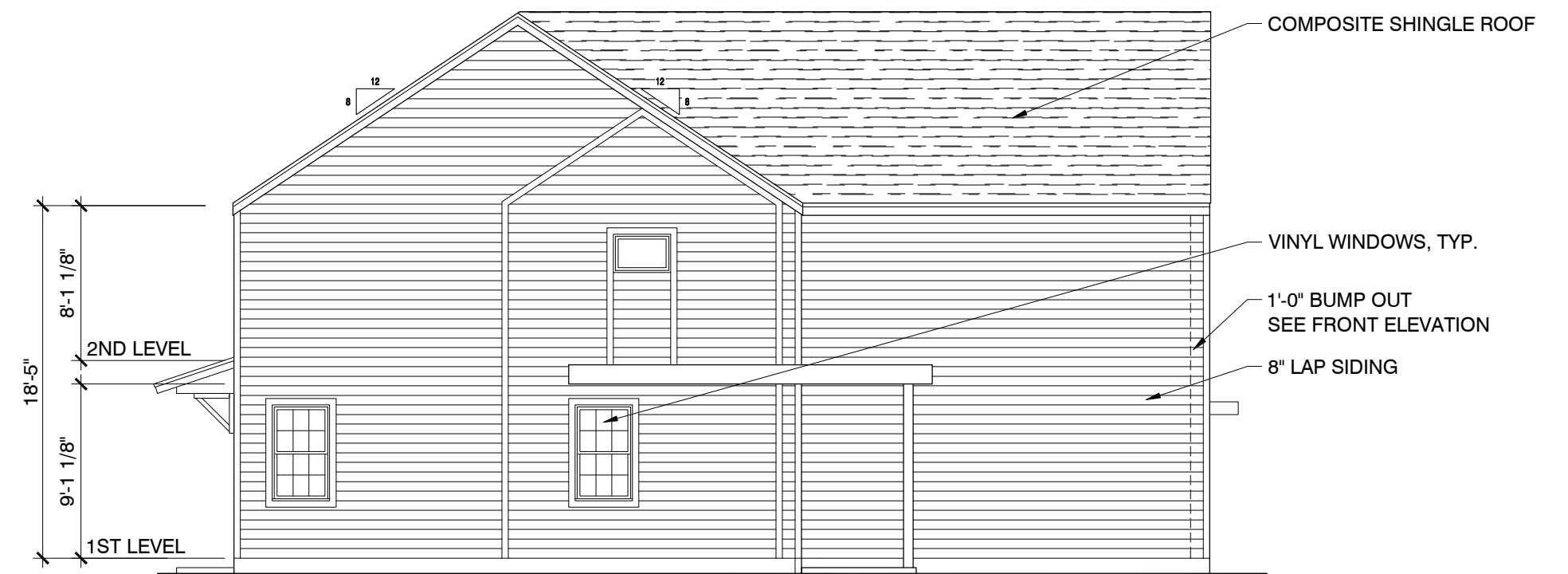
IN THE COUNTY OF ADAMS, COLORADO  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 SHEET 36: E25-1888 - MODERN 'E'



**MODERN 'E' - RIGHT ELEVATION**  
 SCALE: 1/8"=1'-0"



**MODERN 'E' - LEFT ELEVATION**  
 SCALE: 1/8"=1'-0"



**MODERN 'E' ENHANCED - LEFT ELEVATION**  
 SCALE: 1/8"=1'-0"

OWNER:  
 COSMI FARMS LP  
 8728 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR  
 CONSTRUCTION

DATE:  
 08-16-23 FPD/PUD 01

SHEET TITLE:  
 E25-1888  
 MODERN 'E'

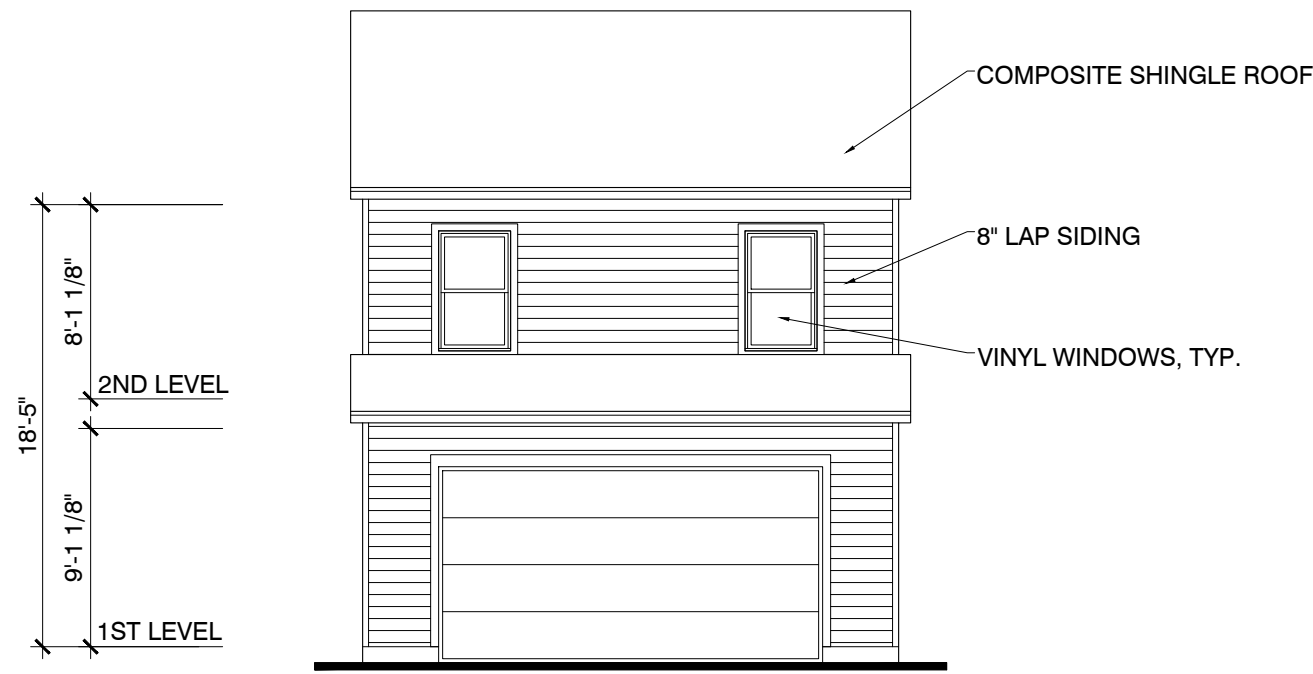


CHECKED BY:  
 DRAWN BY:



# OXENFREE AT WELBY

IN THE COUNTY OF ADAMS, COLORADO  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 SHEET 37: S22-1565 - CONTEMPORARY 'A'



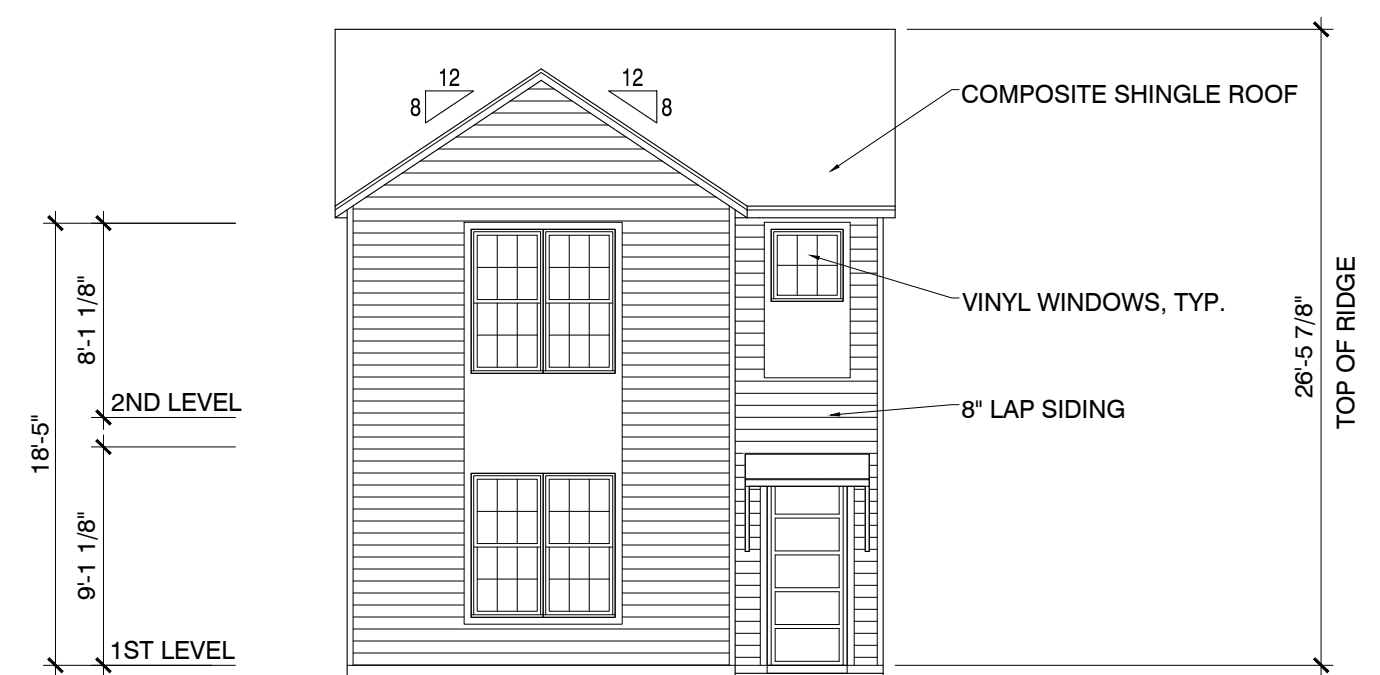
**CONTEMPORARY 'A' - REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



**CONTEMPORARY 'A' - RIGHT ELEVATION**  
 SCALE: 1/8"=1'-0"



**CONTEMPORARY 'A' - LEFT ELEVATION**  
 SCALE: 1/8"=1'-0"



**CONTEMPORARY 'A' - FRONT ELEVATION**  
 SCALE: 1/8"=1'-0"

OWNER:  
 COSMI FARMS LP  
 8728 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR  
 CONSTRUCTION

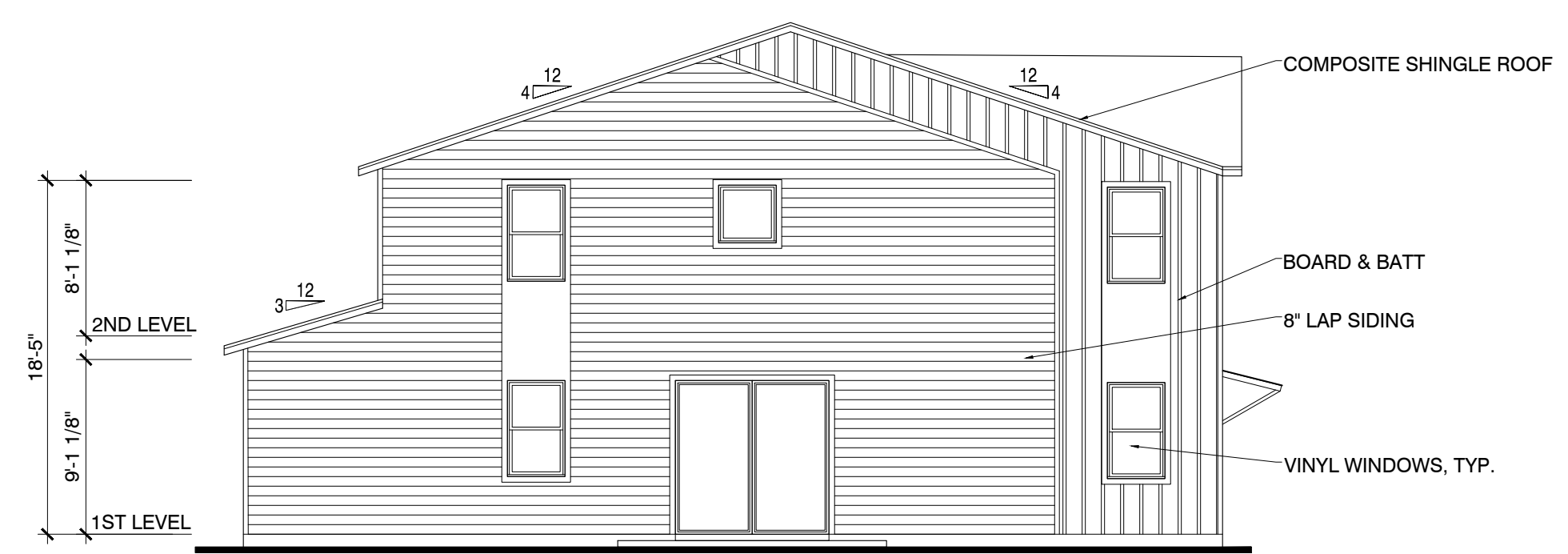
DATE:  
 08-16-23 FPD/PUD 01

SHEET TITLE:  
 S22-1565  
 CONTEMPORARY  
 'A'



# OXENFREE AT WELBY

IN THE COUNTY OF ADAMS, COLORADO  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 SHEET 38: S22-1565 - CONTEMPORARY 'A'



**CONTEMPORARY 'A' - LEFT ELEVATION ENHANCED**  
 SCALE: 1/8"=1'-0"

NOT FOR  
 CONSTRUCTION

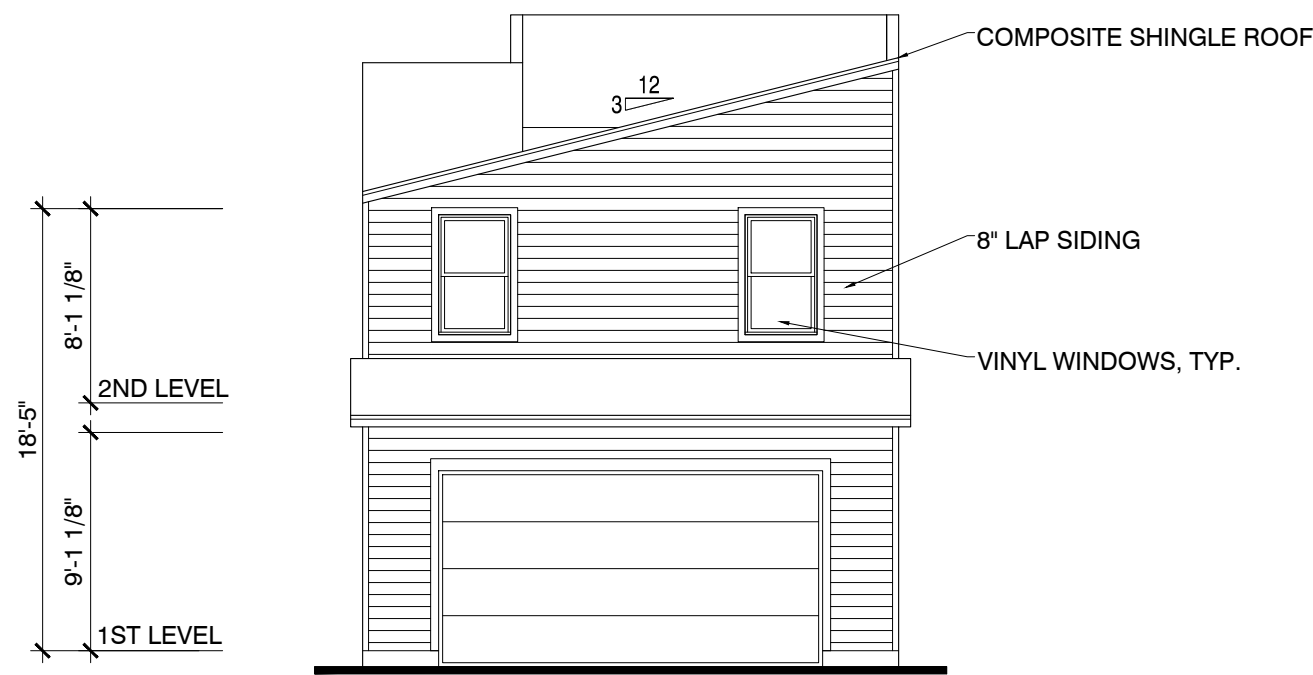
DATE:  
 08-16-23 FPD/PUD 01

SHEET TITLE:  
 S22-1565  
 CONTEMPORARY  
 'A'

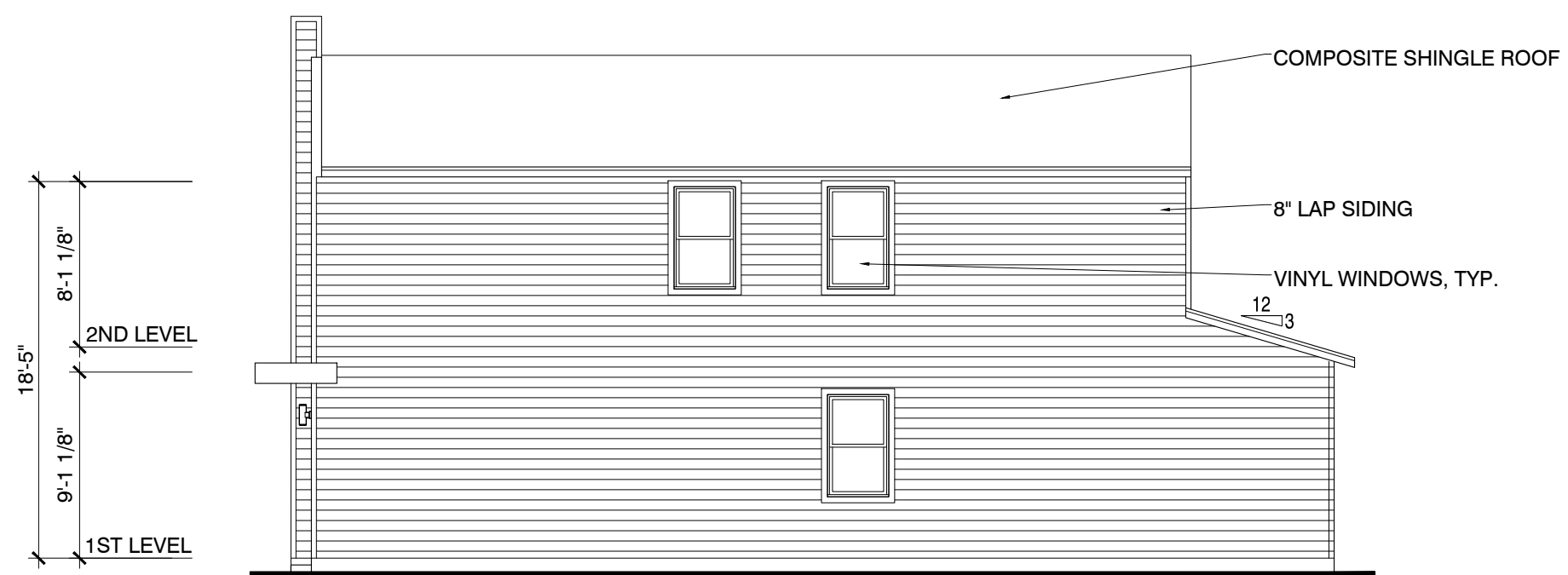


# OXENFREE AT WELBY

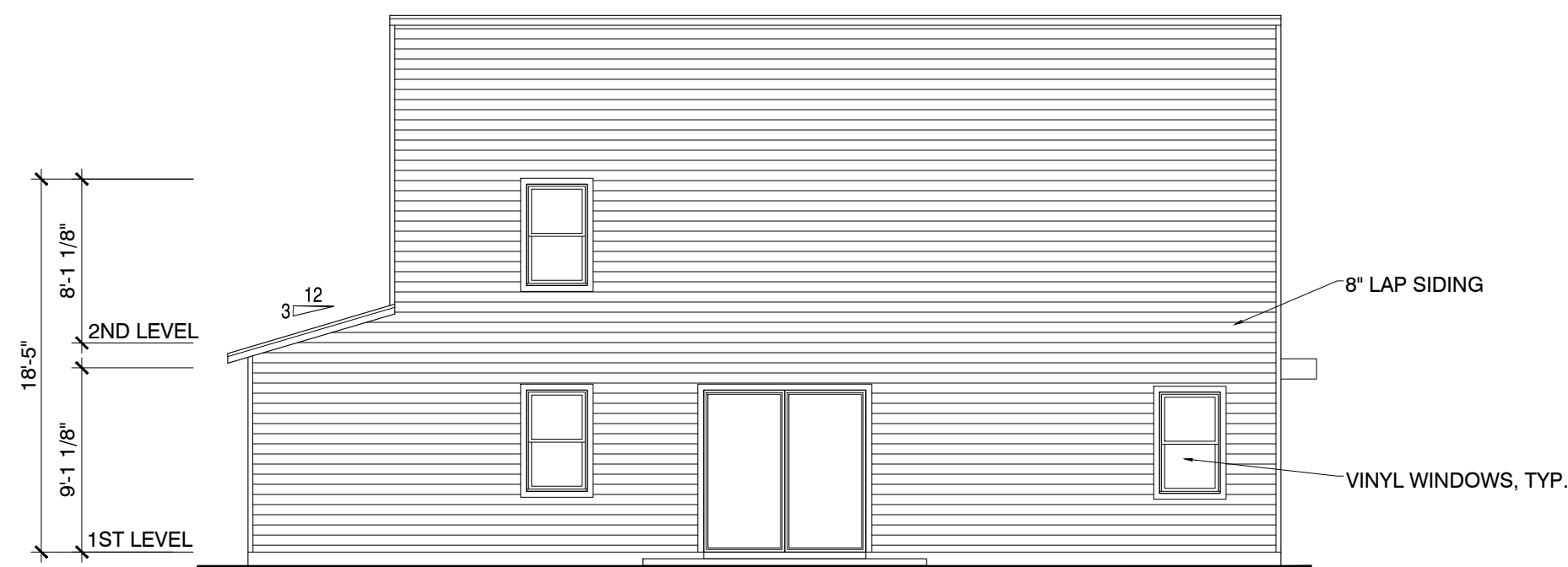
IN THE COUNTY OF ADAMS, COLORADO  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 SHEET 39: S22-1565 - LOFT 'C'



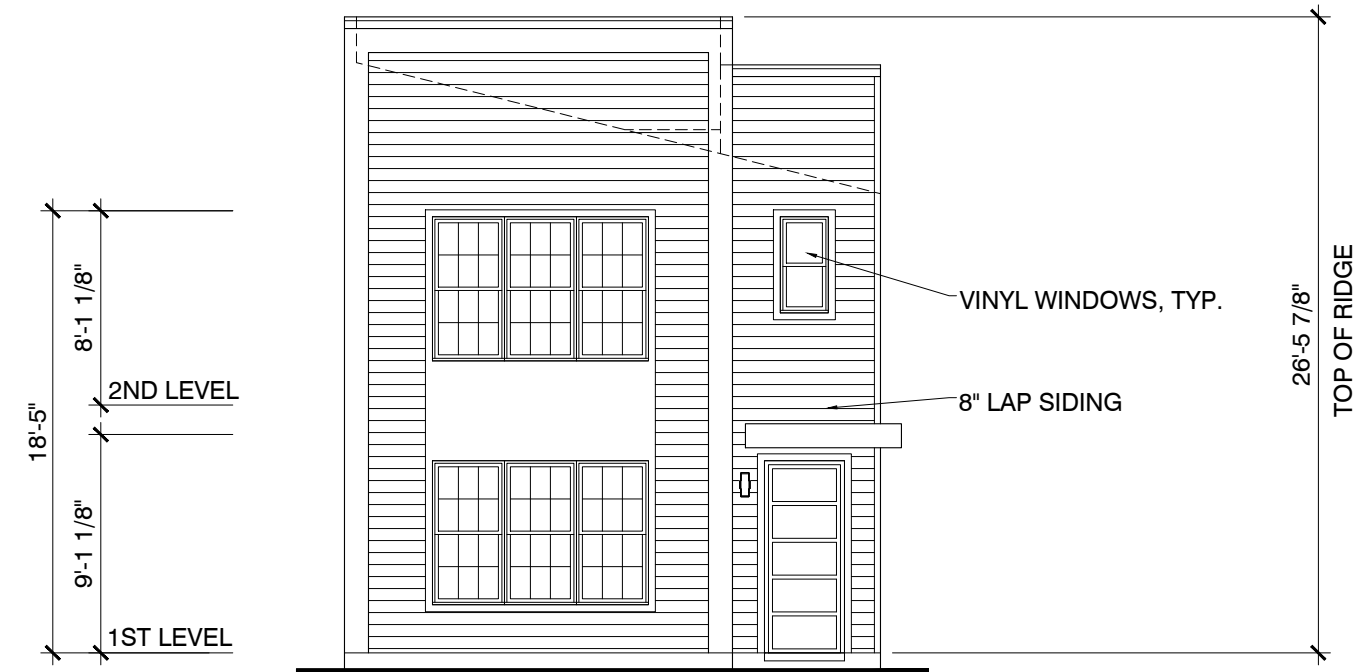
**LOFT 'C' - REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



**LOFT 'C' - RIGHT ELEVATION**  
 SCALE: 1/8"=1'-0"



**LOFT 'C' - LEFT ELEVATION**  
 SCALE: 1/8"=1'-0"



**LOFT 'C' - FRONT ELEVATION**  
 SCALE: 1/8"=1'-0"

OXENFREE AT WELBY  
 PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO

OWNER:  
 COSMI FARMS LP  
 8728 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR  
 CONSTRUCTION

DATE:  
 08-16-23 FPD/PUD 01

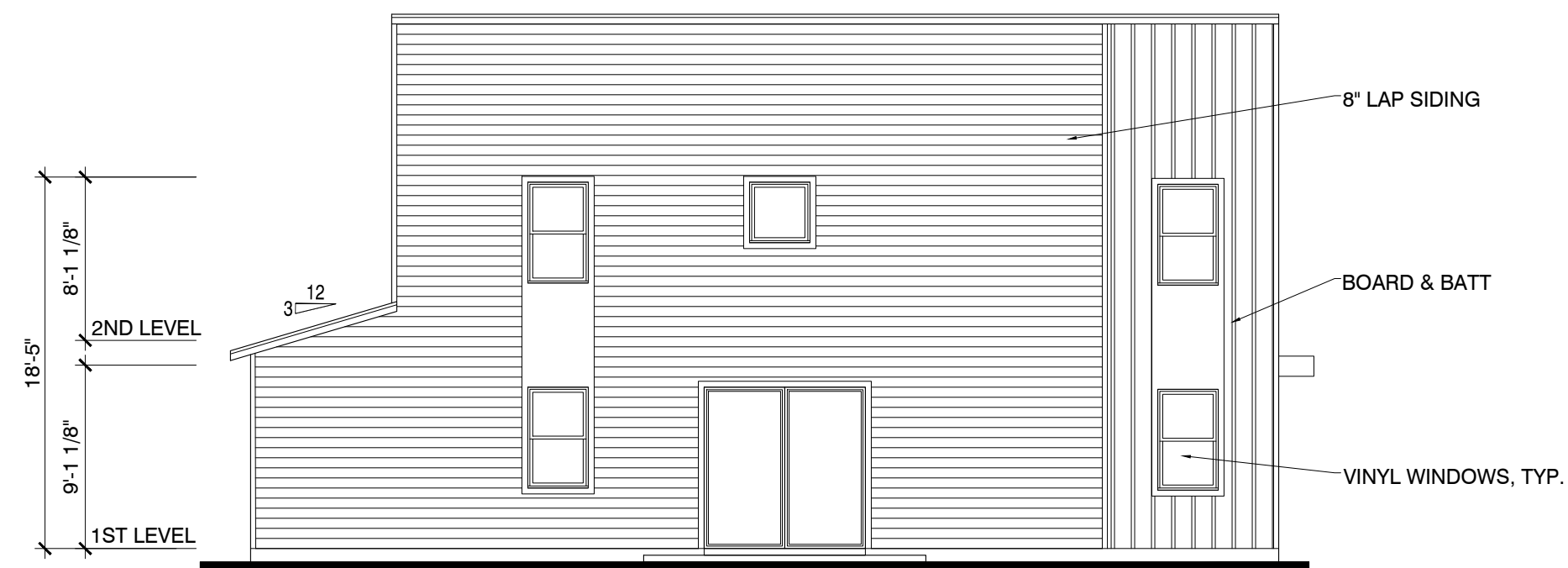
SHEET TITLE:  
 S22-1565  
 LOFT 'C'





# OXENFREE AT WELBY

IN THE COUNTY OF ADAMS, COLORADO  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 SHEET 40: S22-1565 - LOFT 'C'



**LOFT 'C' - LEFT ELEVATION ENHANCED**  
 SCALE: 1/8"=1'-0"

OXENFREE AT WELBY  
 PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO

OWNER:  
 COSMI FARMS LP  
 8728 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR  
 CONSTRUCTION

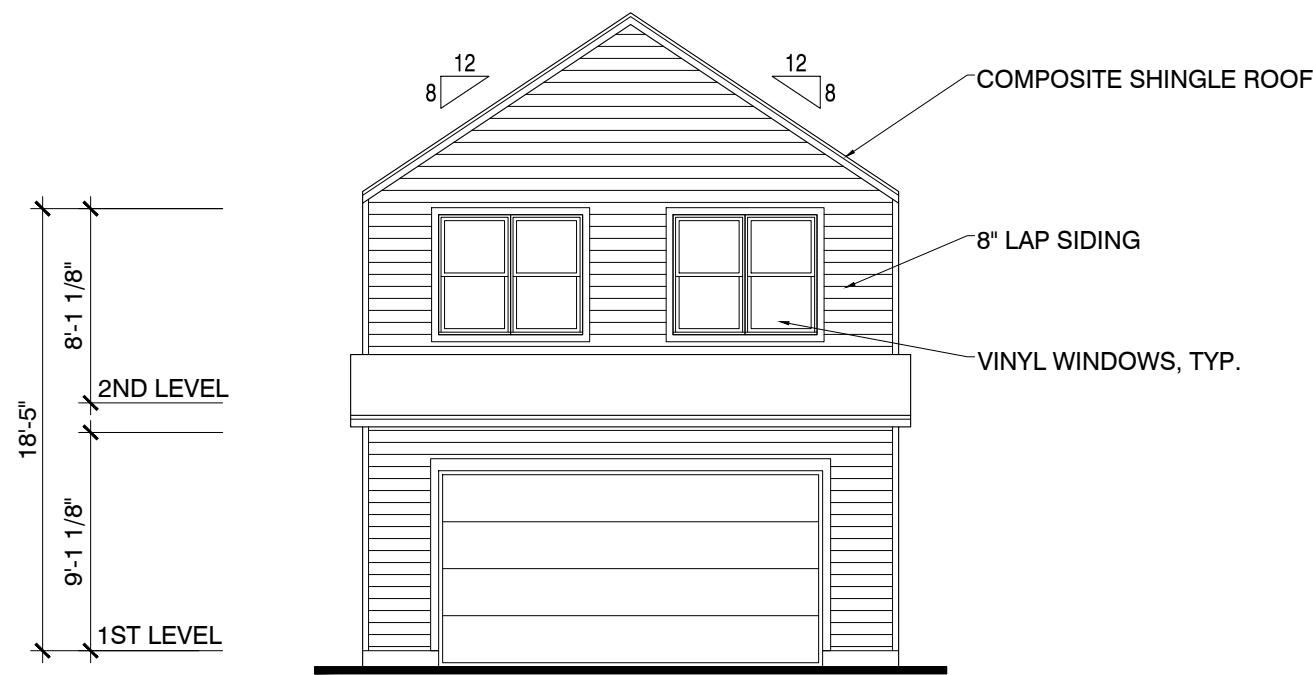
DATE:  
 08-16-23 FPD/PUD 01

SHEET TITLE:  
 S22-1565  
 LOFT 'C'

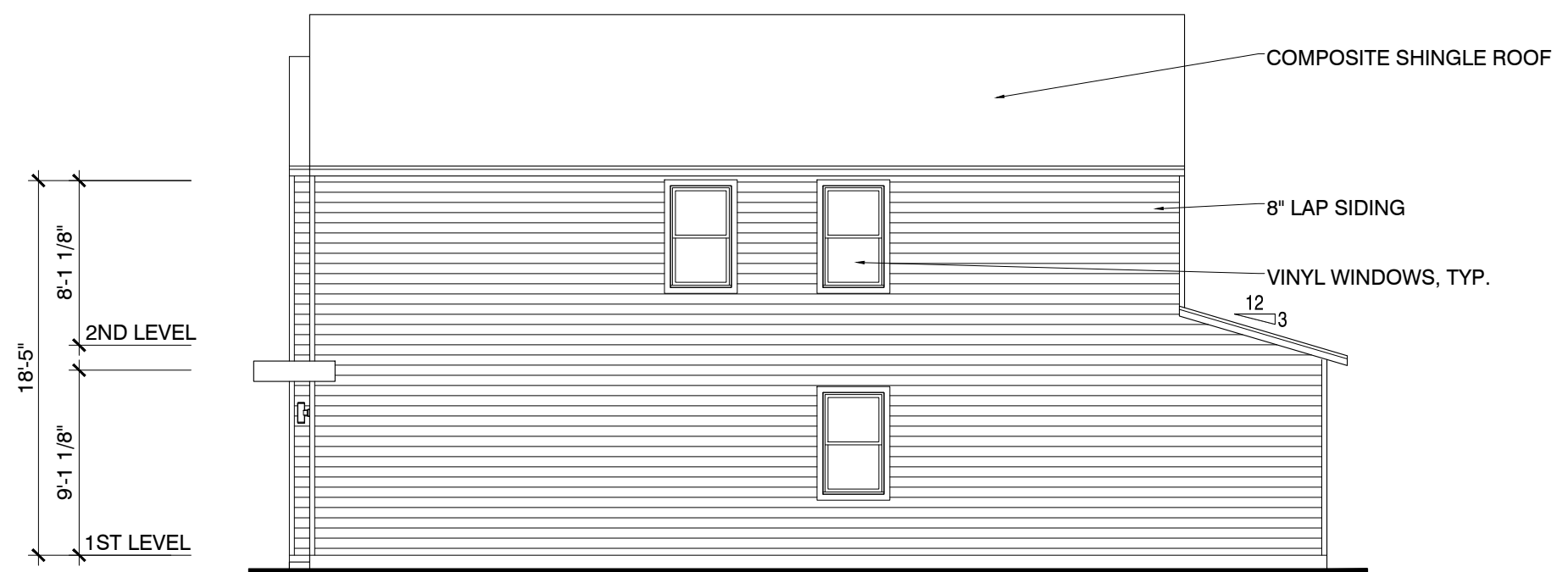


# OXENFREE AT WELBY

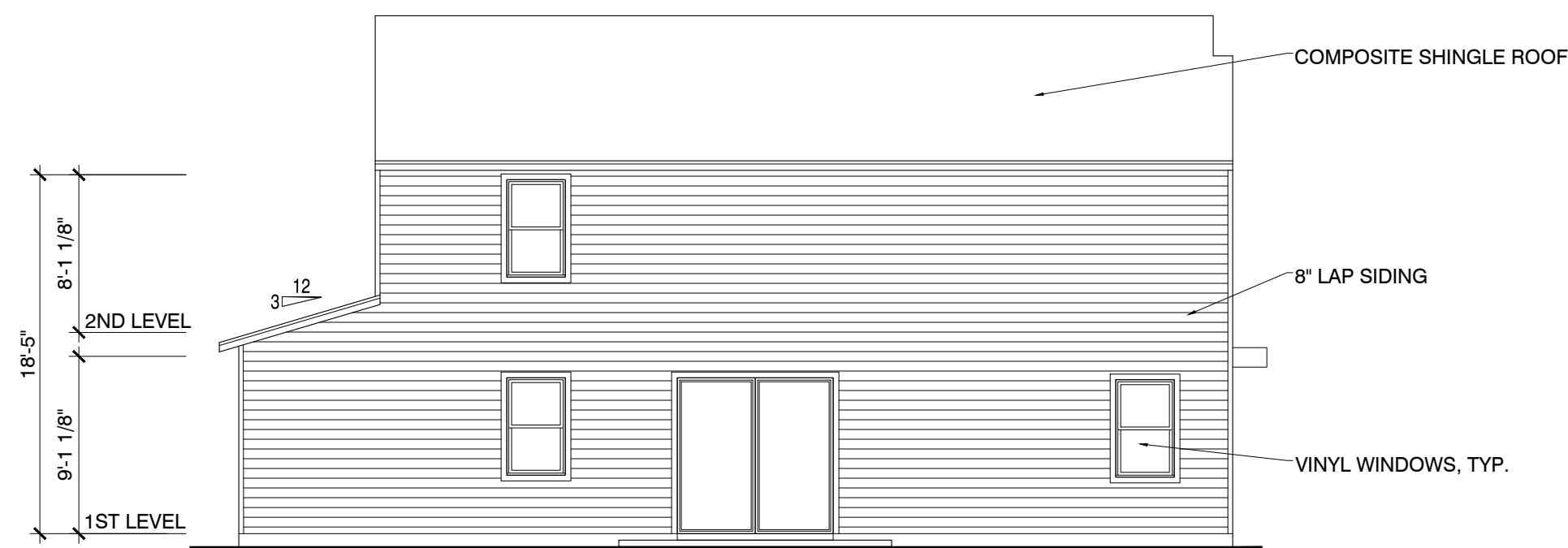
IN THE COUNTY OF ADAMS, COLORADO  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 SHEET 41: S22-1565 - MODERN 'E'



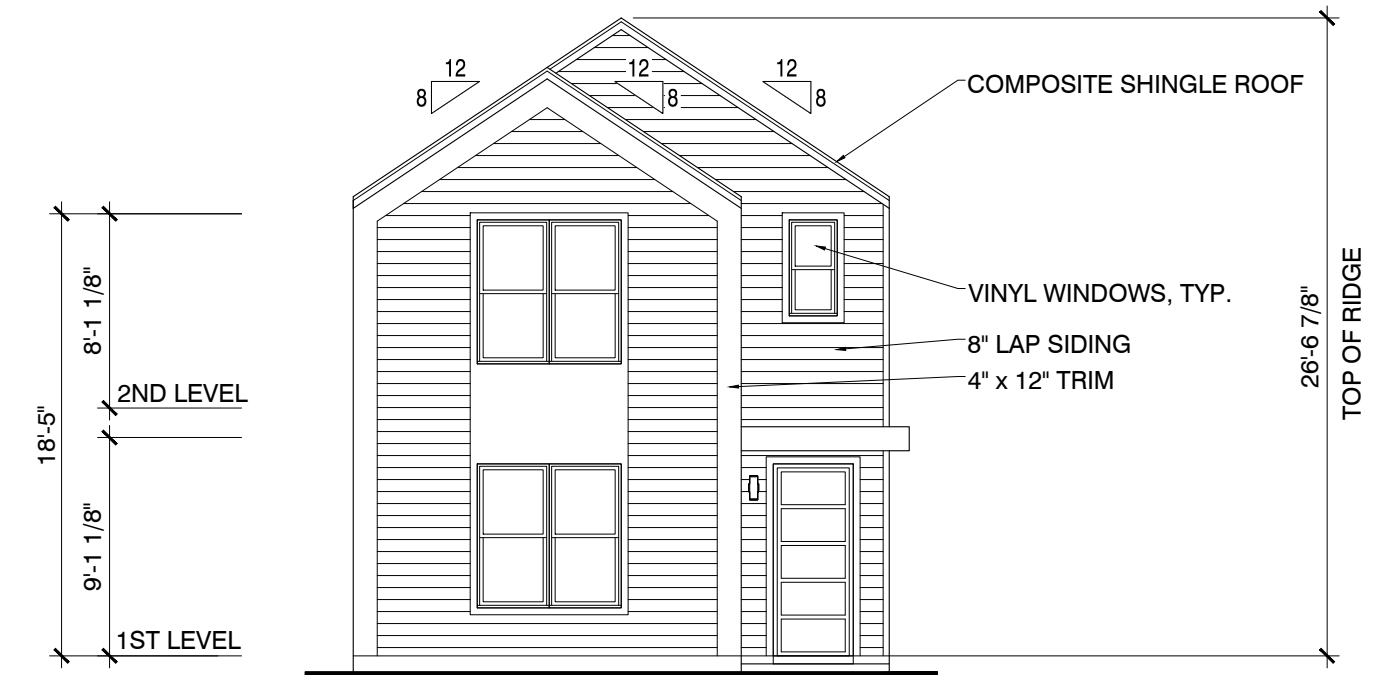
**MODERN 'E' - REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



**MODERN 'E' - RIGHT ELEVATION**  
 SCALE: 1/8"=1'-0"



**MODERN 'E' - LEFT ELEVATION**  
 SCALE: 1/8"=1'-0"



**MODERN 'E' - FRONT ELEVATION**  
 SCALE: 1/8"=1'-0"

OXENFREE AT WELBY  
 PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO

OWNER:  
 COSMI FARMS LP  
 8728 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR  
 CONSTRUCTION

DATE:  
 08-16-23 FPD/PUD 01

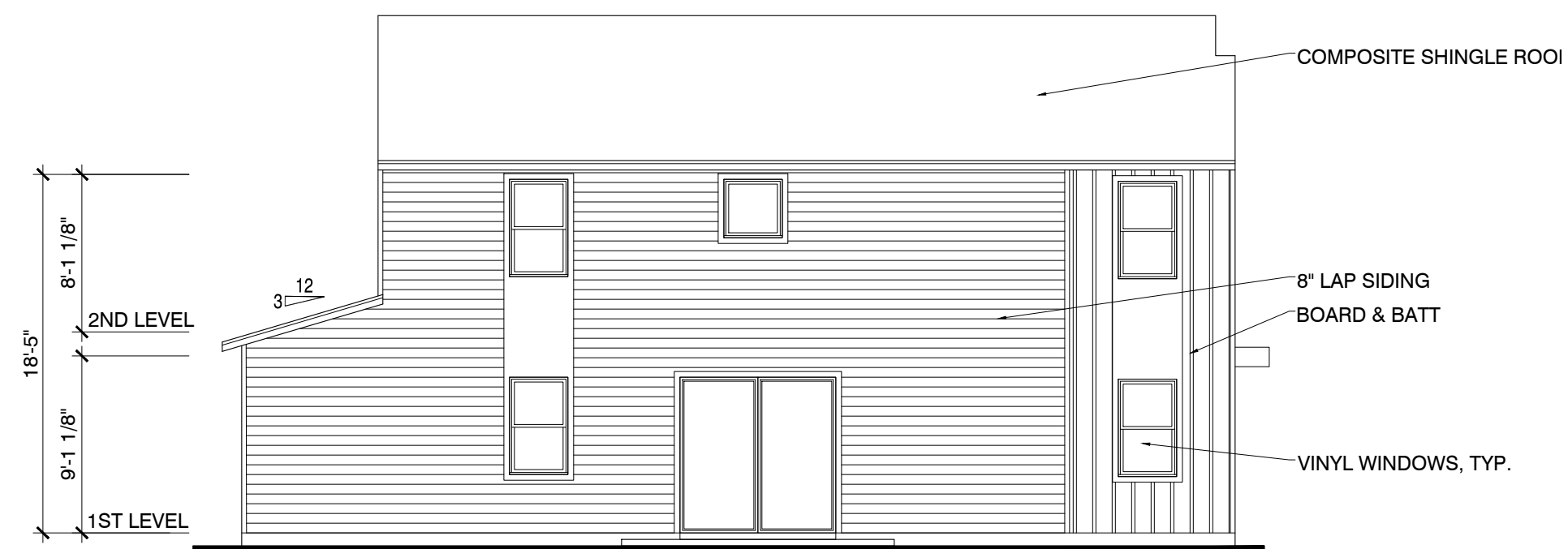
SHEET TITLE:  
 S22-1565  
 MODERN 'E'



CHECKED BY:  
 DRAWN BY:  
 FAE  
 FAE

# OXENFREE AT WELBY

IN THE COUNTY OF ADAMS, COLORADO  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 SHEET 42: S22-1565 - MODERN 'E'



**MODERN 'E' - LEFT ELEVATION ENHANCED**  
 SCALE: 1/8"=1'-0"

NOT FOR  
 CONSTRUCTION

DATE:  
 08-16-23 FPD/PUD 01

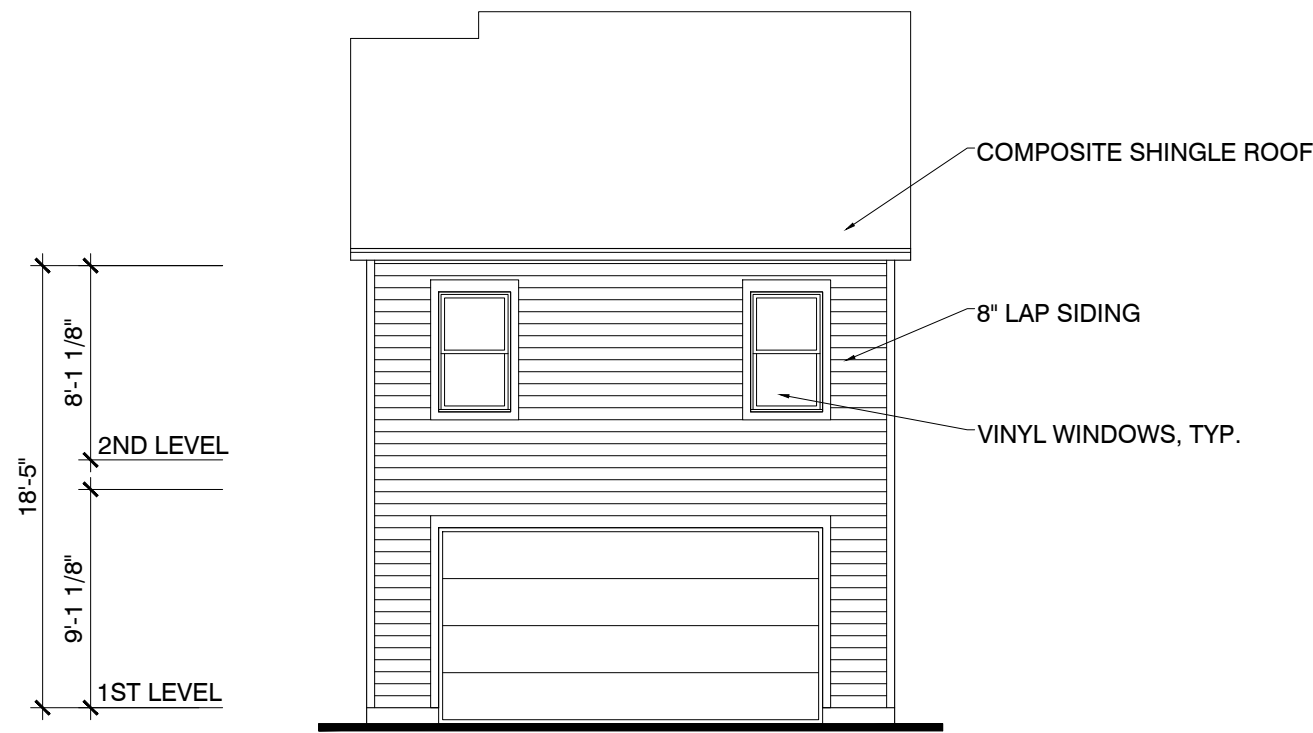
SHEET TITLE:  
 S22-1565  
 MODERN 'E'



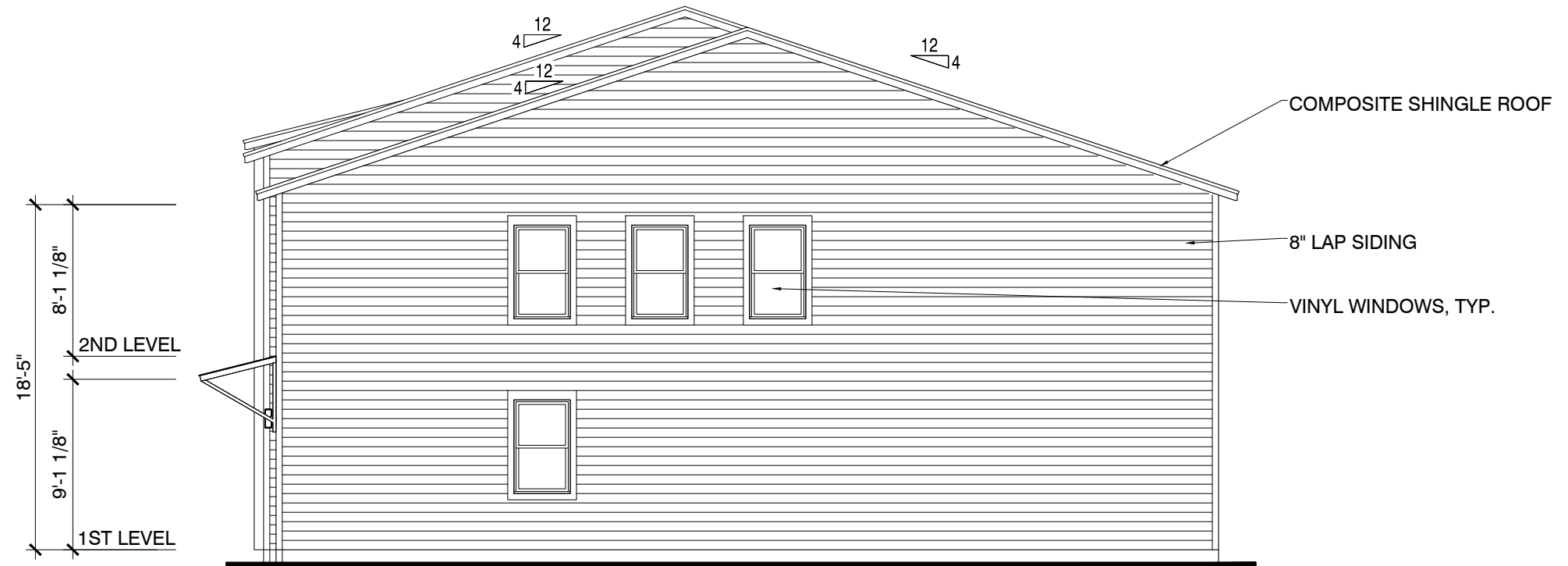


# OXENFREE AT WELBY

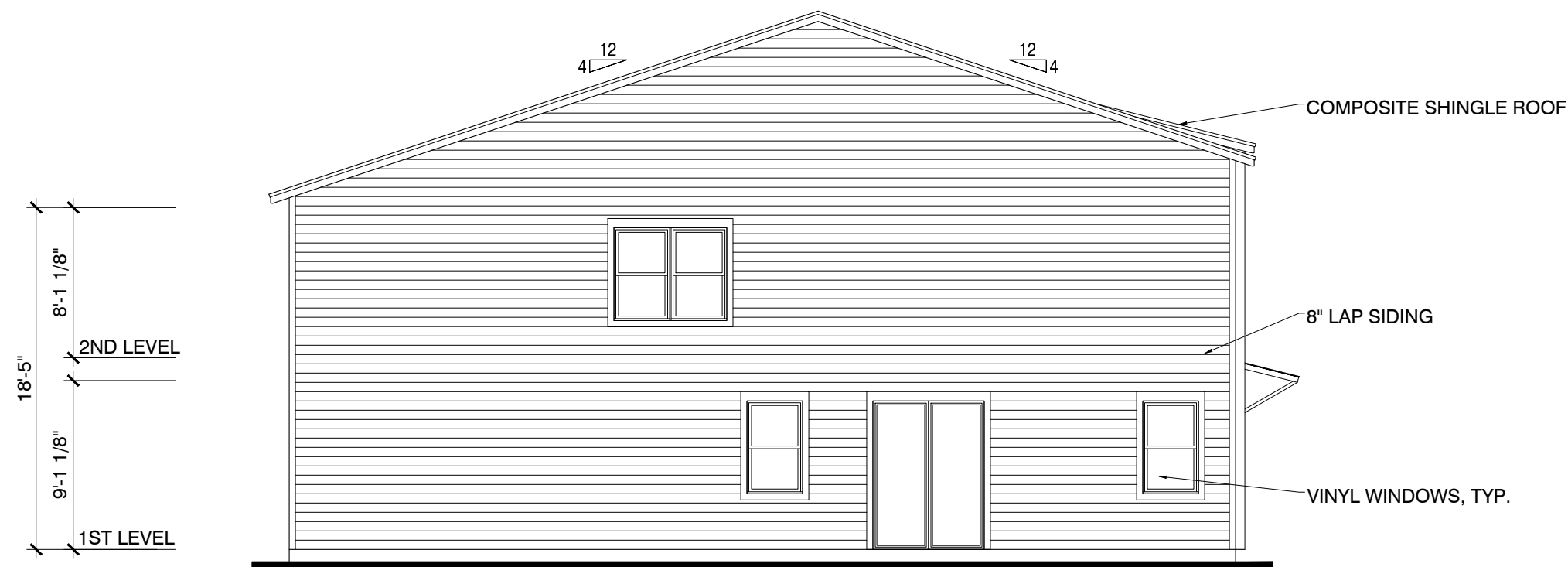
IN THE COUNTY OF ADAMS, COLORADO  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 SHEET 43: S22-1730 - CONTEMPORARY 'A'



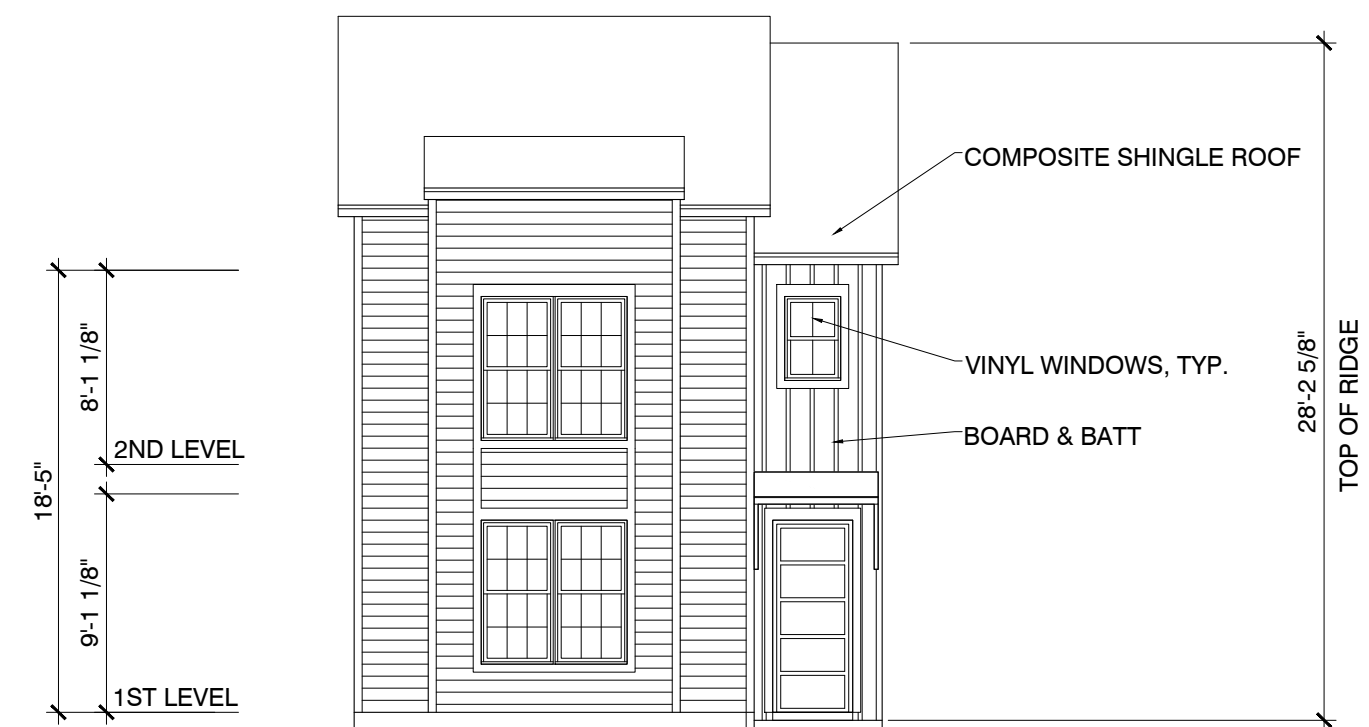
**CONTEMPORARY 'A' - REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



**CONTEMPORARY 'A' - RIGHT ELEVATION**  
 SCALE: 1/8"=1'-0"



**CONTEMPORARY 'A' - LEFT ELEVATION**  
 SCALE: 1/8"=1'-0"



**CONTEMPORARY 'A' - FRONT ELEVATION**  
 SCALE: 1/8"=1'-0"



# OXENFREE AT WELBY

IN THE COUNTY OF ADAMS, COLORADO  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 SHEET 44: S22-1730 - CONTEMPORARY 'A'



**CONTEMPORARY 'A' - LEFT ELEVATION ENHANCED**  
 SCALE: 1/8"=1'-0"

**OXENFREE AT WELBY**  
 PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO

OWNER:  
 COSMI FARMS LP  
 8728 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR  
 CONSTRUCTION

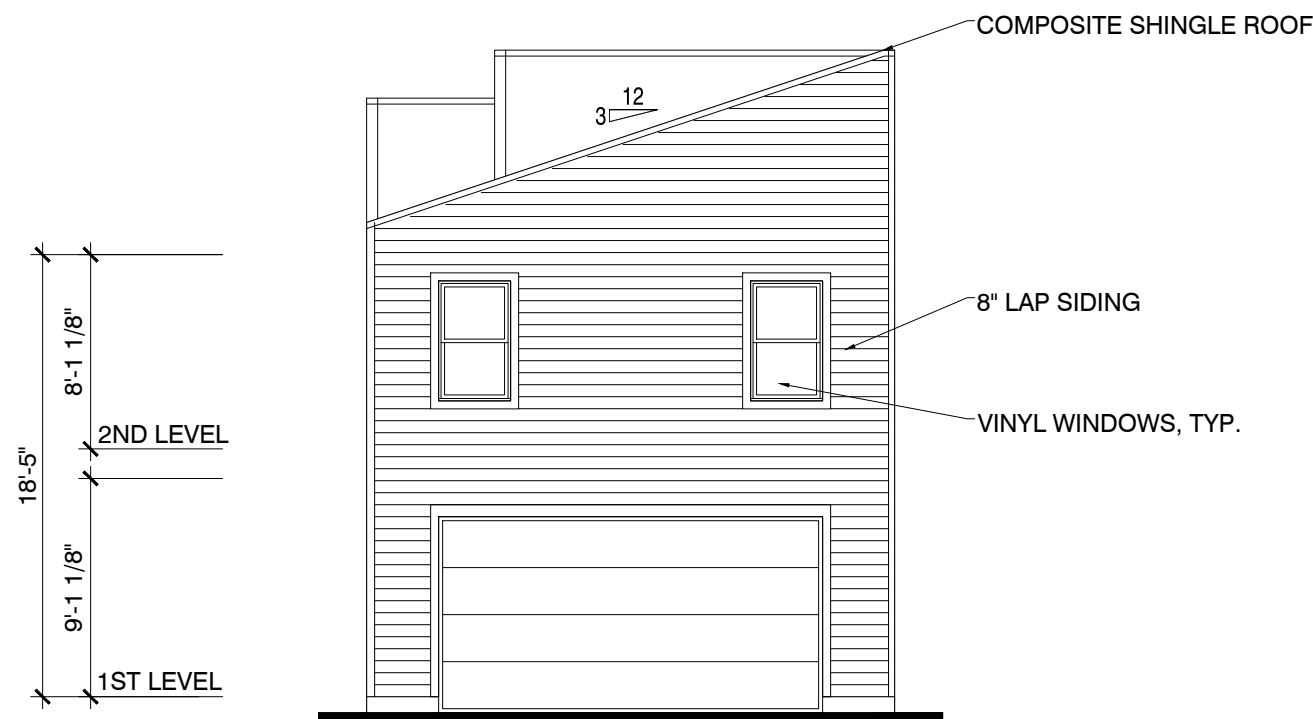
DATE:  
 08-16-23 FPD/PUD 01

SHEET TITLE:  
 S22-1730  
 CONTEMPORARY  
 'A'

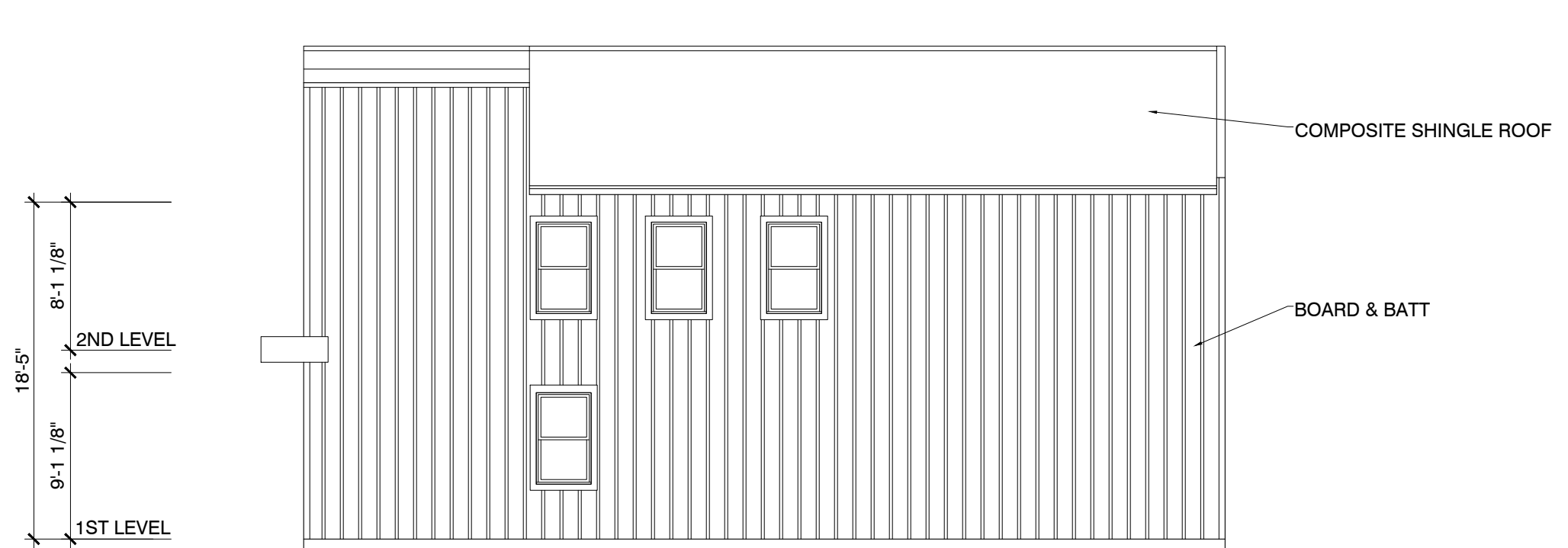


# OXENFREE AT WELBY

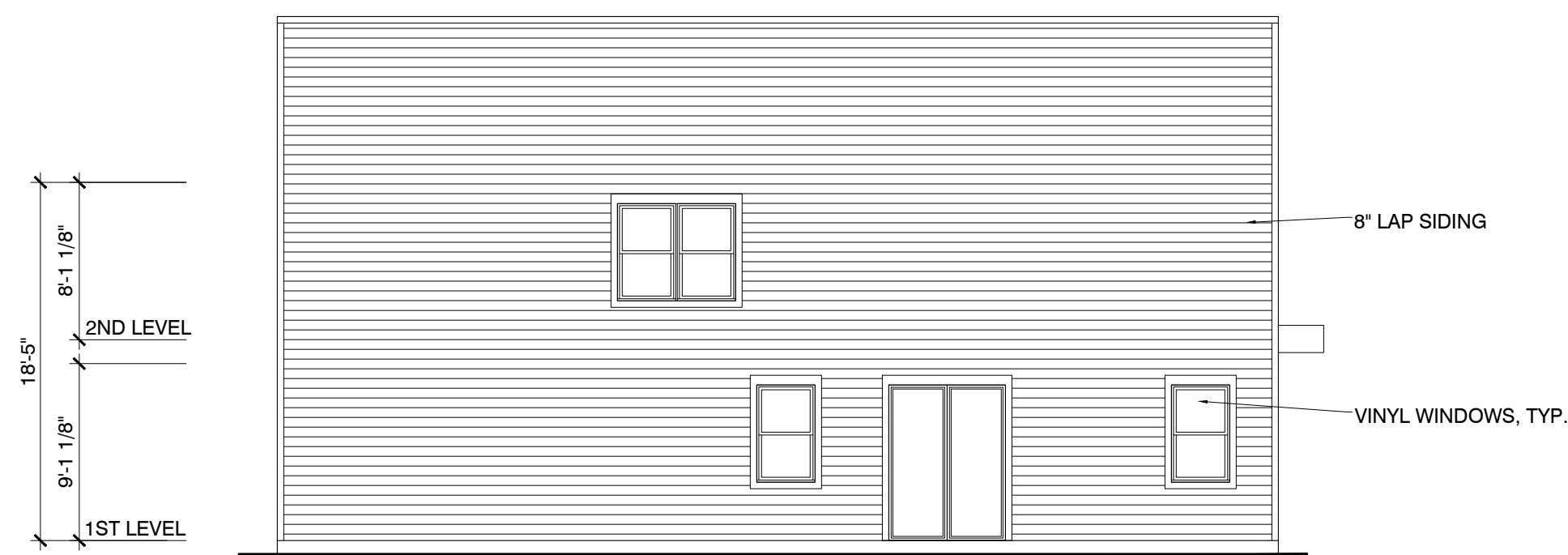
IN THE COUNTY OF ADAMS, COLORADO  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 SHEET 45: S22-1730 - LOFT 'C'



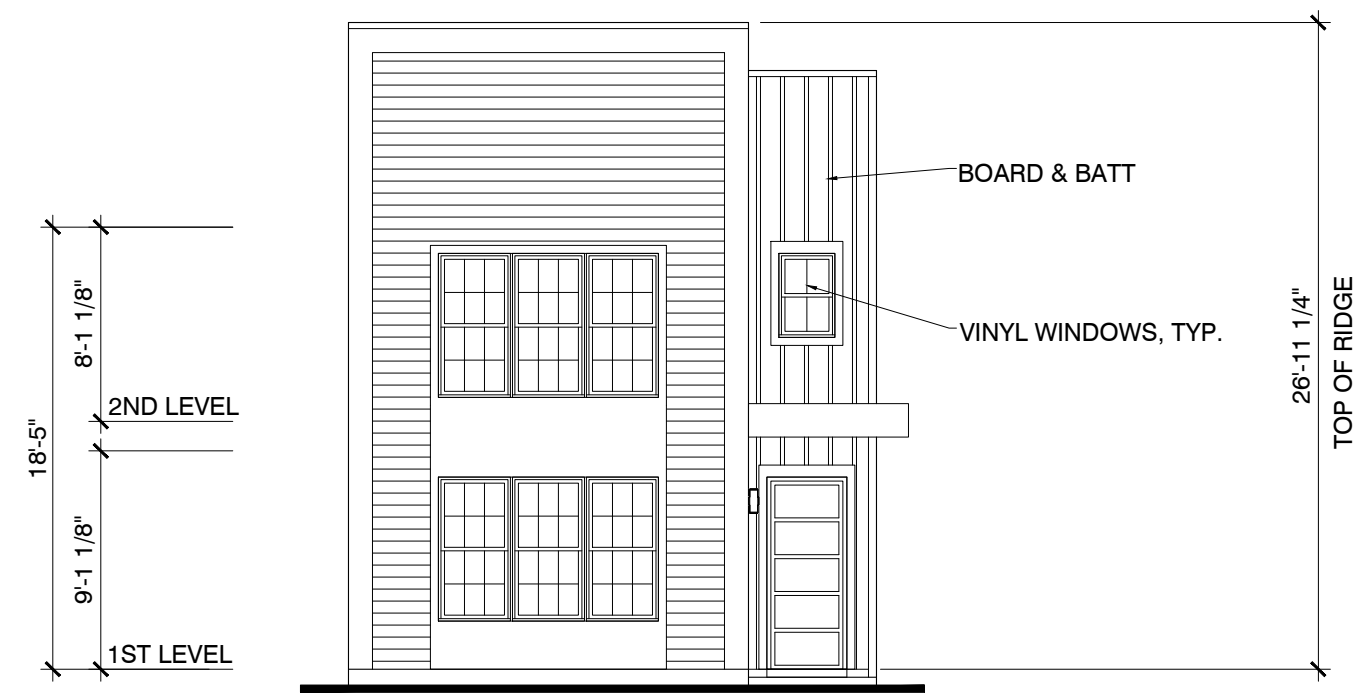
**LOFT 'C' - REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



**LOFT 'C' - RIGHT ELEVATION**  
 SCALE: 1/8"=1'-0"



**LOFT 'C' - LEFT ELEVATION**  
 SCALE: 1/8"=1'-0"



**LOFT 'C' - FRONT ELEVATION**  
 SCALE: 1/8"=1'-0"

**OXENFREE AT WELBY**  
 PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO

OWNER:  
 COSMI FARMS LP  
 8728 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR  
 CONSTRUCTION

DATE:  
 08-16-23 FPD/PUD 01

SHEET TITLE:  
 S22=1730  
 LOFT 'C'





# OXENFREE AT WELBY

IN THE COUNTY OF ADAMS, COLORADO  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 SHEET 46: S22-1730 - LOFT 'C'



**LOFT 'C' - LEFT ELEVATION ENHANCED**  
 SCALE: 1/8"=1'-0"

OXENFREE AT WELBY  
 PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO

OWNER:  
 COSMI FARMS LP  
 8728 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR  
 CONSTRUCTION

DATE:  
 08-16-23 FPD/PUD 01

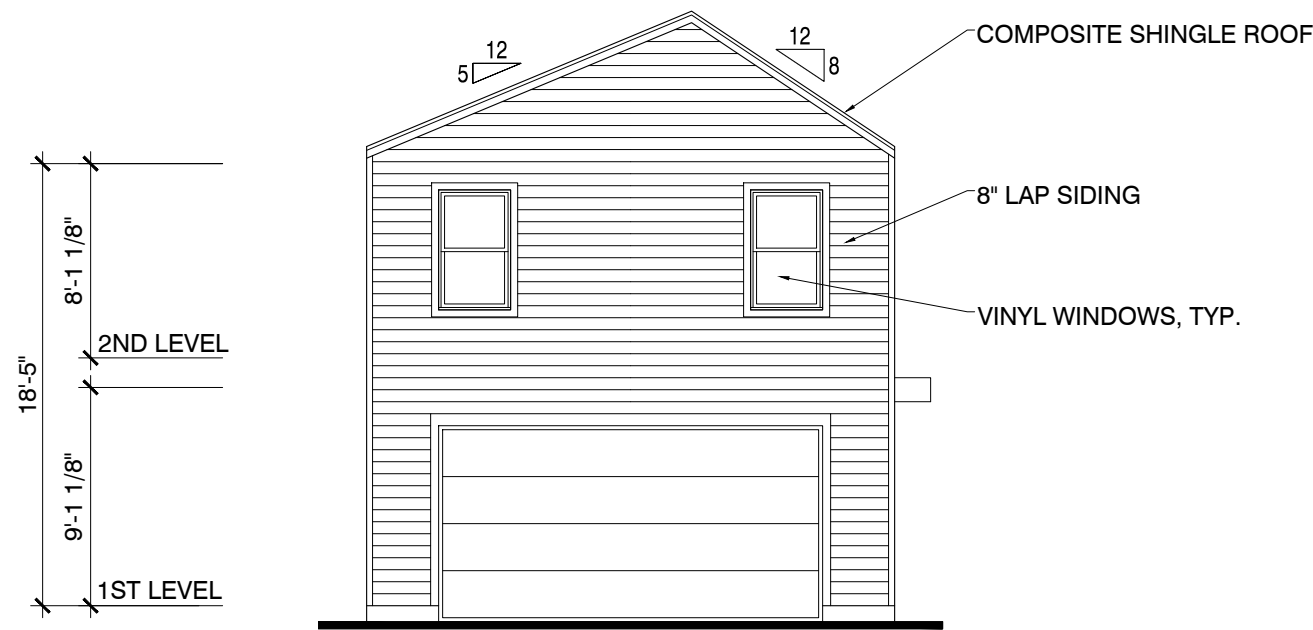
SHEET TITLE:  
 S22-1730  
 LOFT 'C'



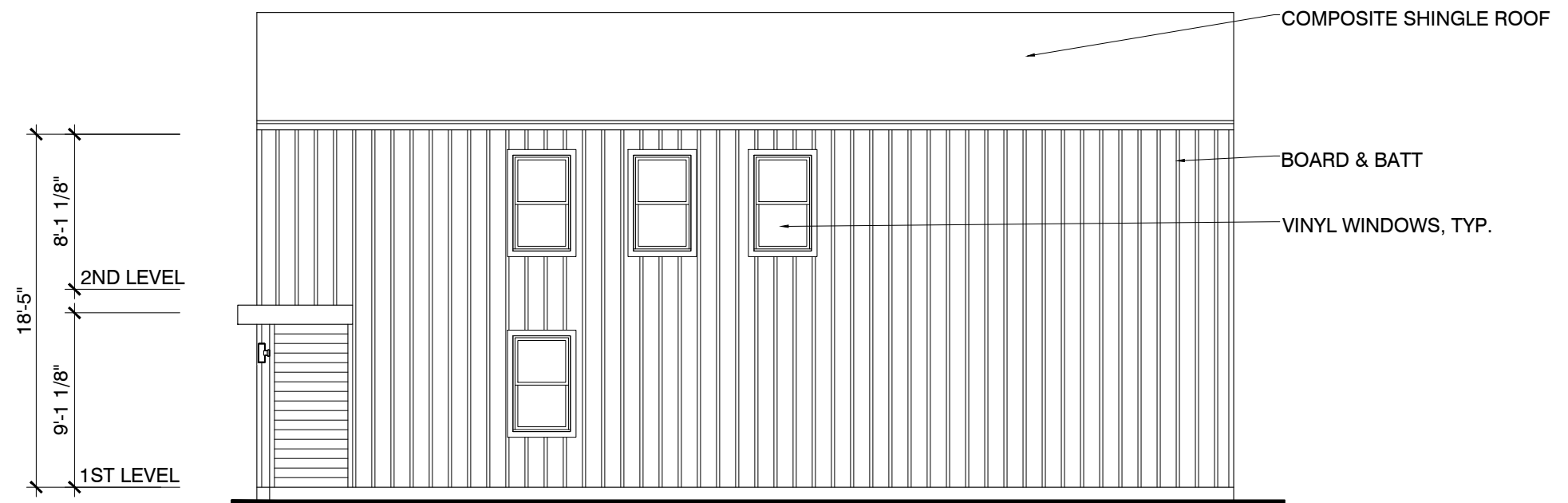
CHECKED BY: FAE  
 DRAWN BY: FAE

# OXENFREE AT WELBY

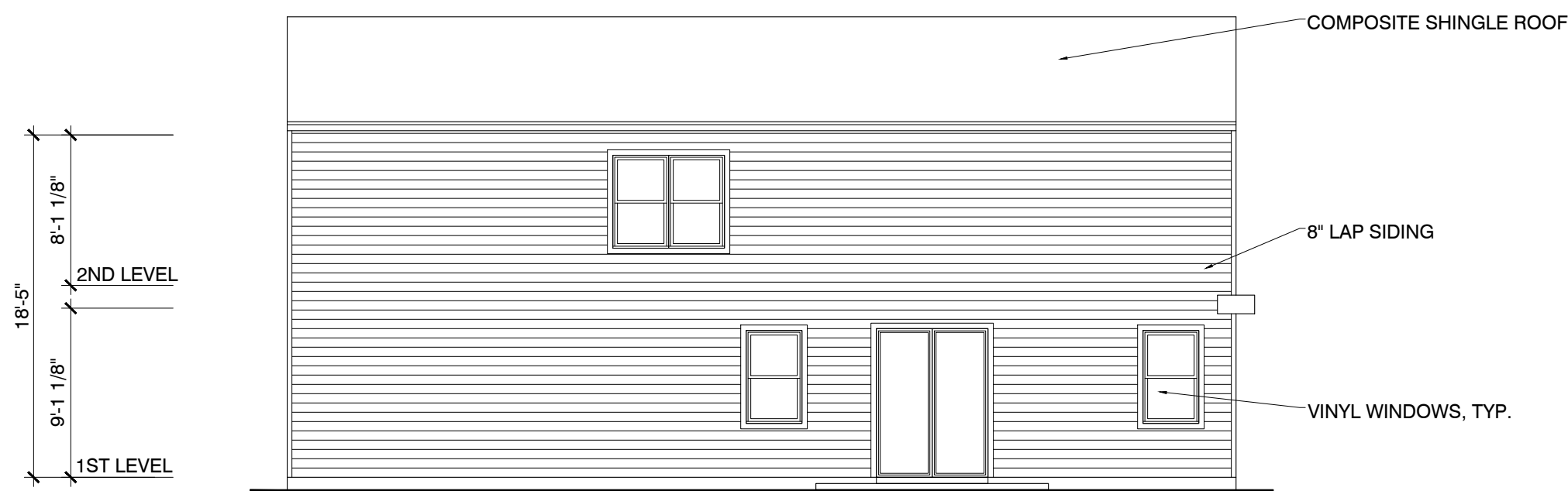
IN THE COUNTY OF ADAMS, COLORADO  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 SHEET 47: S22-1730 - MODERN 'E'



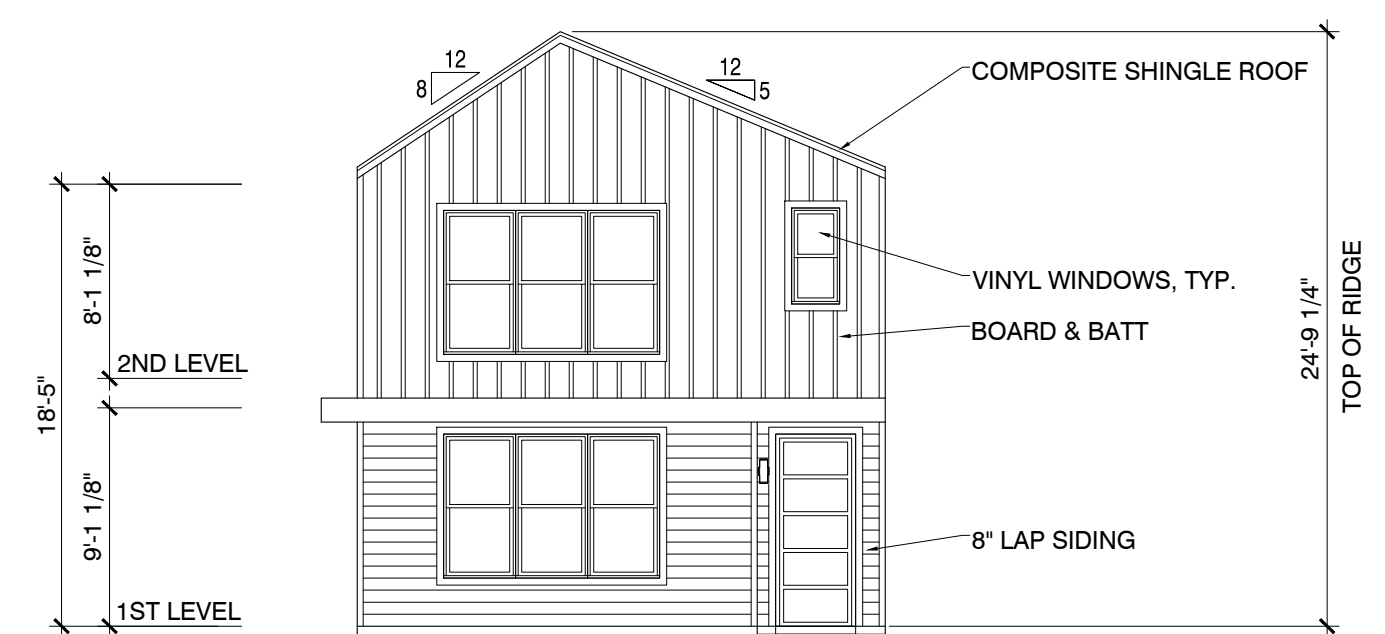
**MODERN 'E' - REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



**MODERN 'E' - RIGHT ELEVATION**  
 SCALE: 1/8"=1'-0"



**MODERN 'E' - LEFT ELEVATION**  
 SCALE: 1/8"=1'-0"



**MODERN 'E' - FRONT ELEVATION**  
 SCALE: 1/8"=1'-0"

OWNER:  
 COSMI FARMS LP  
 8728 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR  
 CONSTRUCTION

DATE:  
 08-16-23 FPD/PUD 01

SHEET TITLE:  
 S22-1730  
 MODERN 'E'



# OXENFREE AT WELBY

IN THE COUNTY OF ADAMS, COLORADO  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 SHEET 48: S22-1730 - MODERN 'E'



**MODERN 'E' - LEFT ELEVATION ENHANCED**  
 SCALE: 1/8"=1'-0"

NOT FOR  
 CONSTRUCTION

DATE:  
 08-16-23 FPD/PUD 01

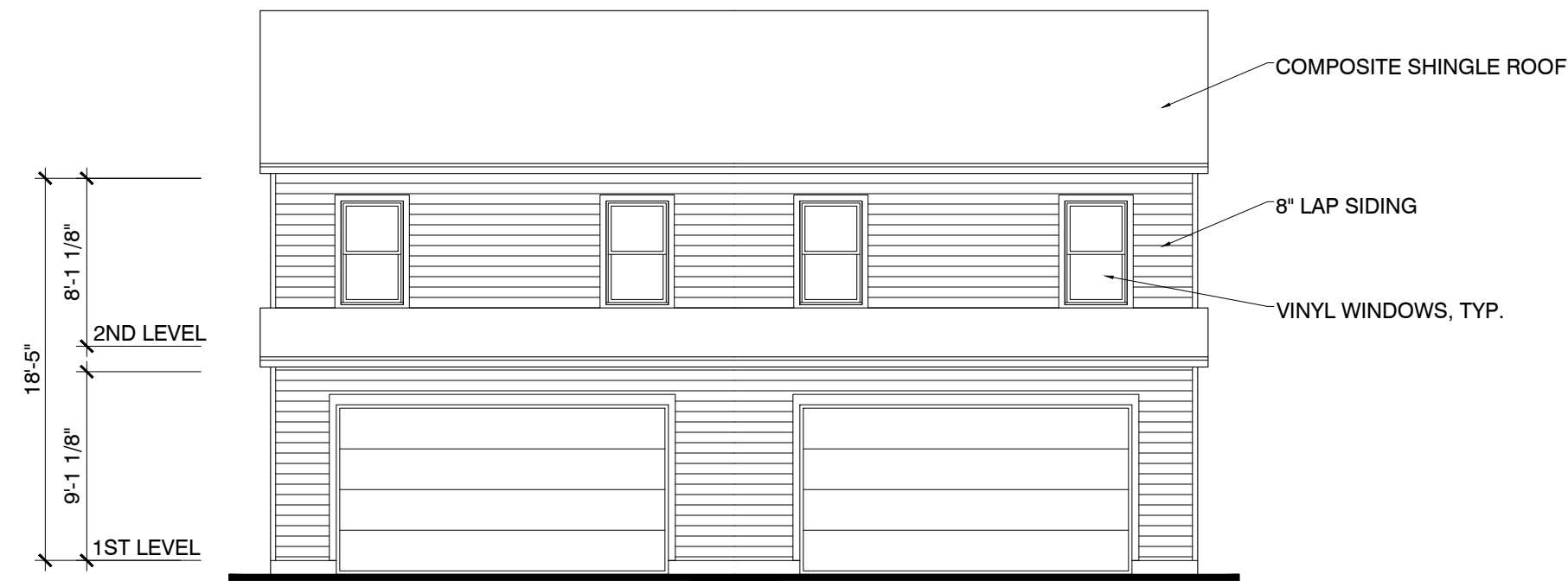
SHEET TITLE:  
 S22-1730  
 MODERN 'E'





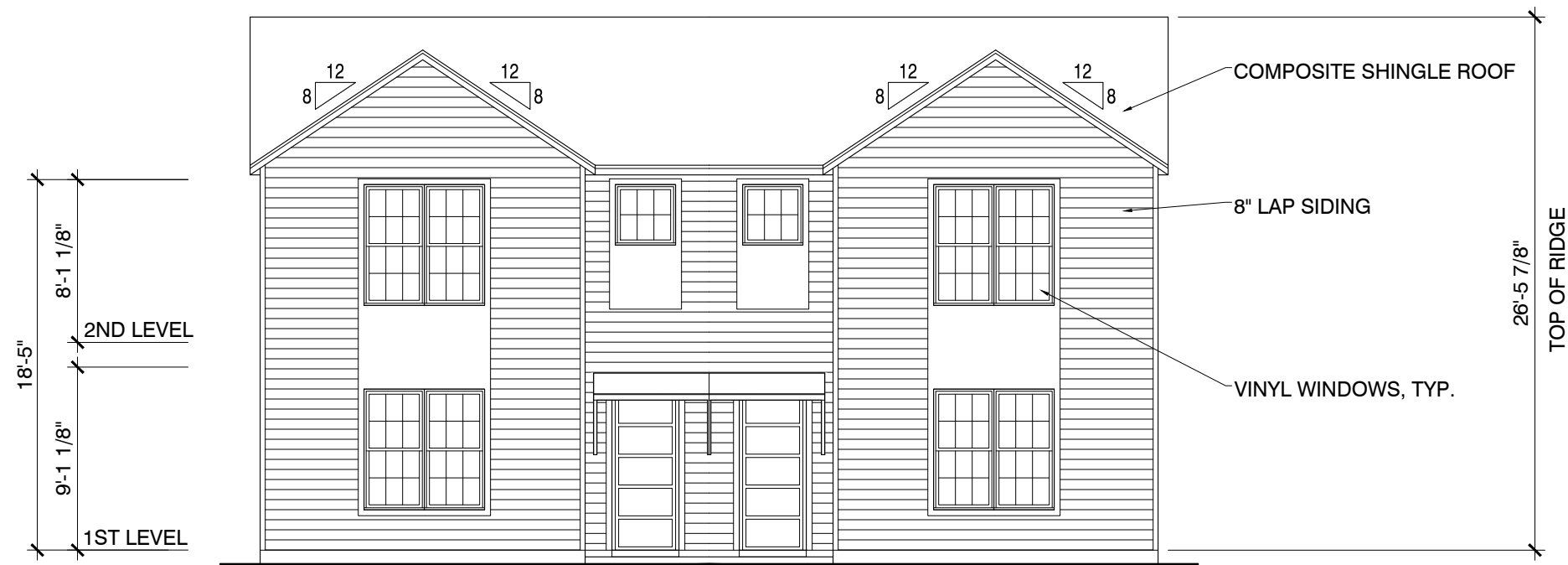
# OXENFREE AT WELBY

IN THE COUNTY OF ADAMS, COLORADO  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 SHEET 49: S22-1565 - CONTEMPORARY 'A'



**2 UNIT BUILDING - REAR ELEVATION**

SCALE: 1/8"=1'-0"



**2 UNIT BUILDING - FRONT ELEVATION**

SCALE: 1/8"=1'-0"

**OXENFREE AT WELBY**  
 PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO

OWNER:  
 COSMI FARMS LP  
 8728 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR CONSTRUCTION

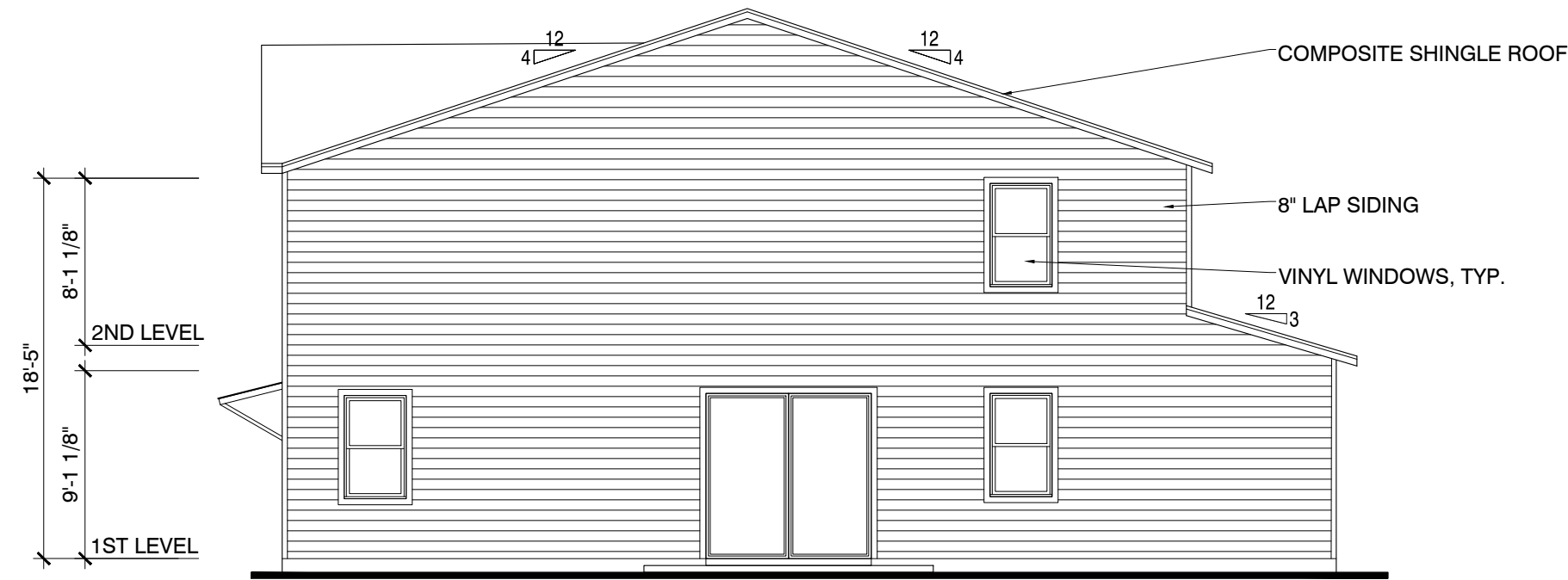
DATE:  
 08-16-23 FPD/PUD 01

SHEET TITLE:  
 S22-1565  
 CONTEMPORARY  
 'A'



# OXENFREE AT WELBY

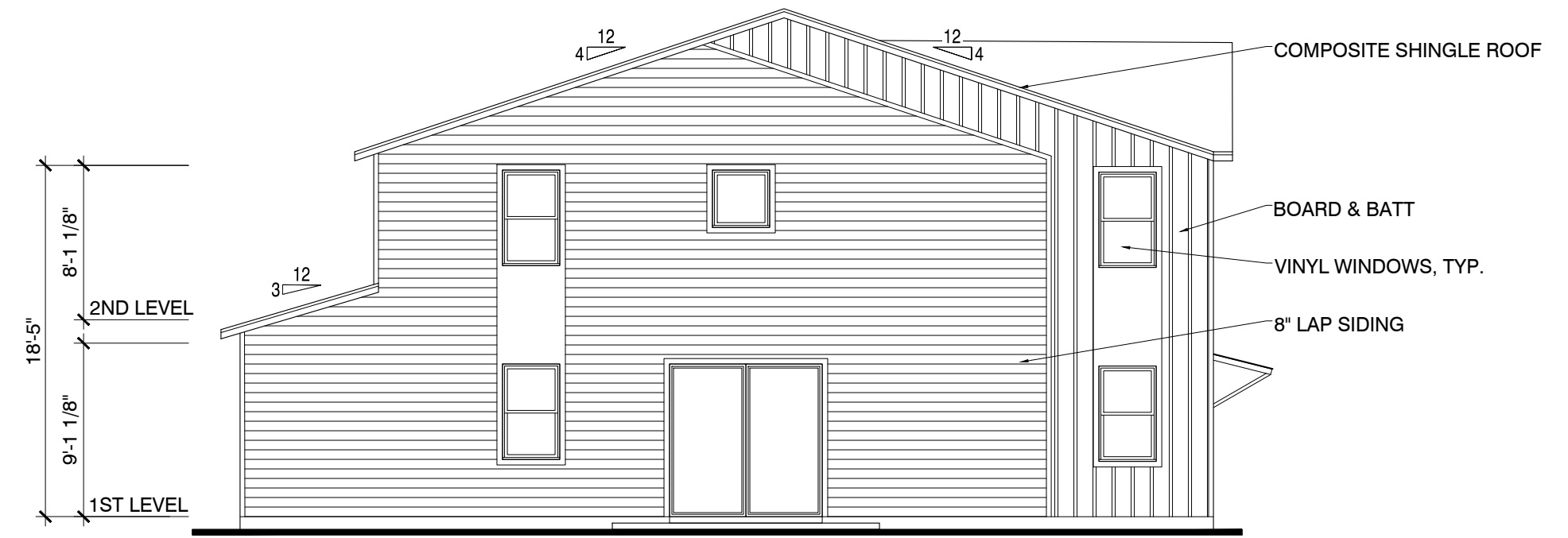
IN THE COUNTY OF ADAMS, COLORADO  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 SHEET 50: S22-1565 - CONTEMPORARY 'A'



**2 UNIT BUILDING - RIGHT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**2 UNIT BUILDING - LEFT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**2 UNIT BUILDING - LEFT SIDE ELEVATION - ENHANCED**  
 SCALE: 1/8"=1'-0"

NOT FOR  
 CONSTRUCTION

DATE:  
 08-16-23 FPD/PUD 01

SHEET TITLE:  
 S22-1565  
 CONTEMPORARY  
 'A'



# OXENFREE AT WELBY

IN THE COUNTY OF ADAMS, COLORADO  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 SHEET 51: S22-1730 - CONTEMPORARY 'A'



**2 UNIT BUILDING - REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



**2 UNIT BUILDING - FRONT ELEVATION**  
 SCALE: 1/8"=1'-0"

OXENFREE AT WELBY  
 PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO

OWNER:  
 COSMI FARMS LP  
 8728 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR  
 CONSTRUCTION

DATE:  
 08-16-23 FPD/PUD 01

SHEET TITLE:  
 S22-1730  
 CONTEMPORARY  
 'A'



CHECKED BY: FAE  
 DRAWN BY: FAE



# OXENFREE AT WELBY

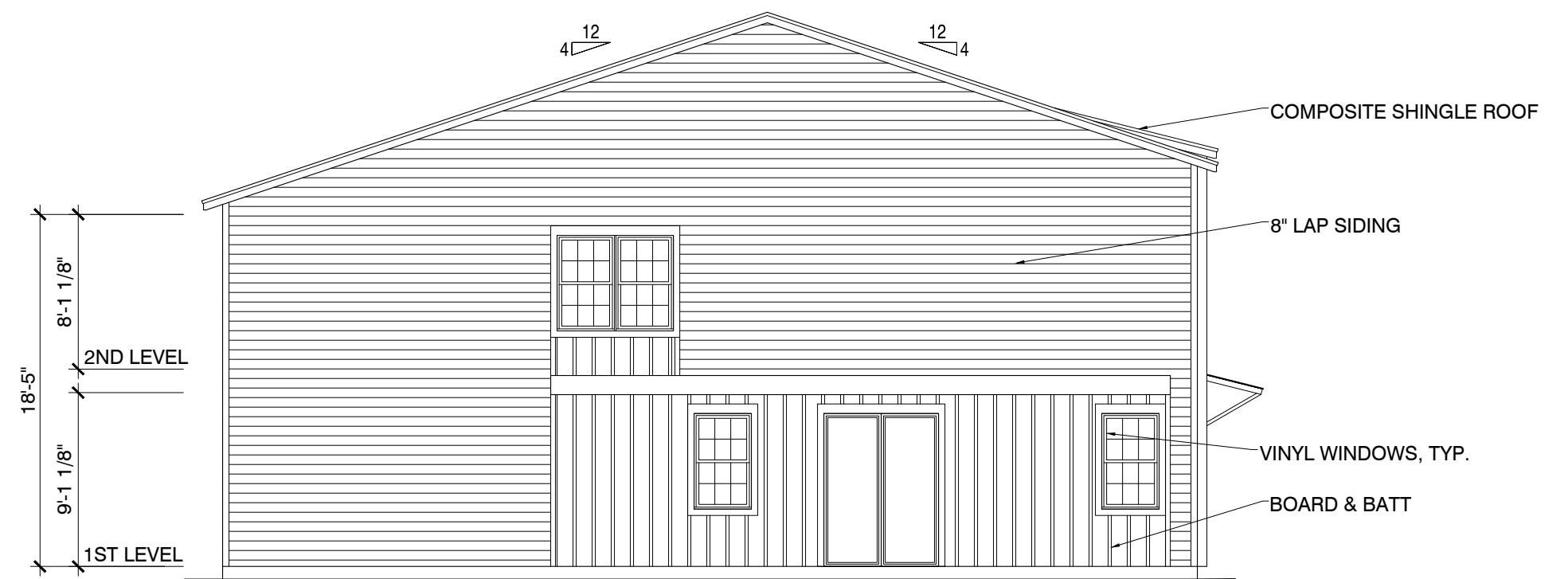
IN THE COUNTY OF ADAMS, COLORADO  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 SHEET 52: S22-1730 - CONTEMPORARY 'A'



**2 UNIT BUILDING - RIGHT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**2 UNIT BUILDING - LEFT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**2 UNIT BUILDING - LEFT SIDE ELEVATION - ENHANCED**  
 SCALE: 1/8"=1'-0"

**OXENFREE AT WELBY**  
 PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO

OWNER:  
 COSMI FARMS LP  
 8728 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR  
 CONSTRUCTION

DATE:  
 08-16-23 FPD/PUD 01

SHEET TITLE:  
 S22-1730  
 CONTEMPORARY  
 'A'



# OXENFREE AT WELBY

IN THE COUNTY OF ADAMS, COLORADO  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 SHEET 53: A22-1943 / A18-1575 MODERN 'E'



**3 UNIT BUILDING - REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



**3 UNIT BUILDING - FRONT ELEVATION**  
 SCALE: 1/8"=1'-0"

OXENFREE AT WELBY  
 PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO

OWNER:  
 COSMI FARMS LP  
 8728 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR  
 CONSTRUCTION

DATE:  
 08-16-23 FPD/PUD 01

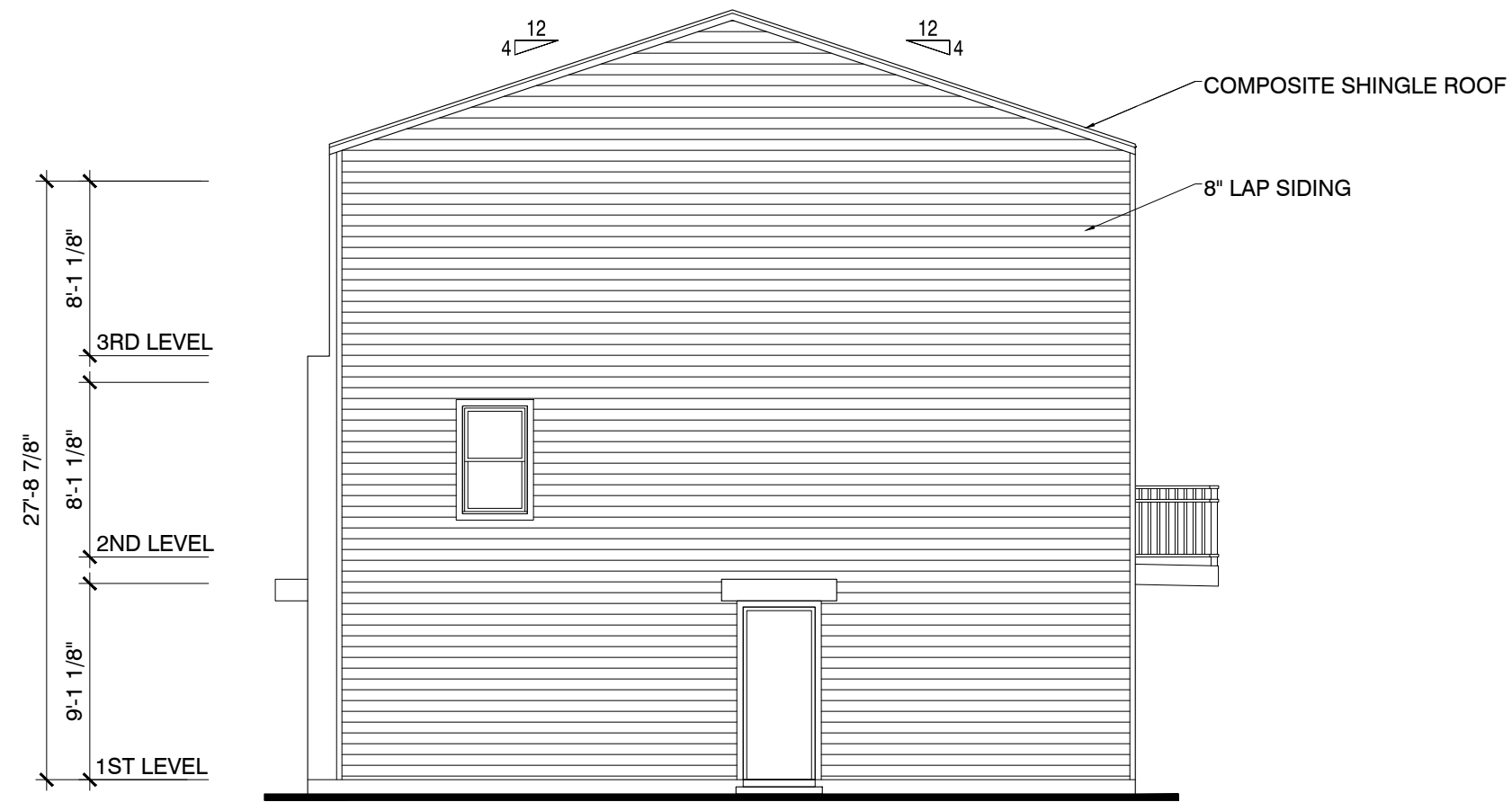
SHEET TITLE:  
 A22-1943 / A18-1575  
 MODERN 'E'



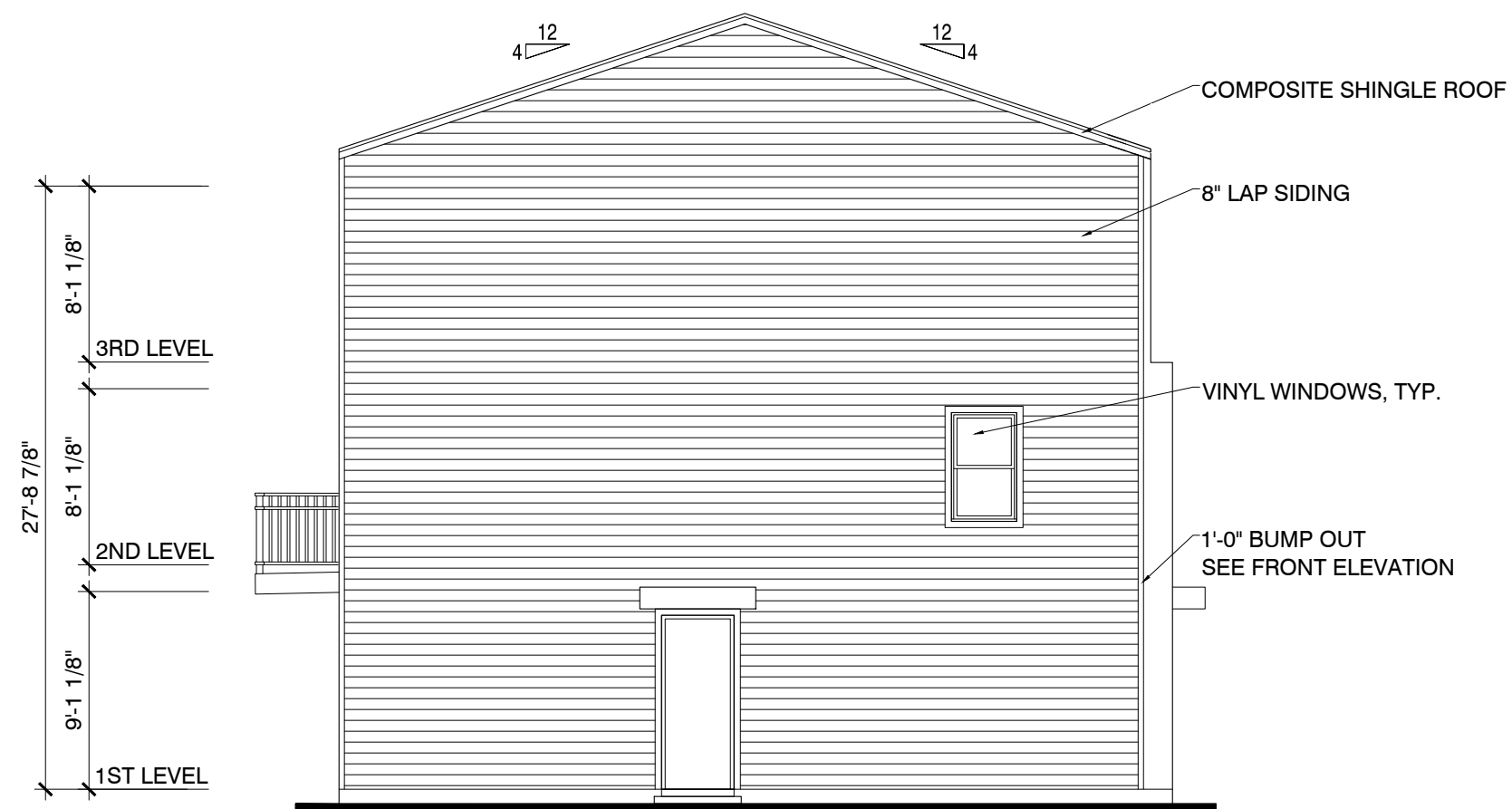
CHECKED BY:  
 FAE  
 DRAWN BY:  
 FAE

# OXENFREE AT WELBY

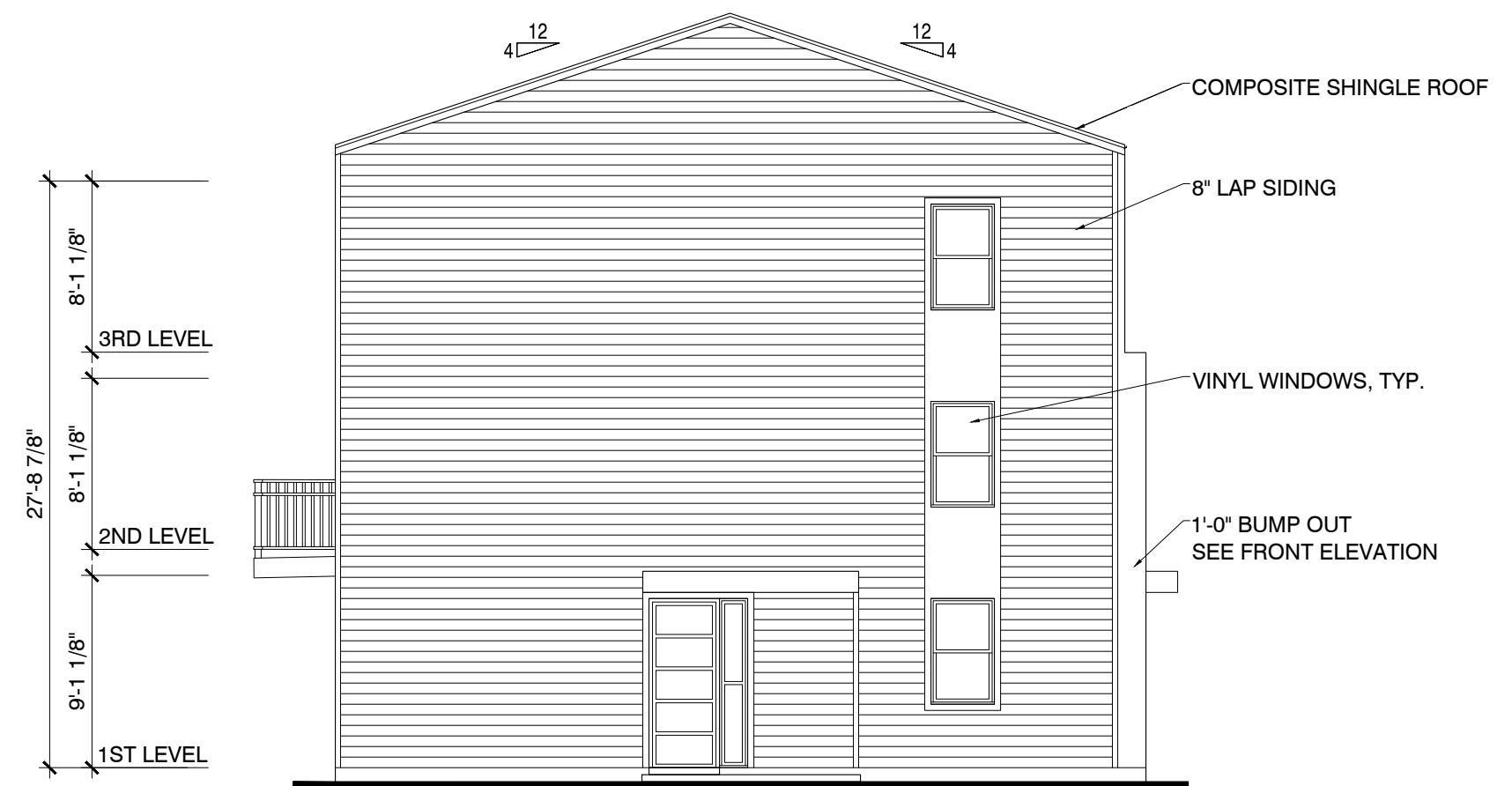
IN THE COUNTY OF ADAMS, COLORADO  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 SHEET 54: A22-1943 / A18-1575 MODERN 'E'



**3 UNIT BUILDING - RIGHT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**3 UNIT BUILDING - LEFT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**3 UNIT BUILDING - LEFT SIDE ELEVATION - ENHANCED**  
 SCALE: 1/8"=1'-0"

**OXENFREE AT WELBY**  
 PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO

OWNER:  
 COSMI FARMS LP  
 8728 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR  
 CONSTRUCTION

DATE:  
 08-16-23 FPD/PUD 01

SHEET TITLE:  
 A22-1943 / A18-1575  
 MODERN 'E'



CHECKED BY:  
 DRAWN BY:  
 FAE  
 FAE



# OXENFREE AT WELBY

IN THE COUNTY OF ADAMS, COLORADO  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 SHEET 55: A22-1943 / A18-1575 MODERN 'E'



**4 UNIT BUILDING - REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



**4 UNIT BUILDING - FRONT ELEVATION**  
 SCALE: 1/8"=1'-0"

**OXENFREE AT WELBY**  
 PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO

OWNER:  
 COSMI FARMS LP  
 6728 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR  
 CONSTRUCTION

DATE:  
 08-16-23 FPD/PUD 01

SHEET TITLE:  
 A22-1943 / A18-1575  
 MODERN 'E'



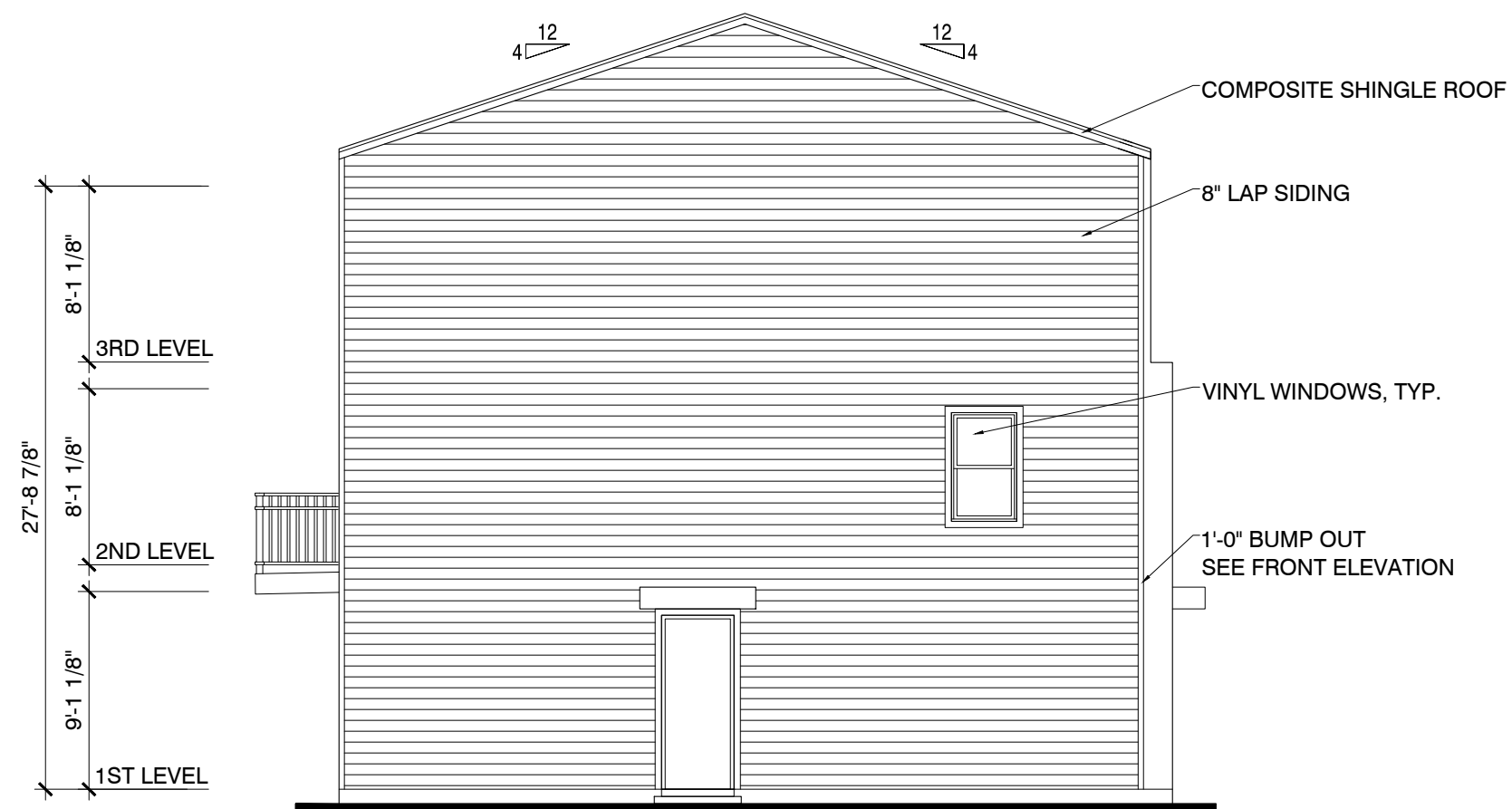
CHECKED BY: FAE  
 DRAWN BY: FAE

# OXENFREE AT WELBY

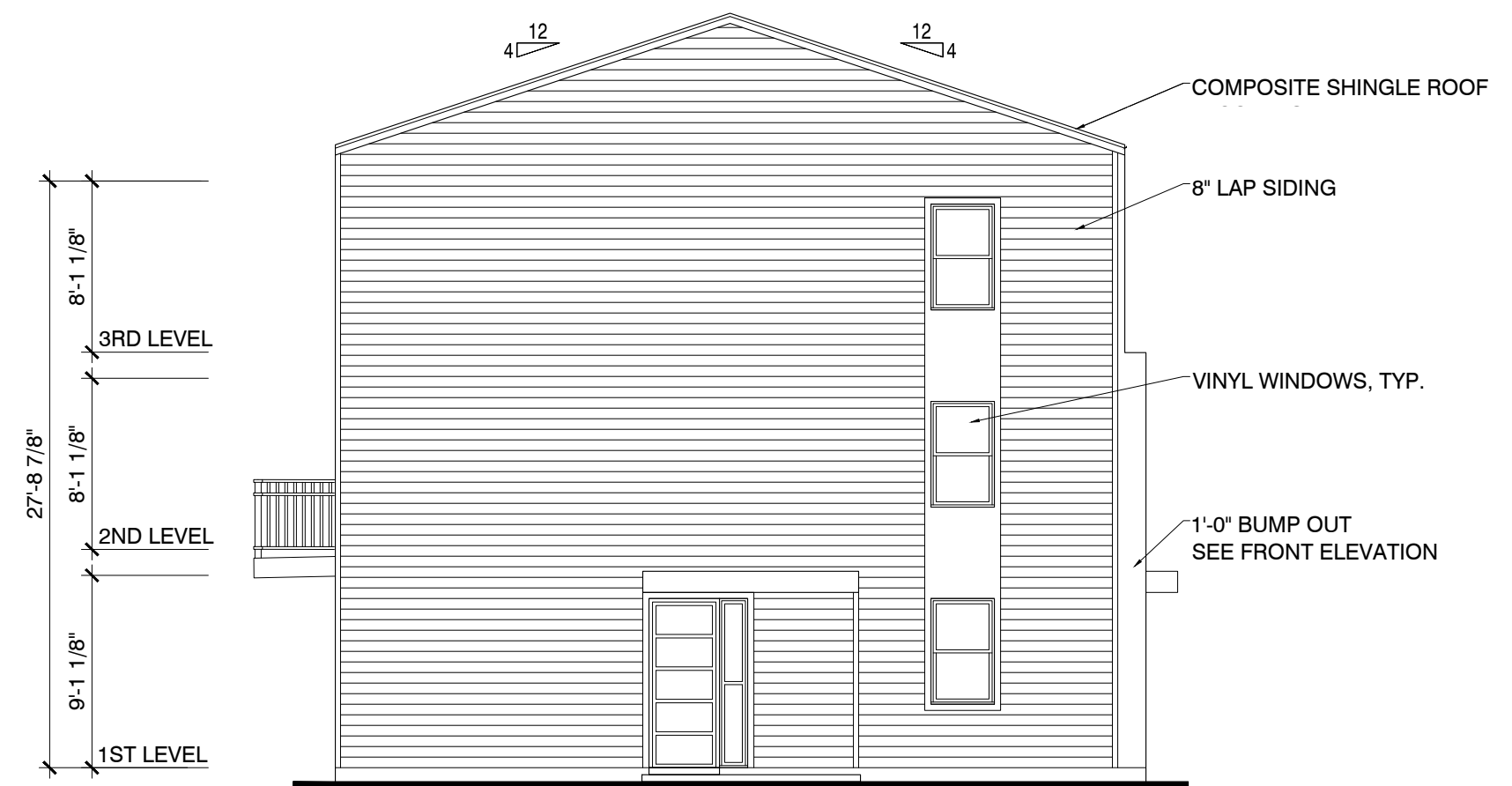
IN THE COUNTY OF ADAMS, COLORADO  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 SHEET 56: A22-1943 / A18-1575 MODERN 'E'



**4 UNIT BUILDING - RIGHT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**4 UNIT BUILDING - LEFT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**4 UNIT BUILDING - LEFT SIDE ELEVATION - ENHANCED**  
 SCALE: 1/8"=1'-0"

**OXENFREE AT WELBY**  
 PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO

OWNER:  
 COSMI FARMS LP  
 8728 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR CONSTRUCTION

DATE:  
 08-16-23 FPD/PUD 01

SHEET TITLE:  
 S22-1943 / A18-1575  
 MODERN 'E'



CHECKED BY: FAE  
 DRAWN BY: FAE

# OXENFREE AT WELBY

IN THE COUNTY OF ADAMS, COLORADO  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 SHEET 57: A22-1943 / A18-1575 MODERN 'E'



**6 UNIT BUILDING - REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



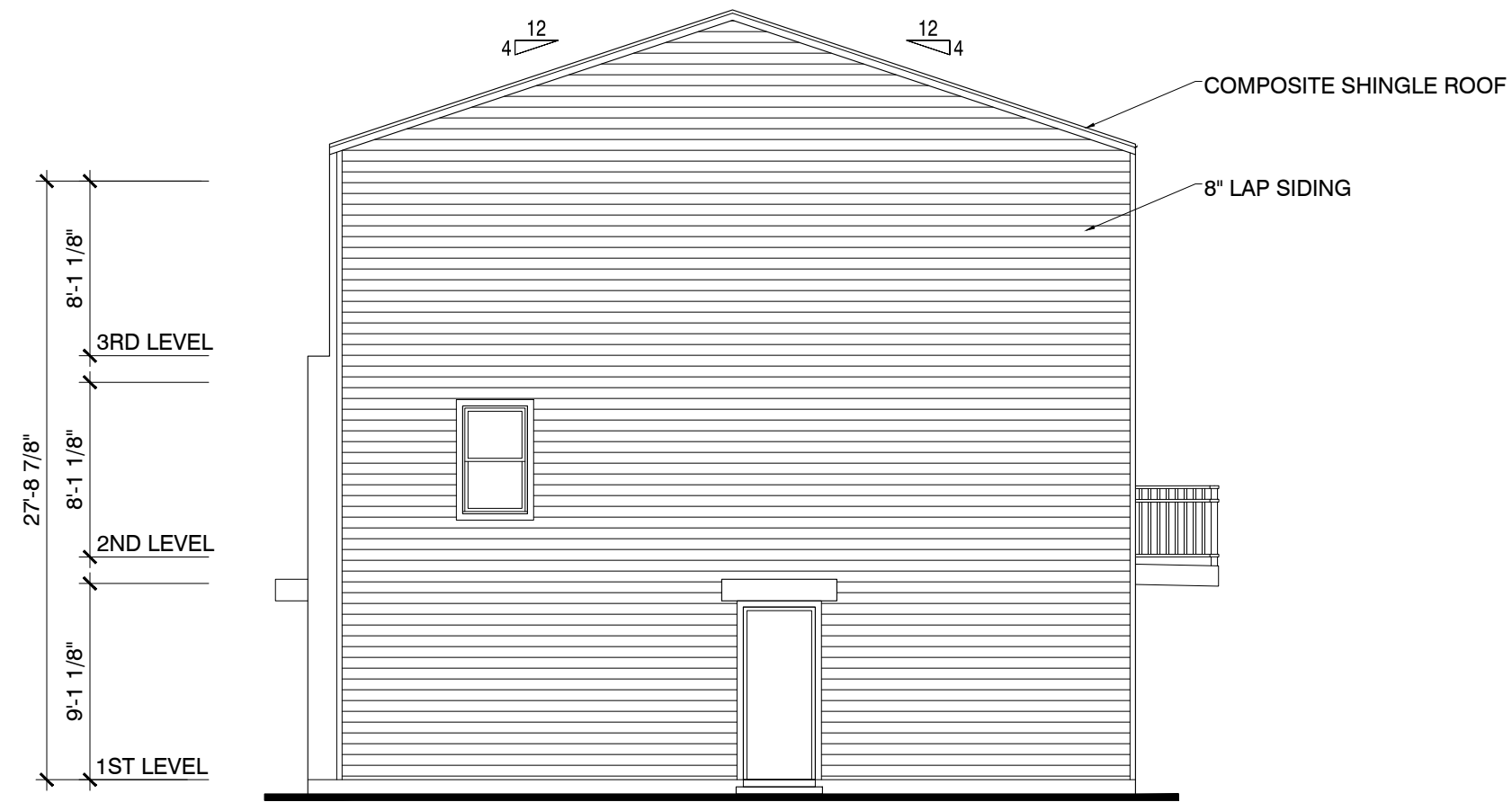
**6 UNIT BUILDING - FRONT ELEVATION**  
 SCALE: 1/8"=1'-0"



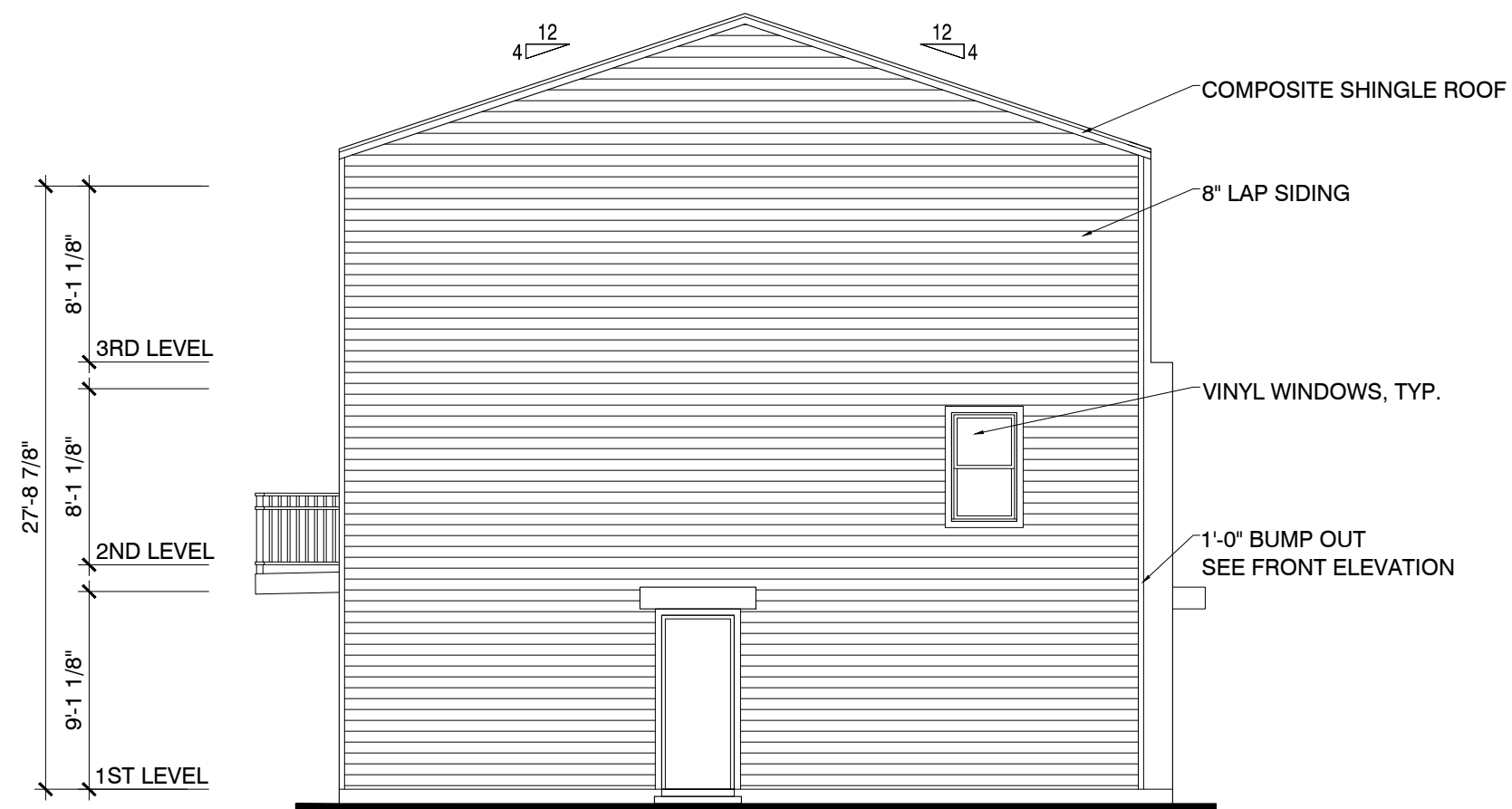


# OXENFREE AT WELBY

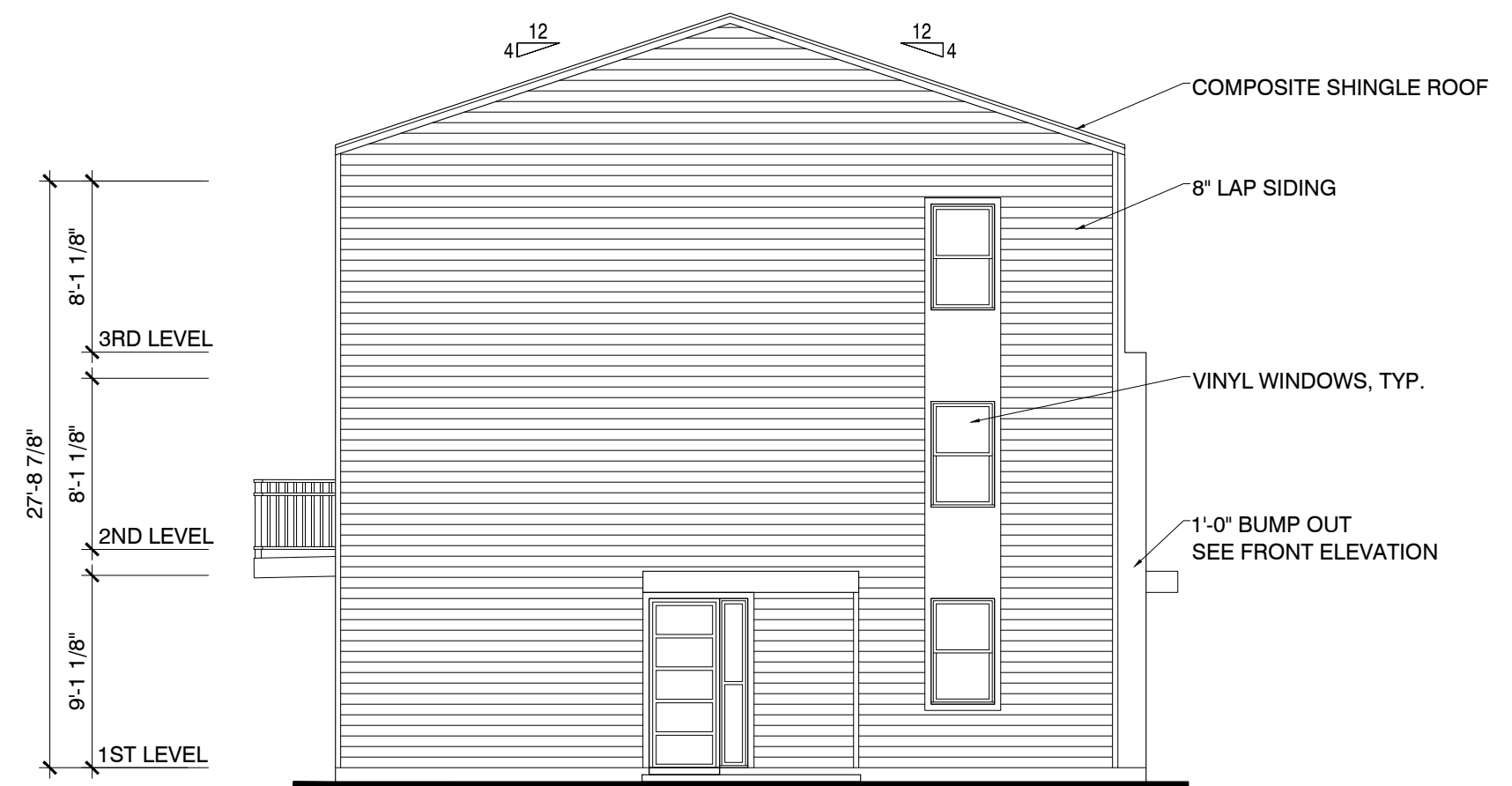
IN THE COUNTY OF ADAMS, COLORADO  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 SHEET 58: A22-1943 / A18-1575 MODERN 'E'



**6 UNIT BUILDING - RIGHT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**6 UNIT BUILDING - LEFT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**6 UNIT BUILDING - LEFT SIDE ELEVATION - ENHANCED**  
 SCALE: 1/8"=1'-0"

**OXENFREE AT WELBY**  
 PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO

OWNER:  
 COSMI FARMS LP  
 8728 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR  
 CONSTRUCTION

DATE:  
 08-16-23 FPD/PUD 01

SHEET TITLE:  
 A22-1943 / A18-1575  
 MODERN 'E'



CHECKED BY:  
 DRAWN BY:  
 FAE  
 FAE

# OXENFREE AT WELBY

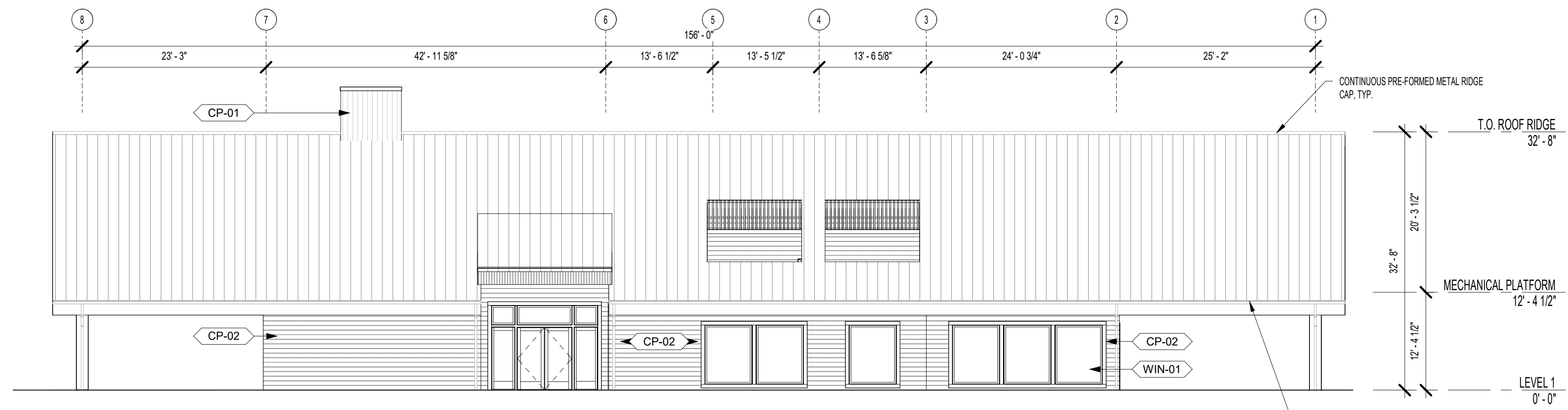
## IN THE COUNTY OF ADAMS, COLORADO

### PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN

#### SHEET 59: FIELDHOUSE ELEVATIONS



**1 WEST ELEVATION - CLUBHOUSE**  
 3/32" = 1'-0"



**2 EAST ELEVATION - CLUBHOUSE**  
 3/32" = 1'-0"

A2.00 BUILDING ELEVATION MATERIAL LEGEND	
BUILDING ELEVATION MATERIAL LEGEND	
CP-01	FIBER CEMENT CLADDING PANEL W/ 2 1/2" VERTICAL BATTENS SPACED 12" O.C. (BASIS OF DESIGN HARDIE PANEL VERTICAL SIDING AND HARDIE TRIM BOARDS)
CP-02	FIBER CEMENT SIDING (BASIS OF DESIGN HARDIE PLANK LAP SIDING, BEADED SMOOTH, 8 1/4" WIDE W/ 7" EXPOSURE)
CP-03	FIBER CEMENT CLADDING PANEL (BASIS OF DESIGN HARDIE PANEL VERTICAL SIDING AND HARDIE TRIM BOARDS, SMOOTH FINISH, TYP.)
CP-04	FLAT 1x6 T&G BOARDS, FOR PAINT
SF-01	FIBER CEMENT NON VENTED SOFFIT PANEL (BASIS OF DESIGN HARDIE BEADED PORCH PANEL)
SF-02	WOOD PANEL SOFFIT - (BASIS OF DESIGN ARMSTRONG WOODWORKS LINEAR / LINEAR EXTERIOR, 3 1/4" PLANKS, CUSTOM FINISH)
WIN-01	ALUMINUM CLAD WINDOW (BASIS OF DESIGN ANDERSEN E-SERIES)

OWNER:  
 COSMI FARMS LP  
 6728 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR  
 CONSTRUCTION

DATE:  
 08/16/23-FDP/PUD.01

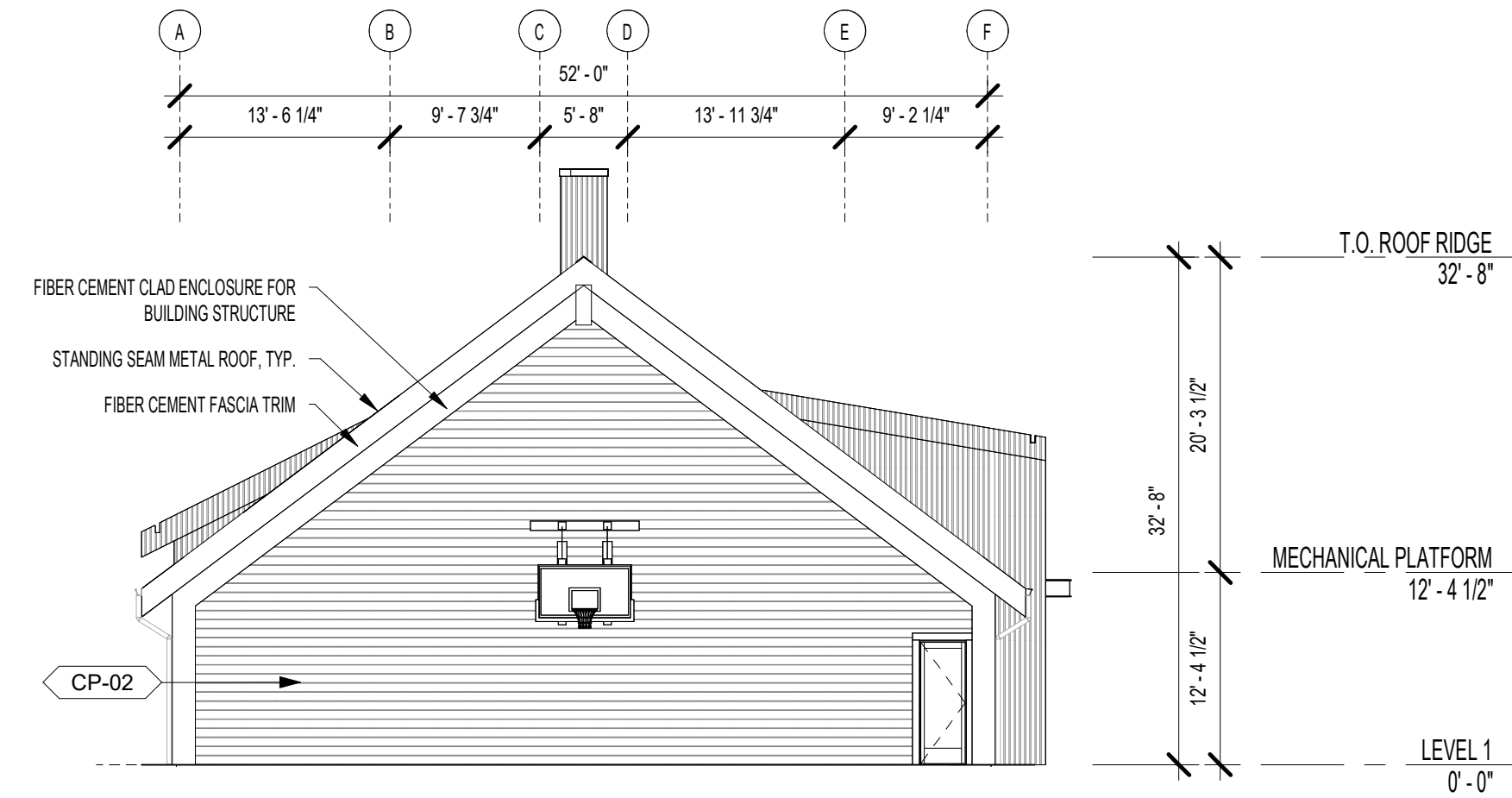
SHEET TITLE:  
 FIELDHOUSE  
 ELEVATIONS

# OXENFREE AT WELBY

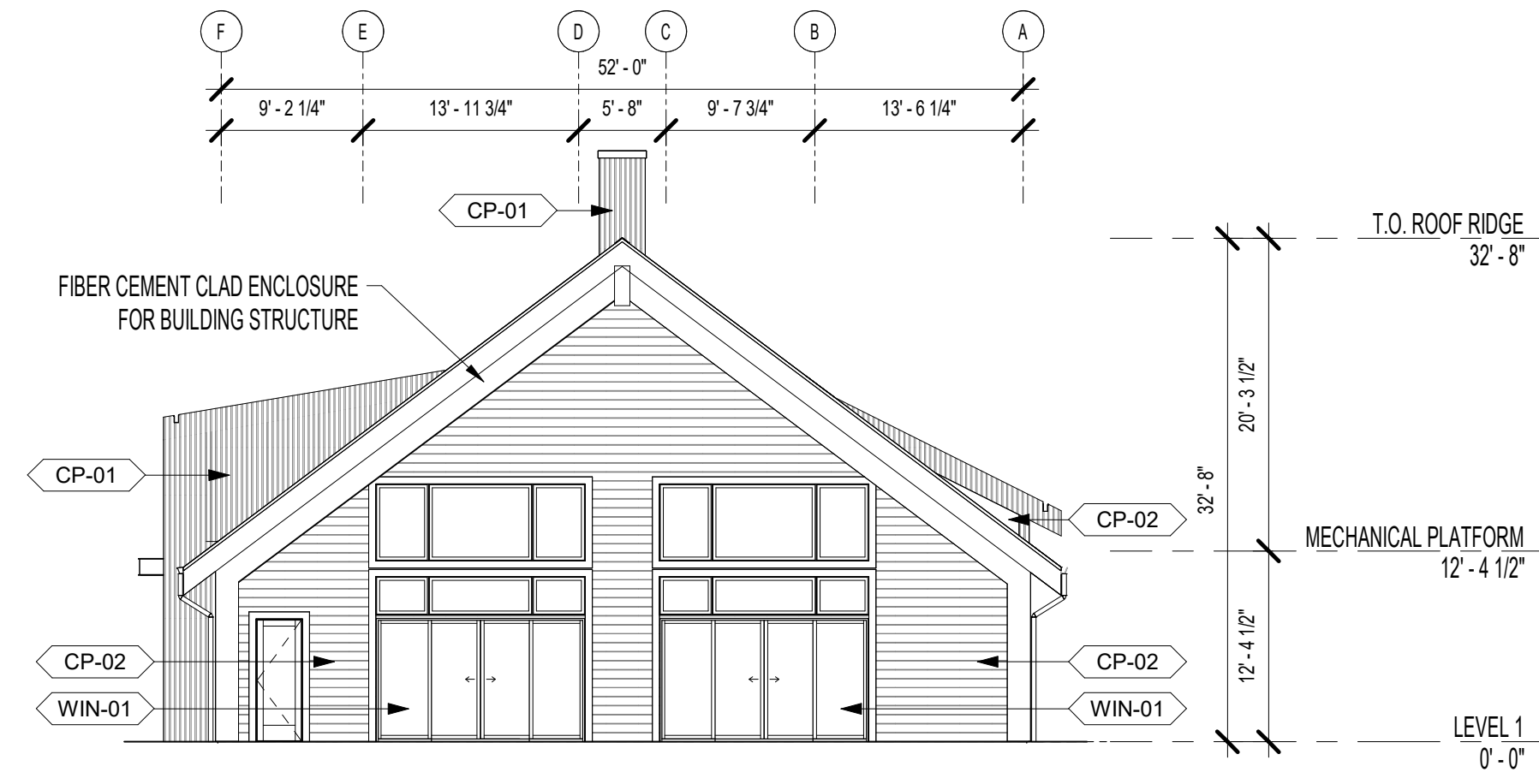
## IN THE COUNTY OF ADAMS, COLORADO

### PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN

#### SHEET 60: FIELDHOUSE ELEVATIONS



**1 NORTH ELEVATION - CLUBHOUSE**  
 3/32" = 1'-0"



**2 SOUTH ELEVATION - CLUBHOUSE**  
 3/32" = 1'-0"

A2.00 BUILDING ELEVATION MATERIAL LEGEND	
BUILDING ELEVATION MATERIAL LEGEND	
CP-01	FIBER CEMENT CLADDING PANEL W/ 2 1/2" VERTICAL BATTENS SPACED 12" O.C. (BASIS OF DESIGN HARDIE PANEL VERTICAL SIDING AND HARDIE TRIM BOARDS)
CP-02	FIBER CEMENT SIDING (BASIS OF DESIGN HARDIE PLANK LAP SIDING, BEADED SMOOTH, 8 1/4" WIDE W/ 7" EXPOSURE)
CP-03	FIBER CEMENT CLADDING PANEL (BASIS OF DESIGN HARDIE PANEL VERTICAL SIDING AND HARDIE TRIM BOARDS, SMOOTH FINISH, TYP.)
CP-04	FLAT 1x6 T&G BOARDS, FOR PAINT
SF-01	FIBER CEMENT NON VENTED SOFFIT PANEL (BASIS OF DESIGN HARDIE BEADED PORCH PANEL)
SF-02	WOOD PANEL SOFFIT - (BASIS OF DESIGN ARMSTRONG WOODWORKS LINEAR / LINEAR EXTERIOR, 3 1/4" PLANKS, CUSTOM FINISH)
WIN-01	ALUMINUM CLAD WINDOW (BASIS OF DESIGN ANDERSEN E-SERIES)

OXENFREE AT WELBY  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO

OWNER:  
 COSMI FARMS LP  
 6735 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR CONSTRUCTION

DATE:  
 08/16/23-FDP/PU01

SHEET TITLE:  
 FIELDHOUSE ELEVATIONS

CHECKED BY: XX  
 DRAWN BY: XX



# OXENFREE AT WELBY

## IN THE COUNTY OF ADAMS, COLORADO

### PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN

#### SHEET 61: MAINTENANCE ELEVATIONS

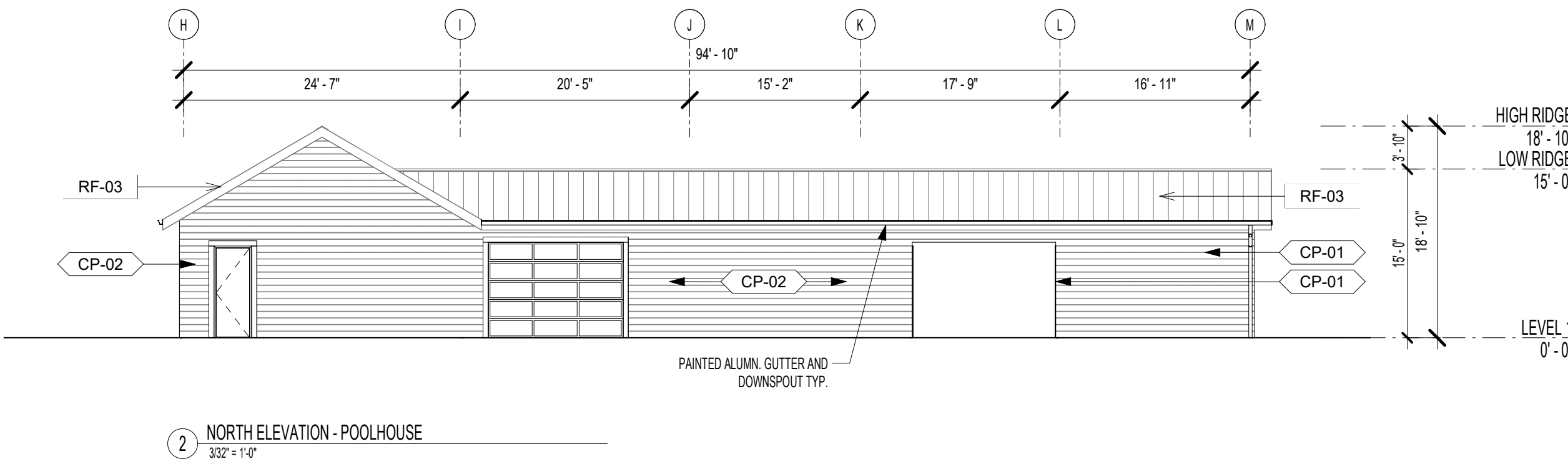
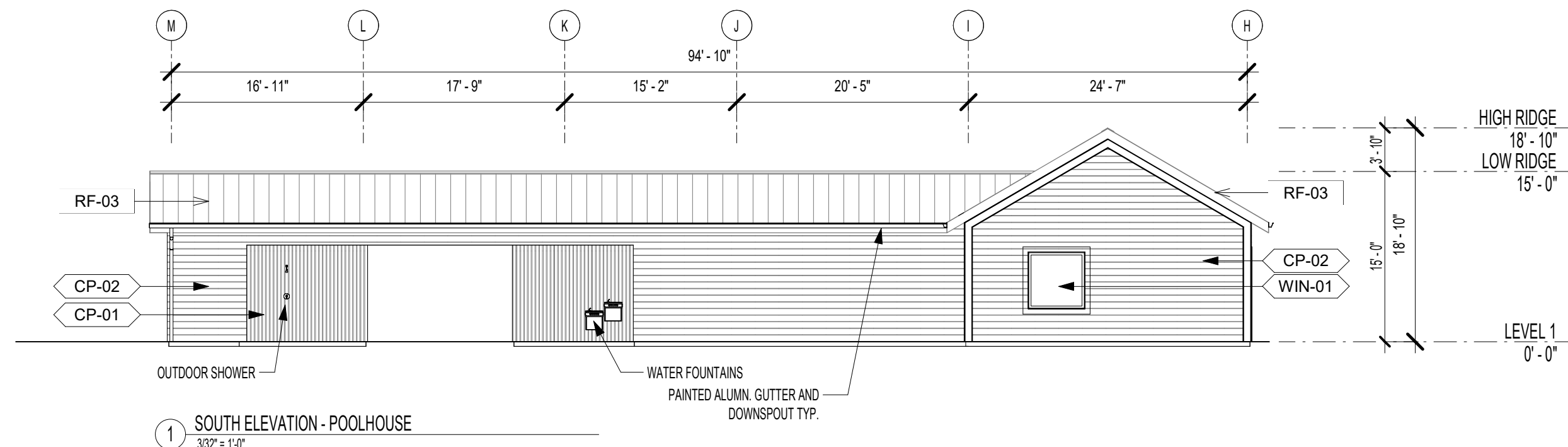
OXENFREE AT WELBY  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO

OWNER:  
 COSMI FARMS LP  
 6728 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR  
 CONSTRUCTION

DATE:  
 08/16/23-FDP/PU01

SHEET TITLE:  
 MAINTENANCE  
 ELEVATIONS



A2.00 BUILDING ELEVATION MATERIAL LEGEND	
BUILDING ELEVATION MATERIAL LEGEND	
CP-01	FIBER CEMENT CLADDING PANEL W/ 2 1/2" VERTICAL BATTENS SPACED 12" O.C. (BASIS OF DESIGN HARDIE PANEL VERTICAL SIDING AND HARDIE TRIM BOARDS)
CP-02	FIBER CEMENT SIDING (BASIS OF DESIGN HARDIE PLANK LAP SIDING, BEADED SMOOTH, 8 1/4" WIDE W/ 7" EXPOSURE)
CP-03	FIBER CEMENT CLADDING PANEL (BASIS OF DESIGN HARDIE PANEL VERTICAL SIDING AND HARDIE TRIM BOARDS, SMOOTH FINISH, TYP.)
CP-04	FLAT 1x6 T&G BOARDS, FOR PAINT
SF-01	FIBER CEMENT NON VENTED SOFFIT PANEL (BASIS OF DESIGN HARDIE BEADED PORCH PANEL)
SF-02	WOOD PANEL SOFFIT - (BASIS OF DESIGN ARMSTRONG WOODWORKS LINEAR / LINEAR EXTERIOR, 3 1/4" PLANKS, CUSTOM FINISH)
WIN-01	FIBREX COMPOSITE WINDOW (BASIS OF DESIGN ANDERSEN 100 SERIES)

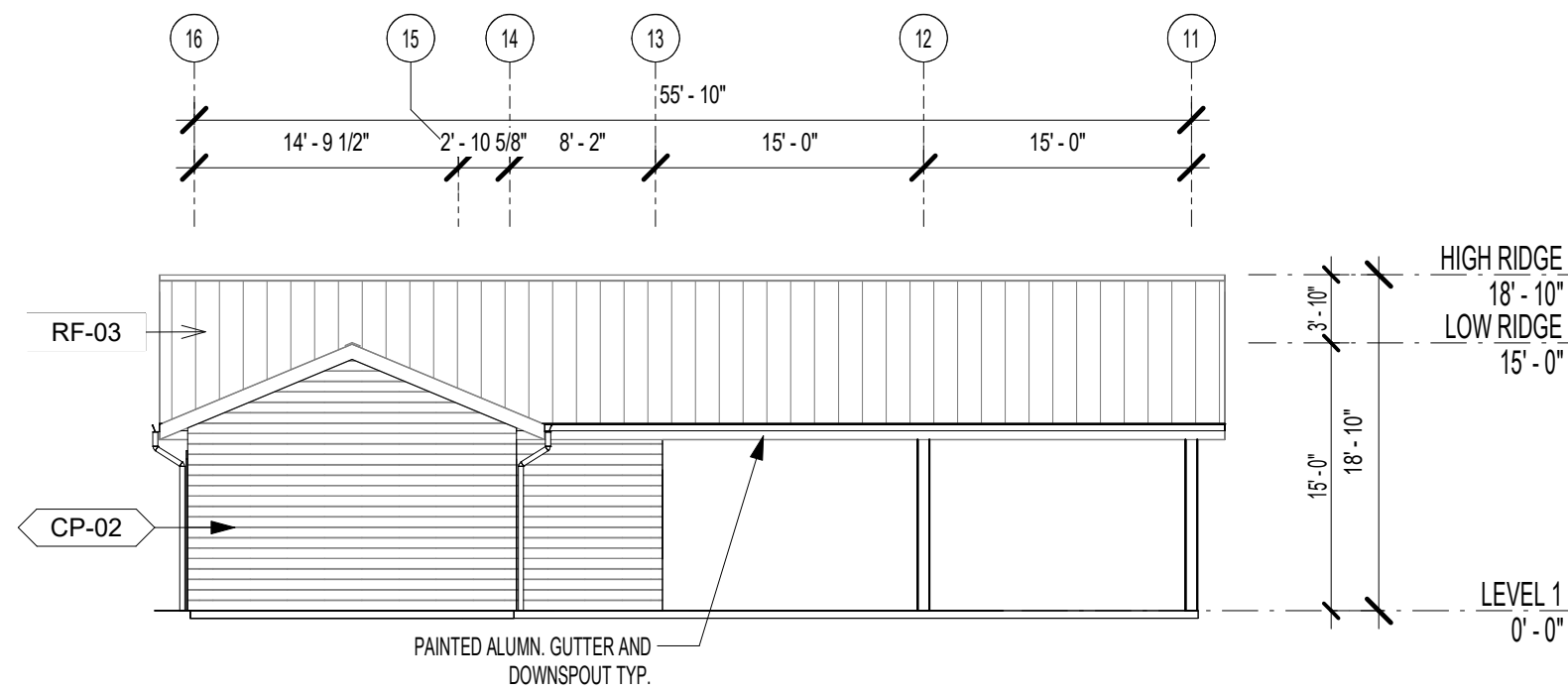
CHECKED BY: XX  
 DRAWN BY: XX

# OXENFREE AT WELBY

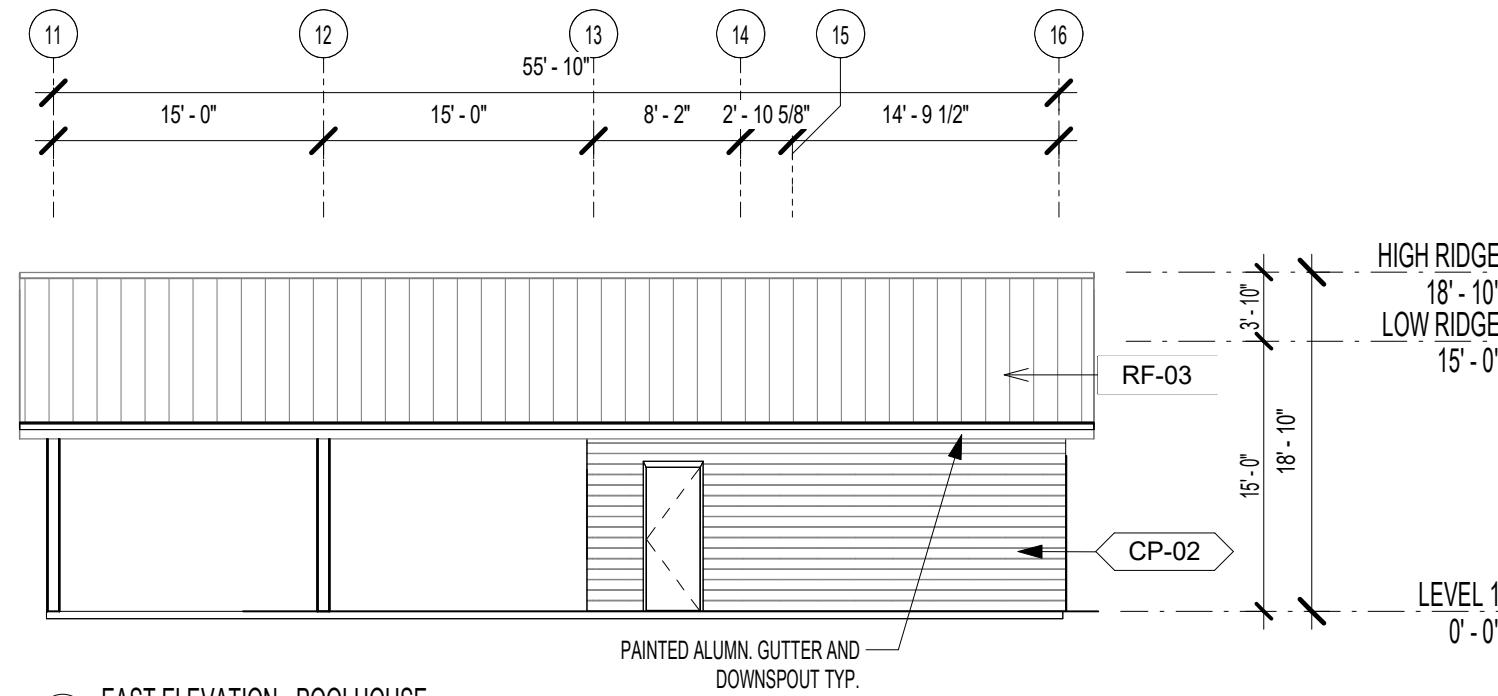
## IN THE COUNTY OF ADAMS, COLORADO

### PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN

#### SHEET 62: MAINTENANCE ELEVATIONS



1 WEST ELEVATION - POOLHOUSE  
3/32" = 1'-0"



2 EAST ELEVATION - POOLHOUSE  
3/32" = 1'-0"

A2.00 BUILDING ELEVATION MATERIAL LEGEND	
BUILDING ELEVATION MATERIAL LEGEND	
CP-01	FIBER CEMENT CLADDING PANEL W/ 2 1/2" VERTICAL BATTENS SPACED 12" O.C. (BASIS OF DESIGN HARDIE PANEL VERTICAL SIDING AND HARDIE TRIM BOARDS)
CP-02	FIBER CEMENT SIDING (BASIS OF DESIGN HARDIE PLANK LAP SIDING, BEADED SMOOTH, 8 1/4" WIDE W/ 7" EXPOSURE)
CP-03	FIBER CEMENT CLADDING PANEL (BASIS OF DESIGN HARDIE PANEL VERTICAL SIDING AND HARDIE TRIM BOARDS, SMOOTH FINISH, TYP.)
CP-04	FLAT 1x6 T&G BOARDS, FOR PAINT
SF-01	FIBER CEMENT NON VENTED SOFFIT PANEL (BASIS OF DESIGN HARDIE BEADED PORCH PANEL)
SF-02	WOOD PANEL SOFFIT - (BASIS OF DESIGN ARMSTRONG WOODWORKS LINEAR / LINEAR EXTERIOR, 3 1/4" PLANKS, CUSTOM FINISH)
WIN-01	FIBREX COMPOSITE WINDOW (BASIS OF DESIGN ANDERSEN 100 SERIES)

# OXENFREE AT WELBY

A PARCEL LOCATED IN THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 1 OF 6

## PURPOSE STATEMENT

TO VACATE AND REPLAT THE FOLLOWING: LOTS 22 & 23, BLOCK 1, LOTS 1-6, LOT 11 EXCEPT THE WEST 12 FEET OF THE SOUTH 157.5 FEET AND LOTS 12-17, BLOCK 2, LOTS 1-7, BLOCK 3, LOTS 1-15, BLOCK 4, LOTS 1-15, BLOCK 5, LOTS 1-14, BLOCK 6 ALONG WITH MCKINLEY AVENUE AND PITKIN STREET, CLEVELAND AVENUE SOUTH OF EAST 79TH AVENUE FORMALLY KNOWN AS CLINE STREET, A PORTION OF SAID EAST 79TH AVENUE AND THOSE ALLEYS OF BLOCKS 4, 5 AND 6; ALL OF THE PLAT OF THE TOWN OF WELBY SECOND FILING RECORDED IN BOOK 1 PAGE 19 IN THE RECORDS OF THE CLERK AND RECORDER OF ADAMS COUNTY, STATE OF COLORADO.

## OWNERSHIP AND DEDICATION CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED WARRANT THEY ARE THE OWNERS OF A PARCEL OF LAND BEING LOTS 22 AND 23 BLOCK 1, LOTS 1-6 AND 11-17 BLOCK 2, LESS AND EXCEPT THE WEST 12' OF THE SOUTH 157.5' OF LOT 11, LOTS 1-7 BLOCK 3, LOTS 1-15 BLOCK 4, LOTS 1-15 BLOCK 5, LOTS 1-14 BLOCK 6 ALONG WITH MCKINLEY AVENUE, PITKIN STREET AND CLEVELAND AVENUE SOUTH OF EAST 79TH AVENUE, ALL OF THE PLAT OF THE TOWN OF WELBY SECOND FILING RECORDED IN BOOK 1 PAGE 19 IN THE RECORDS OF THE CLERK AND RECORDER OF ADAMS COUNTY, STATE OF COLORADO, AND A UNPLATTED PARCEL OF LAND, LOCATED WITHIN THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 2 SOUTH, RANGE 68 WEST, OF THE SIXTH PRINCIPAL MERIDIAN, SAID COUNTY AND STATE, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

**COMMENCING** AT THE WEST SIXTEENTH CORNER OF SECTIONS 25 AND 36, SAID TOWNSHIP AND RANGE, WHENCE THE NORTH LINE OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 36 BEARS NORTH 89°30'16" EAST, A DISTANCE OF 1307.22 FEET, ALL BEARINGS HEREON ARE REFERENCED THERETO;

THENCE ALONG SAID NORTH LINE, NORTH 89°30'16" EAST, A DISTANCE OF 386.82 FEET TO THE EASTERLY BOUNDARY OF THE VACATED CLEVELAND AVENUE BY THE A & M STEEL INC. SUBDIVISION RECORDED AT RECEPTION NO. 2007000017707 IN SAID RECORDS AND THE **POINT OF BEGINNING**;

THENCE CONTINUING ALONG SAID NORTH LINE, NORTH 89°30'16" EAST, A DISTANCE OF 331.46 FEET TO THE WESTERLY LINE OF DEED RECORDED IN BOOK 1020 PAGE 79;

THENCE ALONG SAID WESTERLY LINE THE FOLLOWING THREE (3) COURSES:

1. SOUTH 03°05'16" WEST, A DISTANCE OF 385.70 FEET;
2. SOUTH 28°00'16" WEST, A DISTANCE OF 304.95 FEET;
3. SOUTH 89°30'16" WEST, A DISTANCE OF 91.61 FEET TO THE EASTERLY BOUNDARY OF SAID PLAT OF THE TOWN OF WELBY, SECOND FILING;

THENCE ALONG SAID EASTERLY BOUNDARY OF SAID PLAT OF THE TOWN WELBY, SECOND FILING THE FOLLOWING FIVE (5) COURSES;

1. SOUTH 00°03'42" EAST, A DISTANCE OF 170.40 FEET;
2. NORTH 89°50'03" WEST, A DISTANCE OF 9.18 FEET;
3. SOUTH 00°11'14" EAST, A DISTANCE OF 466.30 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY OF EAST 78<sup>TH</sup> AVENUE;

THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY THE FOLLOWING TWO (2) COURSES;

1. SOUTH 89°39'01" WEST, A DISTANCE OF 454.03 FEET;
2. SOUTH 89°28'21" WEST, A DISTANCE OF 972.46 FEET;

THENCE DEPARTING SAID NORTHERLY RIGHT-OF-WAY, NORTH 00°30'58" WEST, A DISTANCE OF 157.50 FEET;

THENCE SOUTH 89°28'21" WEST, A DISTANCE OF 12.00 FEET TO THE WESTERLY BOUNDARY OF LOT 11 AS SHOWN ON SAID PLAT OF THE TOWN OF WELBY, SECOND FILING;

THENCE ALONG SAID WESTERLY BOUNDARY AND THE WESTERLY BOUNDARY OF LOT 6, AS SHOWN ON SAID PLAT OF THE TOWN OF WELBY, SECOND FILING, NORTH 00°30'58" WEST, A DISTANCE OF 442.68 FEET TO THE SOUTHERLY RIGHT-OF-WAY OF EAST 79<sup>TH</sup> AVENUE FORMALLY KNOWN AS CLINE STREET AS SHOWN ON SAID PLAT OF THE TOWN OF WELBY, SECOND FILING;

THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY, SOUTH 89°29'55" WEST, A DISTANCE OF 1081.96 FEET TO THE SOUTHERLY EXTENSION OF THE SOUTHEASTERLY BOUNDARY OF SAID VACATED CLEVELAND AVENUE;

THENCE ALONG SAID SOUTHERLY EXTENSION AND SOUTHEASTERLY BOUNDARY, NORTH 23°00'32" EAST, A DISTANCE OF 750.94 FEET TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM THAT PORTION OF EAST 79<sup>TH</sup> AVENUE FORMALLY KNOWN AS CLINE STREET DESCRIBED AS FOLLOWS:

**BEGINNING** AT THE INTERSECTION OF THE EASTERLY RIGHT-OF-WAY OF SAID DENVER LARAMIE AND NORTHWESTERN RAILWAY AND THE NORTHERLY RIGHT-OF-WAY OF SAID EAST 79<sup>TH</sup> AVENUE;

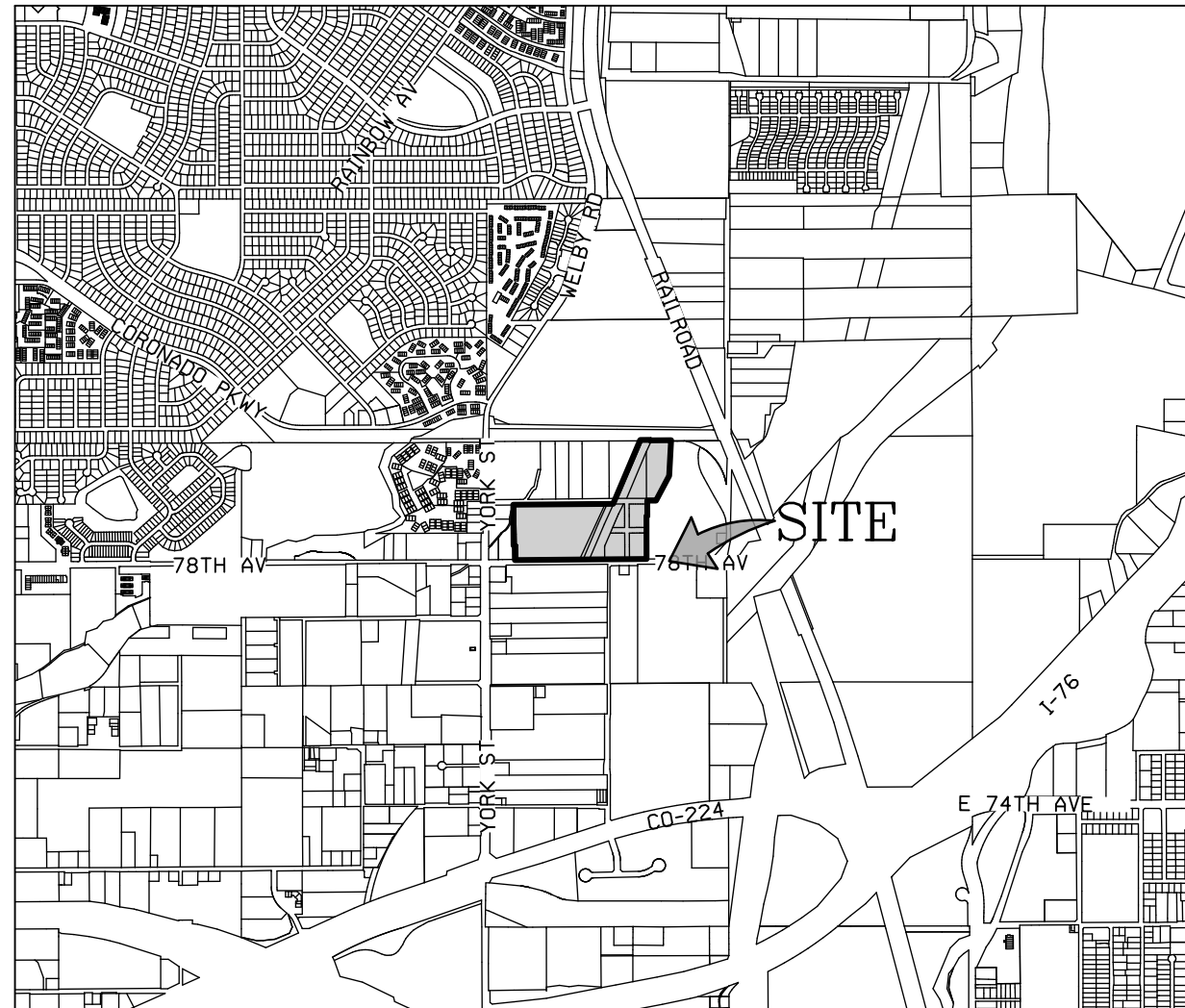
THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY, NORTH 89°29'55" EAST, A DISTANCE OF 131.50 FEET;

THENCE SOUTH 00°30'58" EAST, A DISTANCE OF 60.00 FEET TO THE SOUTHERLY RIGHT-OF-WAY OF SAID EAST 79<sup>TH</sup> AVENUE;

THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY, SOUTH 89°29'55" WEST, A DISTANCE OF 157.62 FEET TO SAID EASTERLY RIGHT-OF-WAY OF THE DENVER LARAMIE AND NORTHWESTERN RAILWAY

THENCE ALONG SAID EASTERLY RIGHT-OF-WAY NORTH 23°00'32" EAST, A DISTANCE OF 65.43 FEET TO THE **POINT OF BEGINNING**.

RESULTING IN A NET AREA OF 26.317 ACRES, (1,146,370 SQUARE FEET), MORE OR LESS.



VICINITY MAP  
SCALE: 1"=1000'

## OWNERSHIP AND DEDICATION CERTIFICATE CONTINUED

HAS BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO BLOCKS, LOTS, STREETS, TRACTS AND EASEMENTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF OXENFREE AT WELBY--PRELIMINARY PLAT AND DO HEREBY GRANT TO THE COUNTY OF ADAMS, STATE OF COLORADO, FOR THE USE OF THE PUBLIC, THE STREETS AND OTHER PUBLIC WAYS AND LANDS HEREON SHOWN. ALSO, HEREBY GRANT TRACT D AND NON-EXCLUSIVE UTILITY EASEMENTS LOCATED AS SHOWN HEREON FOR THE INSTALLATION, MAINTENANCE, AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES, INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES, AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE, AND REPLACEMENT OF SUCH LINES.

EXECUTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 2023,

OWNER: COSIMI FARMS, LP, A COLORADO LIMITED PARTNERSHIP

BY: \_\_\_\_\_ AS: GENERAL PARTNER  
RON COSIMI

## ACKNOWLEDGEMENT

STATE OF NEW MEXICO )  
 )SS  
COUNTY OF \_\_\_\_\_ )

THE FOREGOING OWNERSHIP AND DEDICATION WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023,

BY RON COSIMI, GENERAL PARTNER AS AUTHORIZED SIGNATORY FOR COSIMI FARMS, LP, A COLORADO LIMITED PARTNERSHIP

WITNESS MY HAND AND OFFICIAL SEAL:

NOTARY PUBLIC \_\_\_\_\_

MY COMMISSION EXPIRES: \_\_\_\_\_

MY ADDRESS IS: \_\_\_\_\_

DATE	BY	REVISION DESCRIPTION
2023-06-07	TP	ADDRESSED CITY COMMENTS
2023-04-28	RBA, TP	ADDRESSED CITY COMMENTS
2023-03-15	RBA, TP	ADDRESSED CITY COMMENTS
REVISION TABLE		

## SURVEYOR'S CERTIFICATE

I, ANTHONY K. PEALL, A REGISTERED LAND SURVEYOR, REGISTERED IN THE STATE OF COLORADO DO HEREBY CERTIFY THAT THERE ARE NO ROADS, PIPELINES, IRRIGATION DITCHES, OR OTHER EASEMENTS IN EVIDENCE OR KNOWN BY ME TO EXIST ON OR ACROSS THE HEREIN BEFORE DESCRIBED PROPERTY EXCEPT AS SHOWN ON THIS PLAT. I FURTHER CERTIFY THAT I HAVE PERFORMED THE SURVEY SHOWN HEREON, OR SUCH SURVEY WAS PREPARED UNDER MY DIRECT RESPONSIBILITY AND SUPERVISION, THAT THIS PLAT ACCURATELY REPRESENTS SAID SURVEY, AND THAT ALL MONUMENTS EXIST AS SHOWN HEREON.

ANTHONY K. PEALL, LICENSED PROFESSIONAL LAND SURVEYOR  
COLORADO P.L.S. No. 38636  
FOR AND ON BEHALF OF AZTEC CONSULTANTS, INC.  
300 E. MINERAL AVE., SUITE 1, LITTLETON, CO 80122

**NOTICE:** ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

**NOTICE:** PER THE STATE OF COLORADO BOARD OF LICENSURE FOR ARCHITECTS, PROFESSIONAL ENGINEERS, AND PROFESSIONAL LAND SURVEYORS RULE 1.6.B.2 THE WORD "CERTIFY" AS USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED. THE SURVEY REPRESENTED HEREON HAS BEEN PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE AND IS BASED UPON MY KNOWLEDGE, INFORMATION AND BELIEF.

FOR REVIEW

## BOARD OF COUNTY COMMISSIONERS APPROVAL

APPROVED BY THE ADAMS COUNTY BOARD OF COMMISSIONERS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_

\_\_\_\_\_, A.D., 2023.

CHAIR \_\_\_\_\_

## ADAMS COUNTY ATTORNEY'S OFFICE

APPROVED AS TO FORM \_\_\_\_\_

## ADAMS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF ADAMS COUNTY AT \_\_\_\_M. ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 2023,

RECEPTION NO. \_\_\_\_\_

ADAMS COUNTY CLERK AND RECORDER

BY: \_\_\_\_\_  
DEPUTY

**AZTEC** CONSULTANTS, INC.  
300 East Mineral Ave., Suite 1  
Littleton, Colorado 80122  
Phone: (303) 713-1898  
Fax: (303) 713-1897  
www.aztecconsultants.com  
AzTec Proj. No.: 54822-16  
Drawn By: RBA

DATE OF PREPARATION:	08-12-2022
SCALE:	N/A
SHEET 1 OF 6	



# OXENFREE AT WELBY

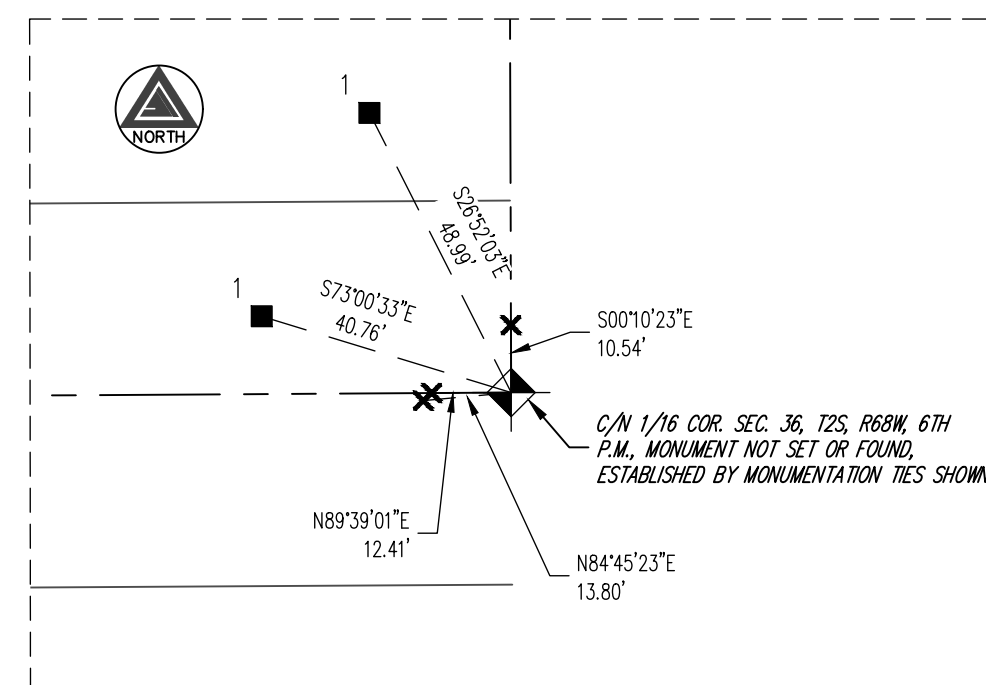
A PARCEL LOCATED IN THE NORTH HALF OF THE NORTHWEST QUARTER  
OF SECTION 36, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 2 OF 6

## GENERAL NOTES

- BEARINGS SHOWN HEREON ARE GRID BEARINGS DERIVED FROM GPS OBSERVATION BASED UPON THE COLORADO COORDINATE SYSTEM OF 1983 NORTH ZONE (NAD 83, 2011) REFERENCED TO THE NORTH LINE OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 2 SOUTH, RANGE 68 WEST, SIXTH PRINCIPAL MERIDIAN BEING MONUMENTED AS SHOWN HEREON, TAKEN TO BEAR NORTH 89°30'16" EAST, A DISTANCE OF 1,307.22 FEET.
- THE POLICY OF THE COUNTY REQUIRES THAT MAINTENANCE ACCESS SHALL BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO MAINTAIN SAID FACILITIES, THE COUNTY SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE SOLE PURPOSE OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNERS.
- ANY PERSON WHO KNOWINGLY REMOVES OR KNOWINGLY CAUSES TO BE REMOVED ANY PUBLIC LAND SURVEY MONUMENT, AS DEFINED BY SECTION 38-53-103 (18), C.R.S., OR CONTROL CORNER, AS DEFINED IN SECTION 38-53-103 (6), C.R.S., OR A RESTORATION OF ANY SUCH MONUMENT OR WHO KNOWINGLY REMOVES OR KNOWINGLY CAUSES TO BE REMOVED ANY BEARING TREE KNOWING SUCH IS A BEARING TREE OR OTHER ACCESSORY, AS DEFINED BY SECTION 38-53-103 (1), C.R.S., EVEN IF SAID PERSON HAS TITLE TO THE LAND ON WHICH SAID MONUMENT OR ACCESSORY IS LOCATED, COMMITS A CLASS 2 MISDEMEANOR UNLESS, PRIOR TO SUCH REMOVAL, SAID PERSON HAS CAUSED A COLORADO PROFESSIONAL LAND SURVEYOR TO ESTABLISH AT LEAST TWO WITNESS CORNERS OR REFERENCE MARKS FOR EACH SUCH MONUMENT OR ACCESSORY REMOVED AND HAS FILED OR CAUSED TO BE FILED A MONUMENT RECORD PURSUANT TO ARTICLE 53 OF TITLE 38, C.R.S.
- AZTEC CONSULTANTS, INC. HAS RELIED UPON THE PROPERTY INFORMATION COMMITMENT NO. 21000310421a PREPARED BY STEWART TITLE GUARANTY COMPANY, DATED MARCH 15, 2023, 5:30 P.M., FOR OWNERSHIP AND FOR THE PURPOSE OF SHOWING RECORDED EASEMENTS AND RIGHTS-OF-WAY ACROSS THESE PREMISES. THIS SURVEY AND PLAT DOES NOT CONSTITUTE A TITLE SEARCH BY AZTEC CONSULTANTS, INC., TO DETERMINE OWNERSHIP OF EXISTING EASEMENTS AND RIGHTS-OF-WAY.
- DISTANCES ON THIS PLAT ARE GROUND DISTANCES EXPRESSED IN U.S. SURVEY FEET AND DECIMALS THEREOF. A U.S. SURVEY FOOT IS DEFINED AS EXACTLY 1200/3937 METERS.
- THE SURVEYED PROPERTY SHOWN HEREIN LIES WITHIN OTHER AREAS - ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP INDEX NO. 08001C0604H, MAP REVISED MARCH 5, 2007.
- ALL LOTS ARE SUBJECT TO THE UTILITY EASEMENTS AS SHOWN HEREON.
- SURFACED ACCESS ROADS CAPABLE OF WITHSTANDING THE IMPOSED LOADS OF FIRE APPARATUS AND ALL REQUIRED FIRE HYDRANTS SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING CONSTRUCTION.
- ALL INTERNAL ROADS AND DRAINAGE FACILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH STREET CONSTRUCTION PLANS, PAVEMENT DESIGN, GRADING & EROSION CONTROL PLAN, AND A FINAL DRAINAGE PLAN SUBMITTED TO AND APPROVED BY ADAMS COUNTY.
- ALL THE PRIVATE ACCESSES WITHIN THE ACCESS EASEMENTS SHOWN HEREON WILL BE OWNED AND MAINTAINED BY THE OWNER, ITS SUCCESSOR'S AND ASSIGNS.
- NOTICE IS HEREBY GIVEN THAT THIS SUBDIVISION MAY BE SUBJECT TO A RECORDED DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS. ADAMS COUNTY IS NOT RESPONSIBLE FOR ENFORCEMENT OF THESE RECORDED COVENANTS, CONDITIONS, AND RESTRICTIONS THAT MAY BE FILED AGAINST THIS SUBDIVISION PLAT.
- THIS PLAN HAS BEEN APPROVED BY ADAMS COUNTY AND CREATES A VESTED PROPERTY RIGHT PURSUANT TO C.R.S. 24-68-101, ET SEQ., AS AMENDED, AND THE ADAMS COUNTY DEVELOPMENT STANDARDS AND REGULATIONS.
- UTILITY EASEMENTS AS SHOWN HEREON, ARE DEDICATED FOR ELECTRIC, GAS, TELEVISION CABLE, AND TELECOMMUNICATIONS FACILITIES. THE HOME OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE WITHIN THE EASEMENT EXCEPT THAT PORTION WITHIN THE PRIVATE ALLEY TRACT WHERE APPLICABLE. THE PRIVATE ALLEY TRACTS WILL BE MAINTAINED BY THE OWNER. PUBLIC SERVICE COMPANY REQUESTS THESE UTILITY EASEMENTS BE DEDICATED TO ADAMS COUNTY FOR THE BENEFIT OF THE APPLICABLE UTILITY PROVIDERS FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF ELECTRIC, GAS, TELEVISION, CABLE, AND TELECOMMUNICATIONS FACILITIES (DRY UTILITIES). UTILITY EASEMENTS SHALL ALSO BE GRANTED WITHIN ANY ACCESS EASEMENTS AND PRIVATE STREETS IN THE SUBDIVISION. PERMANENT STRUCTURES, IMPROVEMENTS, OBJECTS, BUILDINGS, WELLS, WATER METERS AND OTHER OBJECTS THAT MAY INTERFERE WITH THE UTILITY FACILITIES OR USE THEREOF (INTERFERING OBJECTS) SHALL NOT BE PERMITTED WITHIN SAID UTILITY EASEMENTS AND THE UTILITY PROVIDERS, AS GRANTEEES, MAY REMOVE ANY INTERFERING OBJECTS AT NO COST TO SUCH GRANTEEES, INCLUDING, WITHOUT LIMITATION, VEGETATION. WET UTILITIES (WATER, SANITARY SEWER, AND/OR STORM SEWER) SHALL CROSS DRY UTILITY EASEMENTS AT NEAR RIGHT ANGLES.

## LAND SUMMARY CHART

TRACT	AREA (S.F.±)	AREA (AC)	USE	OWNER
A	2,915	0.067	OPEN SPACE	COSIMI FARMS, LP
B	34,959	0.803	OPEN SPACE, DRAINAGE	COSIMI FARMS, LP
C	5,381	0.124	OPEN SPACE, UTILITIES, DRAINAGE	COSIMI FARMS, LP
D	112,644	2.586	OPEN SPACE, DRAINAGE	COSIMI FARMS, LP
*THIS SUBDIVISION PLAT CONTAINS 9 SUPER LOTS AND 4 TRACTS				
TOTAL TRACT AREA	155,899	3.580		
TOTAL LOT AREA	745,235	17.107		
TOTAL ROW AREA	245,236	5.630		
TOTAL SITE AREA	1,146,370	26.317		



DETAIL "A"  
SCALE: 1" = 30'

## DETAIL A MONUMENT SYMBOL LEGEND

- 1 ■ DEFINED EDGE OF CONCRETE PER MONUMENT RECORD DATED JUNE 04, 1987 FILED BY CHARLES H. RUSSELL
- ✕ CHISELED CROSS IN HEADWALL

FOR REVIEW

FOR AND ON BEHALF OF  
AZTEC CONSULTANTS, INC

**AZTEC**  
CONSULTANTS, INC.  
300 East Mineral Ave., Suite 1  
Littleton, Colorado 80122  
Phone: (303) 713-1898  
Fax: (303) 713-1897  
www.aztecconsultants.com  
AzTec Proj. No.: 54822-16  
Drawn By: RBA

DATE OF PREPARATION:	08-12-2022
SCALE:	N/A
SHEET 2 OF 6	

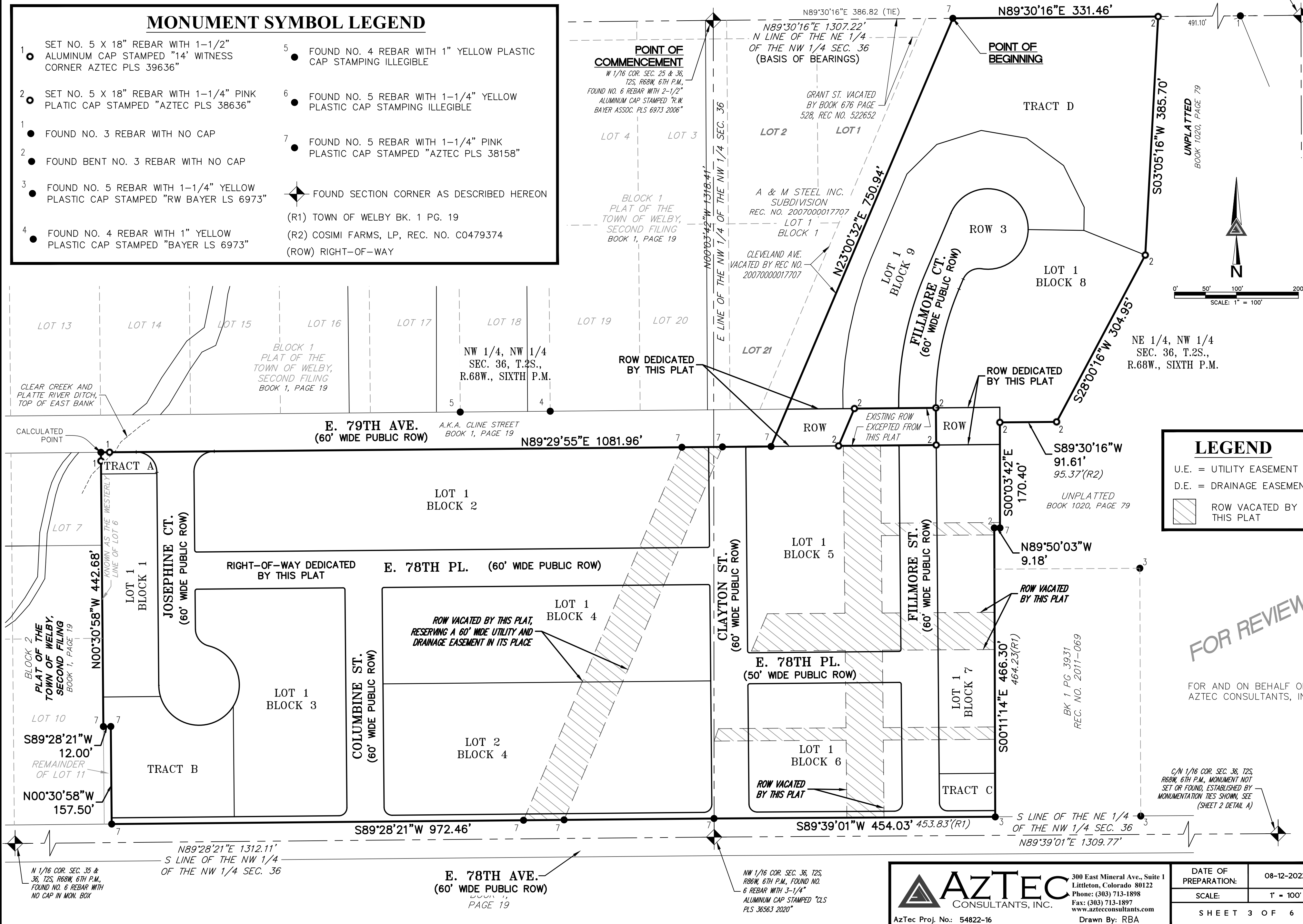
# OXENFREE AT WELBY

A PARCEL LOCATED IN THE NORTH HALF OF THE NORTHWEST QUARTER  
OF SECTION 36, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 3 OF 6

CASE NO. PRC2022-00013

## MONUMENT SYMBOL LEGEND

- |                                                                                                 |                                                                              |
|-------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------|
| 1 ● SET NO. 5 X 18" REBAR WITH 1-1/2" ALUMINUM CAP STAMPED "14" WITNESS CORNER AZTEC PLS 39636" | 5 ● FOUND NO. 4 REBAR WITH 1" YELLOW PLASTIC CAP STAMPING ILLEGIBLE          |
| 2 ● SET NO. 5 X 18" REBAR WITH 1-1/4" PINK PLATIC CAP STAMPED "AZTEC PLS 38636"                 | 6 ● FOUND NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPING ILLEGIBLE      |
| 1 ● FOUND NO. 3 REBAR WITH NO CAP                                                               | 7 ● FOUND NO. 5 REBAR WITH 1-1/4" PINK PLASTIC CAP STAMPED "AZTEC PLS 38158" |
| 2 ● FOUND BENT NO. 3 REBAR WITH NO CAP                                                          | ◆ FOUND SECTION CORNER AS DESCRIBED HEREON                                   |
| 3 ● FOUND NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "RW BAYER LS 6973"                 | (R1) TOWN OF WELBY BK. 1 PG. 19                                              |
| 4 ● FOUND NO. 4 REBAR WITH 1" YELLOW PLASTIC CAP STAMPED "BAYER LS 6973"                        | (R2) COSIMI FARMS, LP, REC. NO. C0479374                                     |
|                                                                                                 | (ROW) RIGHT-OF-WAY                                                           |



**LEGEND**

U.E. = UTILITY EASEMENT  
D.E. = DRAINAGE EASEMENT

ROW VACATED BY THIS PLAT

**FOR REVIEW**

FOR AND ON BEHALF OF  
AZTEC CONSULTANTS, INC

C/N 1/16 COR. SEC. 36, T2S, R68W, 6TH P.M., MONUMENT NOT SET OR FOUND, ESTABLISHED BY MONUMENTATION TIES SHOWN, SEE (SHEET 2 DETAIL A)

**AZTEC**  
CONSULTANTS, INC.

300 East Mineral Ave., Suite 1  
Littleton, Colorado 80122  
Phone: (303) 713-1898  
Fax: (303) 713-1897  
www.aztecconsultants.com

AzTec Proj. No.: 54822-16  
Drawn By: RBA

DATE OF PREPARATION:	08-12-2022
SCALE:	1" = 100'
SHEET 3 OF 6	

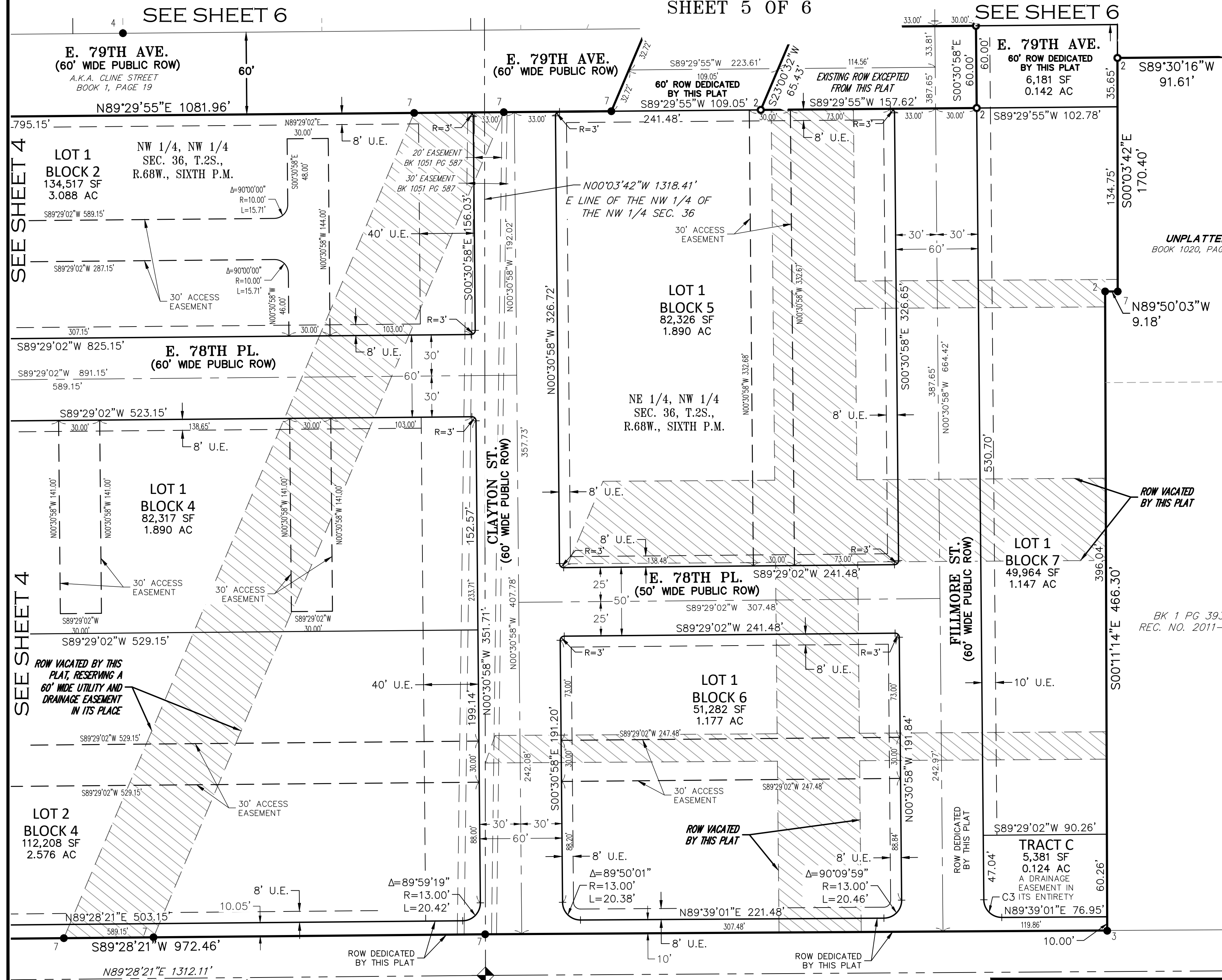




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OF SECTION 36, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 5 OF 6

CASE NO. PRC2022-00013

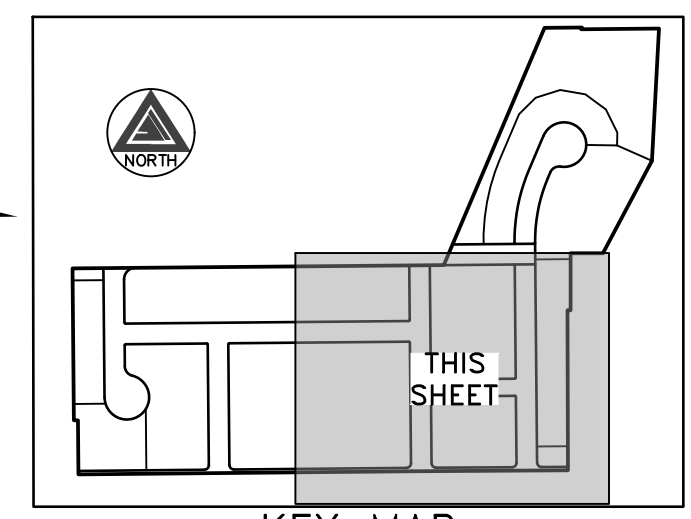


SEE SHEET 4

SEE SHEET 6

SEE SHEET 4

SEE SHEET 4



KEY MAP  
N.T.S.

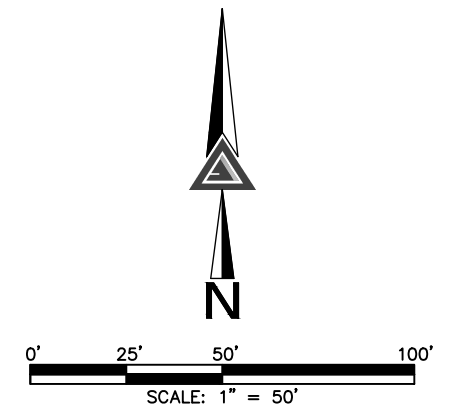
UNPLATTED  
BOOK 1020, PAGE 79

SEE SHEET 3  
FOR MONUMENT  
LEGEND

SEE SHEET 6  
FOR LINE  
AND CURVE  
TABLES

**LEGEND**

- U.E. = UTILITY EASEMENT
- D.E. = DRAINAGE EASEMENT
- ROW VACATED BY THIS PLAT



FOR REVIEW

FOR AND ON BEHALF OF  
AZTEC CONSULTANTS, INC

N89°28'21"E 1312.11'  
S LINE OF THE NW 1/4 OF THE NW 1/4 SEC. 36

NW 1/16 COR. SEC. 36, T2S, R68W,  
6TH P.M., FOUND NO. 6 REBAR  
WITH 3-1/4" ALUMINUM CAP  
STAMPED "OLS PLS 36563 2020"

E. 78TH AVENUE  
(60' WIDE PUBLIC ROW)

**AZTEC**  
CONSULTANTS, INC.

300 East Mineral Ave., Suite 1  
Littleton, Colorado 80122  
Phone: (303) 713-1898  
Fax: (303) 713-1897  
www.aztecconsultants.com  
Drawn By: RBA

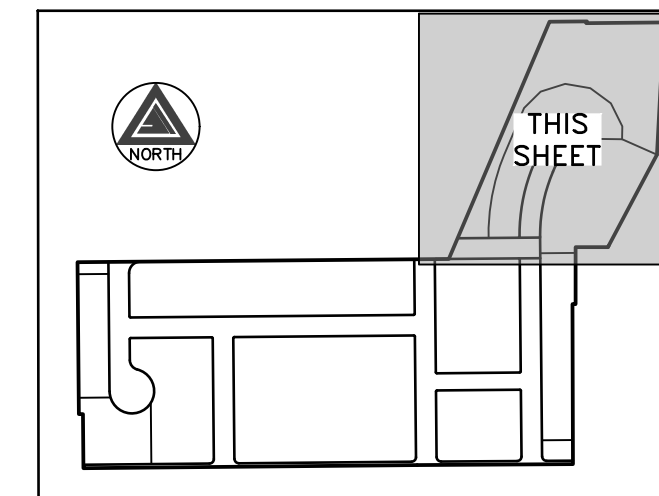
AzTec Proj. No.: 54822-16

DATE OF PREPARATION:	08-12-2022
SCALE:	1" = 50'
SHEET 5 OF 6	

# OXENFREE AT WELBY

A PARCEL LOCATED IN THE NORTH HALF OF THE NORTHWEST QUARTER  
OF SECTION 36, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 6 OF 6

CASE NO. PRC2022-00013



KEY MAP  
N.T.S.

CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C1	89°59'59"	33.00'	51.84'
C3	89°50'01"	13.00'	20.38'

UNPLATTED  
BOOK 1020, PAGE 79

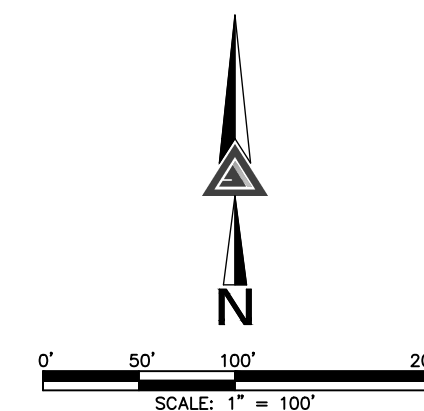
NE 1/4, NW 1/4  
SEC. 36, T.2S.,  
R.68W., SIXTH P.M.

SEE SHEET 3  
FOR MONUMENT  
LEGEND

## LEGEND

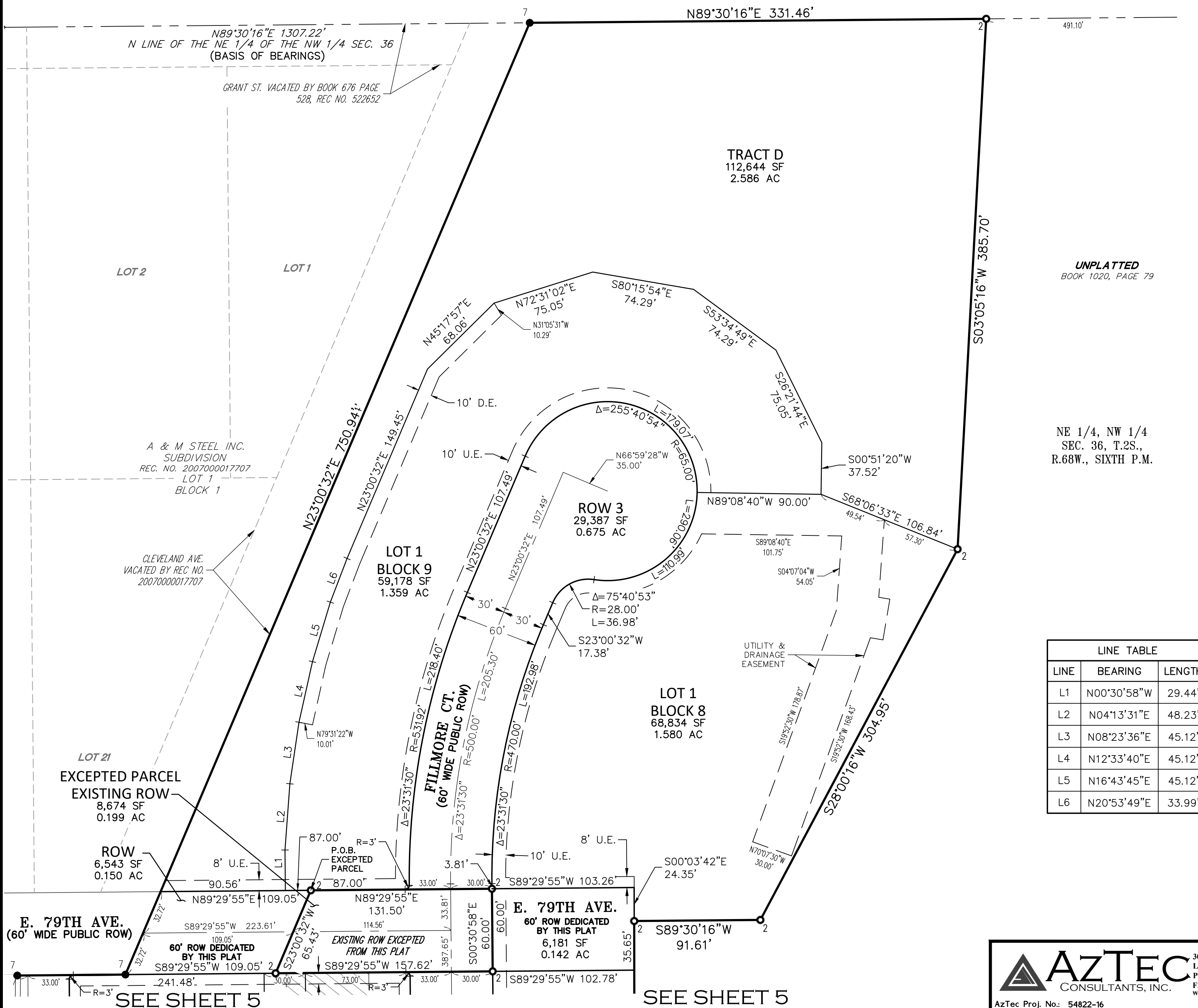
- U.E. = UTILITY EASEMENT
- D.E. = DRAINAGE EASEMENT
- ROW VACATED BY THIS PLAT

LINE TABLE		
LINE	BEARING	LENGTH
L1	N00°30'58"W	29.44'
L2	N04°13'31"E	48.23'
L3	N08°23'36"E	45.12'
L4	N12°33'40"E	45.12'
L5	N16°43'45"E	45.12'
L6	N20°53'49"E	33.99'



FOR REVIEW

FOR AND ON BEHALF OF  
AZTEC CONSULTANTS, INC



**AZTEC**  
CONSULTANTS, INC.

300 East Mineral Ave., Suite 1  
Littleton, Colorado 80122  
Phone: (303) 713-1898  
Fax: (303) 713-1897  
www.aztecconsultants.com

AzTec Proj. No.: 54822-16

Drawn By: RBA

DATE OF PREPARATION:	08-12-2022
SCALE:	1" = 50'
SHEET 6 OF 6	

# Fire Protection Report

**Cosimi Farms  
Adams County**

Prepared for:

**Core Spaces**

1647 N. Milwaukee Ave., 5<sup>th</sup> Floor  
Chicago, IL 60647  
Tel: 773.969.5740  
Contact: Ms. Allison Stavish

Prepared by:



August 15th, 2022



Project No. 21027

TABLE OF CONTENTS

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    A. Location.....3  
    B. Description of Property.....3

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IX. References .....6

X. Appendix .....7  
    A. Vicinity Map  
    B. Proposed Street Sections  
    C. Hydrant Flow Tests  
    D. Existing Utility Layout  
    E. Water Only Sheets

## General Location and Description

### A. Location

The Cosimi Farms community (hereafter referred to as the “Site”) is bound by East 79<sup>th</sup> Avenue and Niver Creek to the north, East 78<sup>th</sup> Avenue to the south, Assumption of the Blessed Virgin Mary Catholic Church to the west, and Mr. Yamashita’s agricultural property, Parcel No. 0171936200026, to the east. The Site is also bisected by Cleveland Street.

The Site is located in the north half of the northwest quarter of section 36, township 2 south, range 68 west of the sixth principal meridian, in Unincorporated Adams County, State of Colorado.

Cosimi Farms is more specifically located approximately 350 LF east from the intersection of W. 78<sup>th</sup> Ave. and Yark Street.

### B. Description of Property

The overall Cosimi Farms project consists of approximately 28.065 acres. The Site was formerly owned and operated by Cosimi Farms LP, at 2401 E 78<sup>th</sup> Ave, Denver CO 80229.

The proposed development of the Site is planned around an urban design concept which incorporates a pedestrian friendly neighborhood area. The proposed land use for the Site shall consist of up to 223 units. This will include a mixture of front/rear loaded single-family homes, alley loaded 3-story townhomes, and rear loaded duplexes. In addition to the residential use on this property, a 0.92 acre tract will be dedicated at the southwest corner of E. 78<sup>th</sup> Avenue and the Assumption of the Blessed Virgin Mary Catholic Church for a future pocket park, and a 1.57 acre tract will be dedicated at the northwest corner of the site for an amenity building.

## Emergency Access

### Fire Access Roads

Fire apparatus access road widths meeting the requirements of the International Fire Code (2021 Edition) are proposed throughout the development to provide access to proposed buildings/structures on the Site. Public and Private roads have been designed to meet these requirements to access all portions of the proposed buildings within 150 feet of the exterior walls measured to the first story of the building as required per the fire code. Please refer to Appendix B for the Proposed Street Sections that are consistent with the Administrative Agreement/Development Agreement (AADA)).

In accordance with the 2021 International Fire Code section 503.2.4, all on-site roads and entrances to the development will be designed to provide adequate turning radii and conform to minimum turning radii requirements per Adams County Standards and Specifications. Fire access exhibits will be prepared and submitted with future Cosimi Farms (FDP) and Final Plat submittals. These exhibits will utilize the ladder truck dimensions and turning radius information

provided by the Adams County Fire District to provide adequate turning radii for fire trucks. These exhibits will be prepared using “AutoTurn” software.

**Dead Ends**

Dead-End fire apparatus access roads in excess of 150 feet in length will be designed with a minimum 60-foot turn around and 120-foot hammerhead in accordance with section D103.4 of the Fire Code. There are no dead ends proposed over 750 feet in length. Dead ends in excess of 150 feet where fire apparatus access has not been provided within proposed private alleys meet the 150 distance requirement from the surrounding or adjacent public street which meets the fire access requirement.

**TABLE D103.4  
REQUIREMENTS FOR DEAD-END FIRE  
APPARATUS ACCESS ROADS**

<b>LENGTH (feet)</b>	<b>WIDTH (feet)</b>	<b>TURNAROUNDS REQUIRED</b>
0–150	20	None required
151–500	20	120-foot Hammerhead, 60-foot “Y” or 96-foot-diameter cul-de-sac in accordance with Figure D103.1
501–750	26	120-foot Hammerhead, 60-foot “Y” or 96-foot-diameter cul-de-sac in accordance with Figure D103.1
Over 750	Special approval required	

**Aerial Apparatus Access**

Per the International Fire Code as amended (section 503.2.1.1), buildings or portions of buildings or facilities exceeding 30 feet in height above the lowest level of fire department vehicle access shall be provided with at least one approved fire apparatus access road capable of accommodating fire department aerial apparatus during firefighting operations. Overhead utility and power lines shall not be located within the aerial fire apparatus access roadway. Per the International Fire Code as amended (Section 503.2.1.1.1), designated aerial fire apparatus access roads shall have a minimum unobstructed width of 26 feet. Private alleys providing aerial fire apparatus access will have a paved width also of 26 feet.

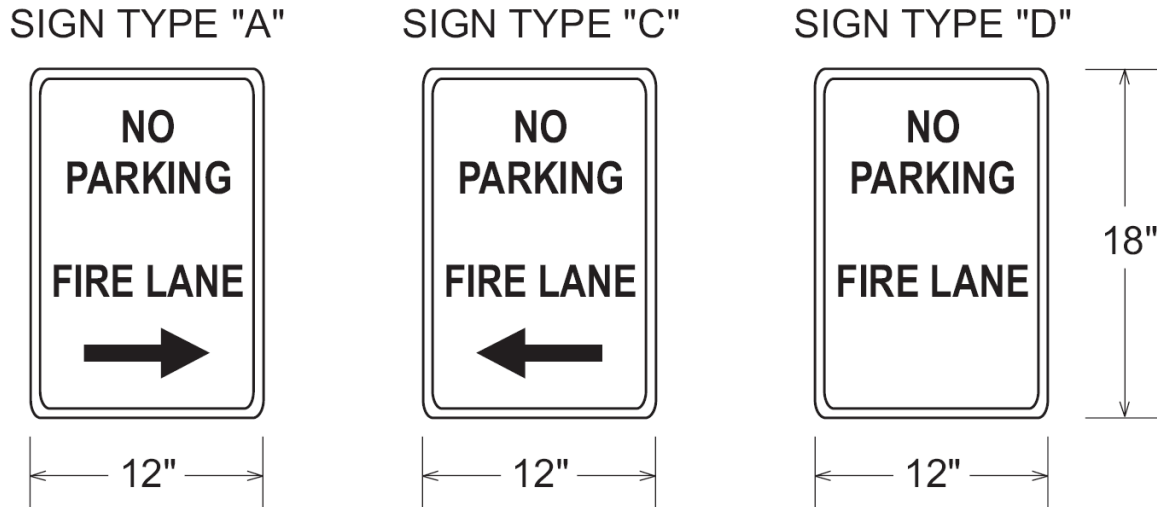
Per the International Fire Code as amended (503.2.1.1.2), the centerline of designated aerial fire apparatus access roads shall be located no less than 15 feet from the roofline of the building, and shall be positioned parallel to the longest side of the building unless as otherwise approved. The



maximum distance shall allow a 65 –foot ladder to reach the roof of the building, where the base of the ladder is 8 feet above the ground.

**Access Signage**

Fire apparatus access roads will be permanently signed and/or marked “NO PARKING-FIRE LANE” in accordance with municipal sign/traffic standards and the following specifications:



**FIGURE D103.6  
FIRE LANE SIGNS**

- A. There will be no parking for a distance of 15 feet on either side of a fire hydrant.
- B. Access roads at least 26 feet wide but less than 32 feet wide will be marked as fire lanes on both sides of the road.

**Water Supply and Distribution**

**Water Service Provider**

All water for the Cosimi Farms community will be supplied by the North Washington Street Water and Sanitation District. The district currently owns, maintains and operates one 8” waterline along E. 79<sup>th</sup> Avenue to the east past Cleveland Street to the end of E. 79<sup>th</sup> Avenue and directly south to E. 78<sup>th</sup> Avenue, a 8” waterline along E. 78<sup>th</sup> Avenue from York Street to Steele Street. The development is anticipated to consist of 6” and 8” waterlines within all local public streets. Please refer to Appendix D for a map depicting the existing water infrastructure currently installed and Appendix E for the proposed water infrastructure to be constructed.

## Flow Requirements

For the Cosimi Farms application the maximum total floor area for the largest single dwelling units is not anticipated to exceed 3,600 square feet, the largest residential building will not exceed 6 units and 7,056 square feet, and the largest overall building will be the amenity building not anticipated to exceed 23,000 square feet. Assuming the amenity building will be sprinklered, and according to the fire-flow requirements stated in table B105.1 (1) and B105.1 (2) of the International Fire Code, a flow rate of at least 2,000 gallons per minute will need to be provided. Per the recently adopted 2021 International Fire Code, all attached units will have fire sprinklers installed.

Please refer to Appendix C for the existing fire flow test information on the adjacent water mains performed by North Washington Street Water and Sanitation District and Appendix D for exhibits showing the existing utility layout adjacent to the community. Proposed waterline and fire hydrant locations will be provided during the Final Development Plan submittal process for each phase.

## Hydrant Locations

Hydrant locations will be spaced according to the International Fire Code (IFC). Fire hydrants will be provided along fire apparatus access roads and public streets as required by the IFC. For the residential uses being proposed a minimum hydrant spacing of 500 feet is anticipated with a maximum distance of 250 feet of coverage to any point on a street or road frontage in accordance with Table C105.1 of the IFC. (Refer to Water Only sheets in Appendix). Existing hydrants located along of E. 78<sup>th</sup> and 79<sup>th</sup> Avenue will be considered in determining adequate coverage provided based on the proposed hydrant spacing. Construction Documents will be submitted during the Final Development Plan submittal process for each phase of development that will illustrate the proposed location and spacing of each hydrant throughout the community.

## Construction Type

The maximum height of the single-family homes will be outlined in the approved Administrative Agreement / Development Agreement (AADA) for the Cosimi Farms project. The materials used for construction will likely consist of natural or recycled material consistent with a built-green and sustainable theme throughout the development. This would classify the construction type as either Type IV and/or Type V construction.

## References

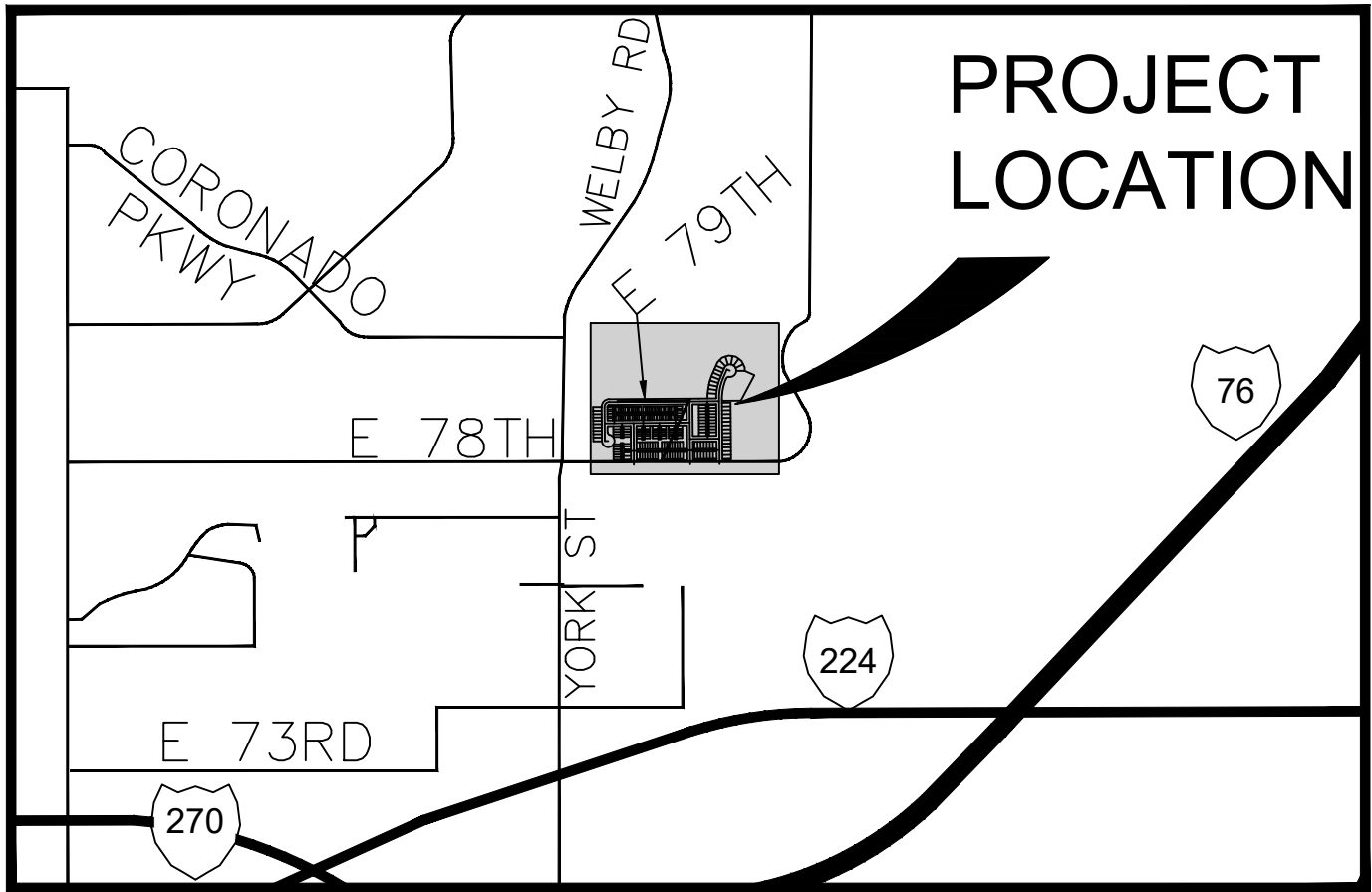
### REFERENCES

1. *Adams County Design and Technical Criteria, Dated December 8, 2020*
2. *2021 International Fire Code, Dated September 2020*

## Appendix A - Vicinity Map



I:\2021\21027 - Cosimi Farms\CADD\Working\1\Fire\_Report\21027 - Vicinity Map.dwg - tab: VM\_8X11\_Aug\_09\_2022 - 8:31am - lludwio



### VICINITY MAP

1" = 2000'



## VICINITY MAP

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# COSIMI FARMS

ADAMS COUNTY

CO

DATE 2022-08-15

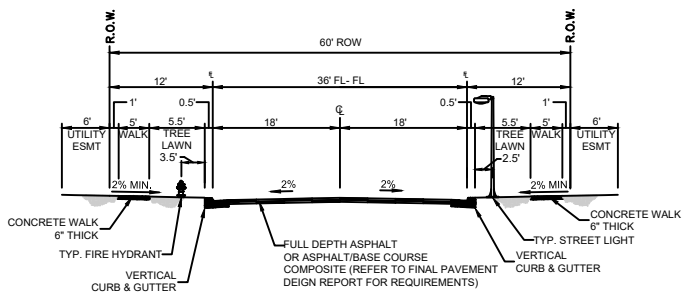
PROJ. NO. 21027

SHEET

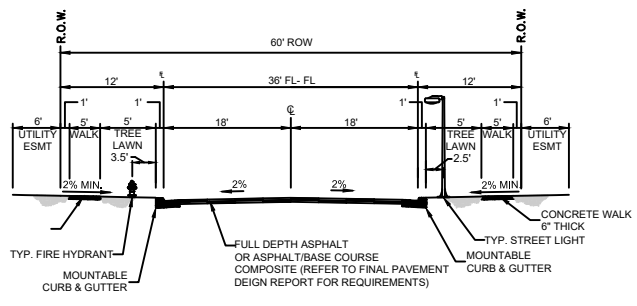
# VIC

## Appendix B - Proposed Street Sections

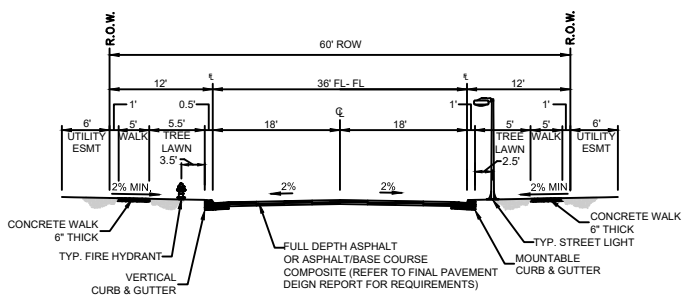
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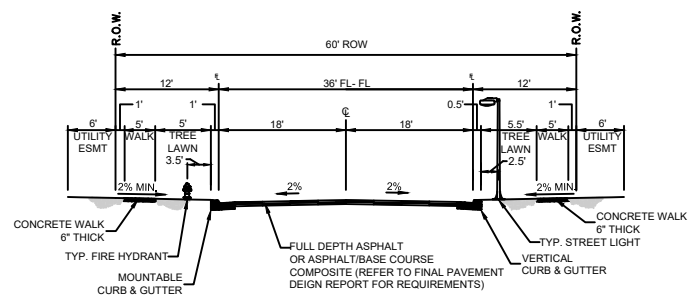
STANDARD LOCAL STREET (60' R.O.W.)  
VERTICAL CURB  
N.T.S.



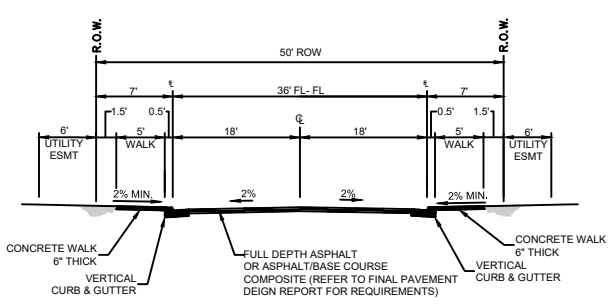
LOCAL STREET (60' R.O.W.)  
MOUNTABLE CURB  
STREET E  
N.T.S.



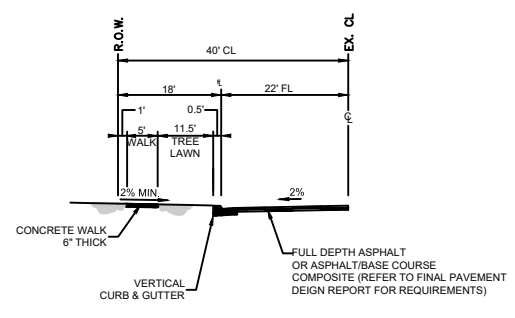
LOCAL STREET (60' R.O.W.)  
MOUNTABLE AND VERTICAL CURB  
STREET E  
N.T.S.



LOCAL STREET (60' R.O.W.)  
MOUNTABLE AND VERTICAL CURB  
79TH AVE  
N.T.S.



WALK ATTACHED LOCAL STREET (50' R.O.W.)  
STREET D  
N.T.S.



78TH AVE (40' CL)  
N.T.S.



# STREET SECTIONS

## COSIMI FARMS

ADAMS COUNTY

CO

DATE 2022-08-15

PROJ. NO. 21027

SHEET

# SS

## Appendix C - Hydrant Flow Tests



NORTH WASHINGTON STREET WATER AND SANITATION DISTRICT  
3172 E. 78<sup>TH</sup> AVENUE  
DENVER, CO 80229  
303-288-6664

DATE: 7/15/22

REQUEST BY: \_\_\_\_\_

PHONE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

TEST ADDRESS: 2361 E. 78<sup>TH</sup> AVE

FIRE HYDRANT LOCATION:

FLOWED HYDRANT #1 STEEL LOCK - 2700 78<sup>TH</sup> AVE

GAUGED HYDRANT #2 ASSUMPTION CHURCH 2360 78<sup>TH</sup> AVE

STATIC PSI 120 RESIDUAL PSI 100

GPM 1405 @ 70 PSI

DONE BY: BRAD + HUGO

NORTH WASHINGTON STREET WATER AND SANITATION DISTRICT  
3172 E. 78<sup>TH</sup> AVENUE  
DENVER, CO 80229  
303-288-6664

DATE: 07/15/22

REQUEST BY: \_\_\_\_\_

PHONE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

TEST ADDRESS: 2505 E 79 AVE

FIRE HYDRANT LOCATION:

FLOWED HYDRANT #1 2505 E 79 AVE

GAUGED HYDRANT #2 2721 E 79

STATIC PSI 110 RESIDUAL PSI 105

GPM 1455 @ 75 PSI

DONE BY: Brad and Hugo

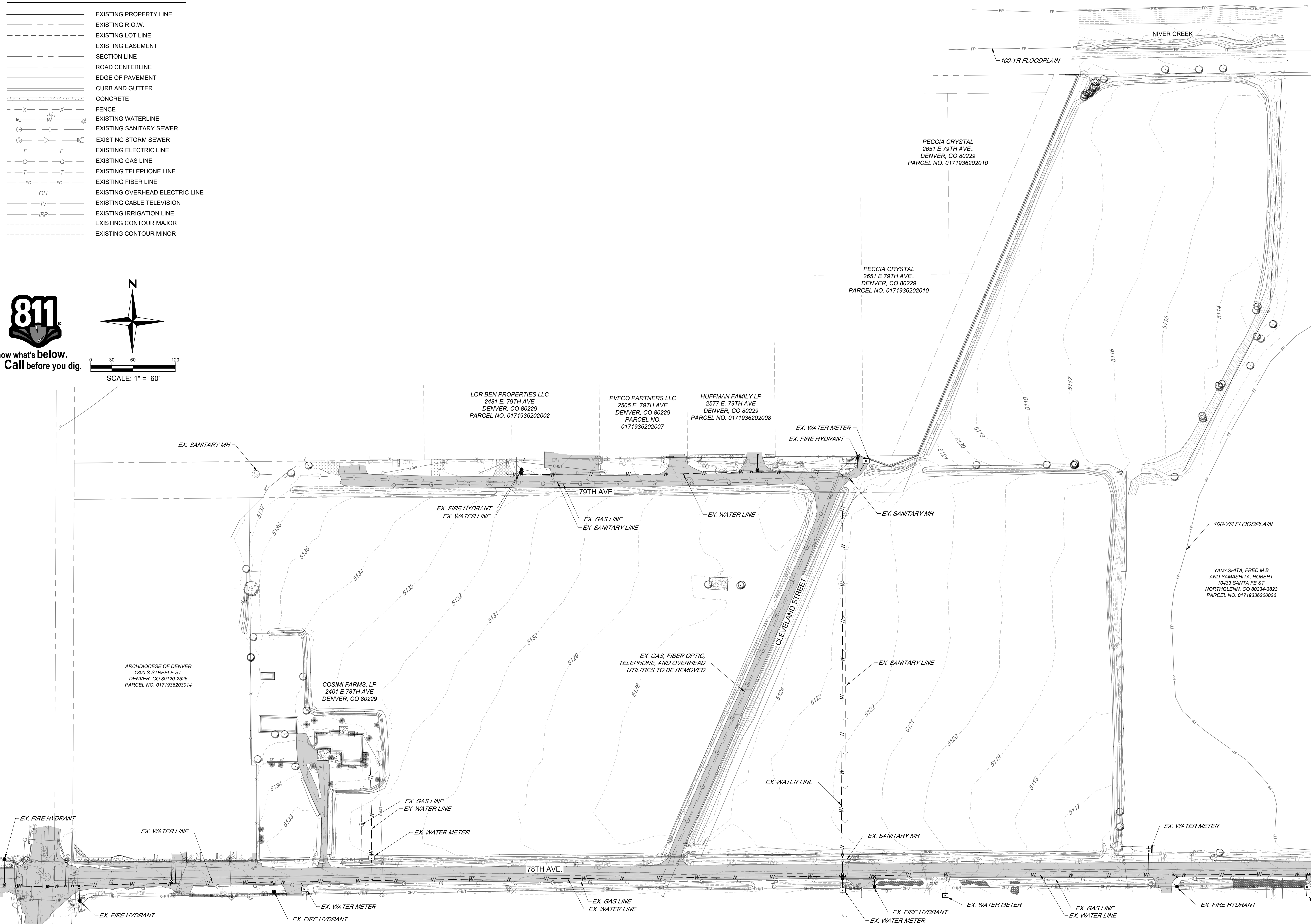
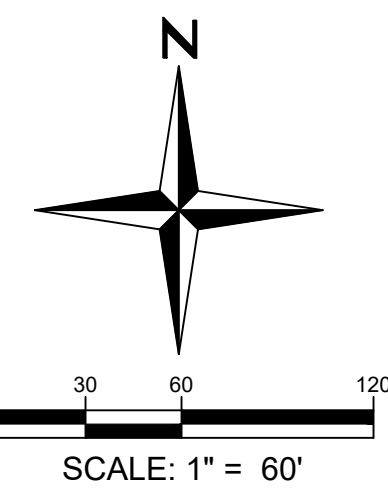
## Appendix D - Existing Utility Layout

**EXISTING LEGEND**

- EXISTING PROPERTY LINE
- EXISTING R.O.W.
- - - EXISTING LOT LINE
- - - EXISTING EASEMENT
- - - SECTION LINE
- ROAD CENTERLINE
- EDGE OF PAVEMENT
- CURB AND GUTTER
- CONCRETE
- X — FENCE
- EXISTING WATERLINE
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING ELECTRIC LINE
- EXISTING GAS LINE
- EXISTING TELEPHONE LINE
- EXISTING FIBER LINE
- OH — EXISTING OVERHEAD ELECTRIC LINE
- TV — EXISTING CABLE TELEVISION
- IRR — EXISTING IRRIGATION LINE
- - - EXISTING CONTOUR MAJOR
- - - EXISTING CONTOUR MINOR



Know what's below.  
Call before you dig.



LOR BEN PROPERTIES LLC  
2481 E. 79TH AVE  
DENVER, CO 80229  
PARCEL NO. 0171936202002

PVFCO PARTNERS LLC  
2505 E. 79TH AVE  
DENVER, CO 80229  
PARCEL NO. 0171936202007

HUFFMAN FAMILY LP  
2577 E. 79TH AVE  
DENVER, CO 80229  
PARCEL NO. 0171936202008

PECCIA CRYSTAL  
2651 E 79TH AVE.  
DENVER, CO 80229  
PARCEL NO. 0171936202010

PECCIA CRYSTAL  
2651 E 79TH AVE.  
DENVER, CO 80229  
PARCEL NO. 0171936202010

ARCHDIOCESE OF DENVER  
1300 S STREELE ST  
DENVER, CO 80120-2526  
PARCEL NO. 0171936203014

COSIMI FARMS, LP  
2401 E 78TH AVE  
DENVER, CO 80229

YAMASHITA, FRED M B  
AND YAMASHITA, ROBERT  
10433 SANTA FE ST  
NORTHGLENN, CO 80234-3823  
PARCEL NO. 01719336200026



DRAWN	CHECKED	APPROVED	PROJECT NO.	HORIZ. SCALE	VERT. SCALE

DATE	NO.	NOTES

**COSIMI FARMS**  
**EXISTING UTILITIES**  
ADAMS COUNTY, COLORADO

SHEET  
**E.U.**

I:\2021\12\1027 - Cosimi Farms\CADD\Working\LFire Report\02\027 - Existing Utilities.dwg Job: Layout Aug 09, 2022, 2:53pm lhdwlg



**Appendix E - Water Only Sheets**







**LEGAL DECRPTION**

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED WARRANT THEY ARE THE OWNERS OF A PARCEL OF LAND BEING LOTS 22 AND 23 BLOCK 1, LOTS 1-6 AND 11-17 BLOCK 2, LESS AND EXEPT THE WEST 12' OF THE SOUTH 157.5' OF LOT 11, LOTS 1-7 BLOCK 3, LOTS 1-15 BLOCK 4, LOTS 1-15 BLOCK 5, LOTS 1-14 BLOCK 6 ALONG WITH MCKINLEY AVENUE, PITKIN STREET AND CLEVELAND AVENUE SOUTH OF EAST 79TH AVENUE, ALL OF THE PLAT OF THE TOWN OF WELBY SECOND FILING RECORDED IN BOOK 1 PAGE 19 IN THE RECORDS OF THE CLERK AND RECORDER OF ADAMS COUNTY, STATE OF COLORADO, AND A UNPLATTED PARCEL OF LAND, LOCATED WITHIN THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 2 SOUTH, RANGE 68 WEST, OF THE SIXTH PRINCIPAL MERIDIAN, SAID COUNTY AND STATE, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST SIXTEENTH CORNER OF SECTIONS 25 AND 36, SAID TOWNSHIP AND RANGE, WHENCE THE NORTH LINE OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 36 BEARS NORTH 89°30'16" EAST, A DISTANCE OF 1307.22 FEET, ALL BEARINGS HEREON ARE REFERENCED THERETO;

THENCE ALONG SAID NORTH LINE, NORTH 89°30'16" EAST, A DISTANCE OF 386.82 FEET TO THE EASTERLY BOUNDARY OF THE VACATED CLEVELAND AVENUE BY THE A & M STEEL INC. SUBDIVISION RECORDED AT RECEPTION NO. 2007000017707 IN SAID RECORDS AND THE POINT OF BEGINNING;

THENCE CONTINUING ALONG SAID NORTH LINE, NORTH 89°30'16" EAST, A DISTANCE OF 331.46 FEET TO THE WESTERLY LINE OF DEED RECORDED IN BOOK 1020 PAGE 79;

THENCE ALONG SAID WESTERLY LINE THE FOLLOWING THREE (3) COURSES:

1. SOUTH 03°05'16" WEST, A DISTANCE OF 385.70 FEET;
2. SOUTH 28°00'16" WEST, A DISTANCE OF 304.95 FEET;
3. SOUTH 89°30'16" WEST, A DISTANCE OF 91.61 FEET TO THE EASTERLY BOUNDARY OF SAID PLAT OF THE TOWN OF WELBY, SECOND FILING;

THENCE ALONG SAID EASTERLY BOUNDARY OF SAID PLAT OF THE TOWN WELBY, SECOND FILING THE FOLLOWING FIVE (5) COURSES;

1. SOUTH 00°03'42" EAST, A DISTANCE OF 170.40 FEET;
2. NORTH 89°50'03" WEST, A DISTANCE OF 9.18 FEET;
3. SOUTH 00°11'14" EAST, A DISTANCE OF 466.30 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY O FEAST 78TH/ AVENUE;

THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY THE FOLLOWING TWO (2) COURSES;

1. SOUTH 89°39'01" WEST, A DISTANCE OF 454.03 FEET;
2. SOUTH 89°28'21" WEST, A DISTANCE OF 972.46 FEET;

THENCE DEPARTING SAID NORTHERLY RIGHT-OF-WAY, NORTH 00°30'58" WEST, A DISTANCE OF 157.50 FEET;

THENCE SOUTH 89°28'21" WEST, A DISTANCE OF 12.00 FEET TO THE WESTERLY BOUNDARY OF LOT 11 AS SHOWN ON SAID PLAT OF THE TOWN OF WELBY, SECOND FILING;

THENCE ALONG SAID WESTERLY BOUNDARY AND THE WESTERLY BOUNDARY OF LOT 6, AS SHOWN ON SAID PLAT OF THE TOWN OF WELBY, SECOND FILING, NORTH 00°30'58" WEST, A DISTANCE OF 442.68 FEET TO THE SOUTHERLY RIGHT-OF-WAY OF EAST 79TH/ AVENUE FORMALLY KNOWN AS CLINE STREET AS SHOWN ON SAID PLAT OF THE TOWN OF WELBY, SECOND FILING;

THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY, SOUTH 89°29'55" WEST, A DISTANCE OF 1081.96 FEET TO THE SOUTHERLY EXTENSION OF THE SOUTHEASTERLY BOUNDARY OF SAID VACATED CLEVELAND AVENUE;

THENCE ALONG SAID SOUTHERLY EXTENSION AND SOUTHEASTERLY BOUNDARY, NORTH 23°00'32" EAST, A DISTANCE OF 750.94 FEET TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM THAT PORTION OF EAST 79TH/ AVENUE FORMALLY KNOWN AS CLINE STREET DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE EASTERLY RIGHT-OF-WAY OF SAID DENVER LARAMIE AND NORTHWESTERN RAILWAY AND THE NORTHERLY RIGHT-OF-WAY OF SAID EAST 79TH/ AVENUE;

THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY, NORTH 89°29'55" EAST, A DISTANCE OF 131.50 FEET;

THENCE SOUTH 00°30'58" EAST, A DISTANCE OF 60.00 FEET TO THE SOUTHERLY RIGHT-OF-WAY OF SAID EAST 79TH AVENUE;

THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY, SOUTH 89°29'55" WEST, A DISTANCE OF 157.62 FEET TO SAID EASTERLY RIGHT-OF-WAY OF THE DENVER LARAMIE AND NORTHWESTERN RAILWAY

THENCE ALONG SAID EASTERLY RIGHT-OF-WAY NORTH 23°00'32" EAST, A DISTANCE OF 65.43 FEET TO THE POINT OF BEGINNING.

RESULTING IN A NET AREA OF 26.291 ACRES, (1,145,253 SQUARE FEET), MORE OR LESS.



August 9, 2022

Layla Bajelan  
Adams County- Planning & Development Department  
4430 S Adams County Parkway,  
Brighton, CO 80601

**Re: Cosimi Farms- Letter of Authorization**

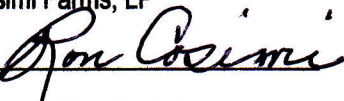
Ms. Bajelan:

This letter is being submitted on behalf of Cosimi Farms LP (2401 E 78th Ave), the "Property Owner", hereby authorizes Core Spaces, the "Applicant" and Norris Design, the "Applicant Representative", to submit planning and entitlement documents on behalf of the Property Owner.

Please note that, upon completion of the appropriate reviews and prior to submittal of approved documents, the Property Owner will sign the formal documents before any recordation of these documents will occur.

Sincerely,

Cosimi Farms, LP

By   
Ron Cosimi

# North Washington Street

## Water and Sanitation

### District

3172 E. 78<sup>th</sup> Avenue, Denver, CO 80229 303 / 288 – 6664

To Whom It May Concern:

Dear Sir/Madame:

The North Washington Street Water and Sanitation District (“District”) provides the following in response to your request for water and sanitary sewer service dated March 10<sup>st</sup> 2023 related to the property located at Cosimi Farms (“Property”). The District can provide water and sewer service to the Property based on conditions set forth herein. The following are general requirements for water and sanitary sewer service. The District Rules and Regulations and the standards and requirements of Denver Water and Metro Wastewater Reclamation District must be complied with as an on-going condition of service.

The subject Property is understood to be entirely within the service and boundary area of the District based on your assertions. The District makes no representation or warranty in regard to the Property boundaries and applicant is responsible for verification of same. If the Property is outside of the District’s boundaries, applicant is responsible for undertaking and paying all costs to include the Property within the District’s boundaries. Treatment of sewage generated within the District is provided by the Metro Wastewater Reclamation District. Treatment and provision of water within the District is provided by Denver Water. Conditions for water and sanitary service from the District include meeting the requirements contained herein and payment of all fees and costs as provided in District’s Rules and Regulations along with those of Denver Water and Metro Wastewater Reclamation District. Timing of water and sanitary availability is subject to further coordinated by the District.

Water and Sanitary availability are subject to review and acceptance of design documents from owner/developer of the Property, by the District. Appropriate right-of-way easements and agreements are required for all water and sanitary sewer extensions. Jurisdictional coordination, approvals, permitting, license agreements and easements are to be completed prior to acceptance of plans. All costs associated with collection and distribution system improvements required to serve the Property are the responsibility of the owner/developer including guarantee of improvements and warranty periods.

Receipt of service is also subject to all costs being paid by owner/developer for engineering, reviews, construction, observation, and inspections at the then current rate fee structure established by the District, including establishing an imprest account with the District as a deposit for such accounts. Please be aware that proper tap connection and development fees are required to be paid, at the most recent fee schedule, prior to connection to the District main.

A handwritten signature in blue ink, appearing to read "Mike DeMattee", with a long horizontal flourish extending to the right.

Mike DeMattee,  
District Manager

**School Impact Analysis  
Cosimi Farm  
Preliminary Development Plan & Preliminary Plat**

August 18, 2022

**Student Generation Calculations**

The proposed Cosimi Farm Preliminary Plat includes the following general estimate for student generation. Student quantities for Cosimi Farm are based on 123 single family detached and duplex residential units and 100 townhome units.

**Cosimi Farm - Student Generation Calculations**

	Homes	Population Multiplier (P/HH)	Population	Student Generation Multiplier (S/HH)	Students (total)	Elementary Students (50%)	Middle School Students (25%)	High School Students (25%)
<b>SFD</b>	123	3.278	403	0.775	95	47	24	24
<b>Townhome</b>	100	2.216	222	0.364	36	18	9	9

\*P/HH: Persons per House Hold

\*S/HH: Students per House Hold

There is currently no school site planned in the Cosimi Farm Development, it is anticipated the School District will accept a cash in-lieu of land dedication.

**Existing Mapleton School District Schools:**

Mapleton schools located nearest the site include: Welby Community School of the Arts (PK-6), Monterey Community School (K-8), Clayton Partnership School (K-8), Global Leadership Academy (9-12), Performing Arts School on Broadway (7-12), Mapleton Expeditionary School of the Arts (8-12) & Academy High School (9-12). These schools cover the entire age range of students; however the School District has a progressive approach to education and has a somewhat open enrollment option for families. Students will potentially have options for choosing their school(s).

Below is a full listing of schools in the District and their locations:

Academy High School (9- 12)  
8970 York Street  
Thornton, CO 80229  
303-853-1730

Mapleton Expeditionary School of the  
(7-12)  
8980 York Street  
Thornton, CO 80229  
303-853-1270

Achieve Academy at Bertha Heid (PK-8)  
9100 Poze Blvd.  
Thornton, CO 80229  
303-853-1300

Meadow Community School (PK-8)  
9150 Monroe Street  
Thornton, CO 80229  
303-853-1500



Adventure Elementary at Western Hills (PK-6)  
7700 Delta Street  
Denver, CO 80221  
303-853-1410

Clayton Partnership School (K-8)  
8970 York St.  
Thornton, CO 80229  
303-853-1460

Colorado Connections Academy  
Online K-12  
1-800-382-6010  
<http://www.connectionsacademy.com>

Explore Elementary (PK-6)  
2410 Poze Blvd.  
Thornton, CO 80229  
303-853-1170

Global Leadership Academy (PK-12)  
7480 Conifer Road  
Denver, CO 80221  
303-853-1930

Mapleton Early College High School (9-13)  
8980 York St.  
Thornton, CO 80229  
Phone: (303) 853-1960

Monterey Community School (PK-8)  
2201 McElwain Blvd.  
Denver, CO 80229  
303-853-1360

North Valley School for Young Adults  
8990 York St.  
Thornton, CO 80229  
303-853-1790

Valley View (K-8)  
660 West 70th Avenue  
Denver, CO 80221  
303-853-1560

Welby Montessori School (PK-6)  
1200 E. 78th Avenue  
Denver, CO 80229  
303-853-1700

York International School (K-12)  
9200 York Street  
Thornton, CO 80229  
303-853-1600

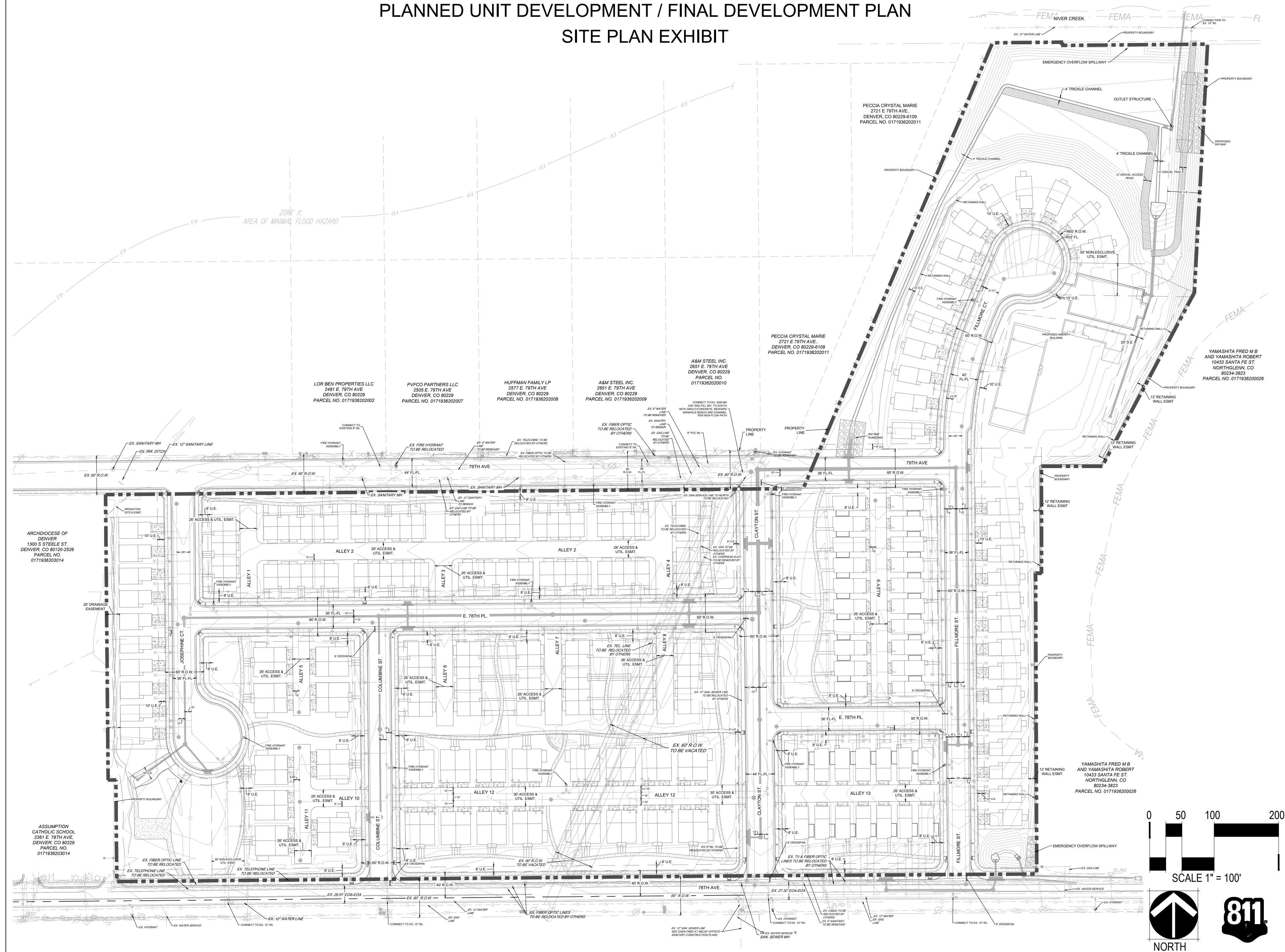
# OXENFREE AT WELBY

## IN THE COUNTY OF ADAMS, COLORADO

### PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN

#### SITE PLAN EXHIBIT

**NORRIS DESIGN**  
 PEOPLE + PLACEMAKING  
 1101 BANNOCK STREET  
 DENVER, CO 80204  
 P 303.892.1166  
 NORRIS-DESIGN.COM



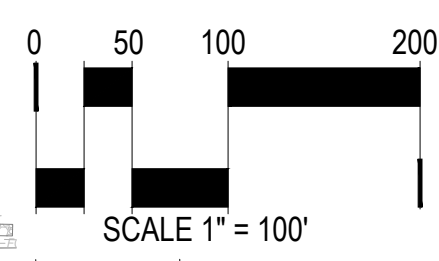
**OXENFREE AT WELBY**  
 PLANNED UNIT DEVELOPMENT / FINAL DEVELOPMENT PLAN  
 IN THE COUNTY OF ADAMS, COLORADO

OWNER:  
 COSMI FARMS LP  
 6728 SEVILLE PLACE NW  
 ALBUQUERQUE, NM 87120

NOT FOR CONSTRUCTION

DATE:  
 08/16/23-FDP/PUD\_01

SHEET TITLE:  
 SITE PLAN EXHIBIT



CHECKED BY: XX  
 DRAWN BY: XX



55 Madison Street, Suite 400  
Denver, CO 80206

**Date:** August 03, 2023  
**File Number:** 21000310421- Revision No. 9  
**Property:** 2401 East 78th Avenue, Denver, CO 80229

Please direct all Closing inquiries to:

Carma Weymouth  
Phone: (303) 780-4015  
Email Address: CWeymouth@stewart.com

**SELLER:**

Cosimi Farms, LP, a Colorado limited partnership  
Contact: Greg Cosimi  
Contact: Mark Cosimi  
Delivery Method: Emailed

**SELLER ATTORNEY:**

Watterson Law LLC  
905 W. 124th Ave., Suite 210  
Westminster, CO 80230  
Contact: Russ Watterson  
Email: russ@wattersonlaw.com  
Delivery Method: Emailed

**LISTING AGENT:**

CBRE, Inc.  
1225 17th Street, Suite 2950  
Denver, CO 80202  
Contact: Eric Roth  
Email: eric.roth@cbre.com  
Delivery Method: Emailed

Please direct all Title inquiries to:

Chesney Horn  
Phone: (303) 780-4006  
Email Address: Chesney.Horn@stewart.com

**BUYER:**

Core PBSFR Acquisition Vehicle, LLC, a Delaware limited liability company  
Contact: Ron Martin  
Contact: Shannon Roth  
Contact: Jim Fitzgerald  
Delivery Method: Emailed

**BUYER ATTORNEY:**

Core PBSFR Acquisition Vehicle, LLC  
1643 N. Milwaukee Avenue, 5th Floor  
Chicago, IL 60647  
Contact: Ron Martin  
Email: ronm@corespaces.com  
Contact: Adam Grant  
Email: adamg@corespaces.com  
Delivery Method: Emailed

Gould & Ratner LLP  
222 N. LaSalle St., Suite 300  
Chicago, IL 60601  
Contact: Jessica Lingertat  
Email: JLingertat@gouldratner.com  
Delivery Method: Emailed

**THIS REVISION OF THE TITLE COMMITMENT INCLUDES THE FOLLOWING CHANGES:**

Schedule A - Updated the effective date.  
Schedule B-I - None.  
Schedule B-II - None.

*We Appreciate Your Business and Look Forward to Serving You in the Future.*





**ALTA COMMITMENT FOR TITLE INSURANCE**

ISSUED BY  
STEWART TITLE GUARANTY COMPANY

**NOTICE**

**IMPORTANT - READ CAREFULLY:** THIS COMMITMENT IS AN OFFER TO ISSUE ONE OR MORE TITLE INSURANCE POLICIES. ALL CLAIMS OR REMEDIES SOUGHT AGAINST THE COMPANY INVOLVING THE CONTENT OF THIS COMMITMENT OR THE POLICY MUST BE BASED SOLELY IN CONTRACT.

THIS COMMITMENT IS NOT AN ABSTRACT OF TITLE, REPORT OF THE CONDITION OF TITLE, LEGAL OPINION, OPINION OF TITLE, OR OTHER REPRESENTATION OF THE STATUS OF TITLE. THE PROCEDURES USED BY THE COMPANY TO DETERMINE INSURABILITY OF THE TITLE, INCLUDING ANY SEARCH AND EXAMINATION, ARE PROPRIETARY TO THE COMPANY, WERE PERFORMED SOLELY FOR THE BENEFIT OF THE COMPANY, AND CREATE NO EXTRACTIONAL LIABILITY TO ANY PERSON, INCLUDING A PROPOSED INSURED.

THE COMPANY’S OBLIGATION UNDER THIS COMMITMENT IS TO ISSUE A POLICY TO A PROPOSED INSURED IDENTIFIED IN SCHEDULE A IN ACCORDANCE WITH THE TERMS AND PROVISIONS OF THIS COMMITMENT. THE COMPANY HAS NO LIABILITY OR OBLIGATION INVOLVING THE CONTENT OF THIS COMMITMENT TO ANY OTHER PERSON.

**COMMITMENT TO ISSUE POLICY**

Subject to the Notice; Schedule B, Part I - Requirements; Schedule B, Part II - Exceptions; and the Commitment Conditions, STEWART TITLE GUARANTY COMPANY, a Texas corporation (the “Company”), commits to issue the Policy according to the terms and provisions of this Commitment. This Commitment is effective as of the Commitment Date shown in Schedule A for each Policy described in Schedule A, only when the Company has entered in Schedule A both the specified dollar amount as the Proposed Policy Amount and the name of the Proposed Insured.

If all of the Schedule B, Part I - Requirements have not been met within six months after the Commitment Date, this Commitment terminates and the Company’s liability and obligation end.


Countersigned by:

  
Authorized Countersignature



  
Frederick H. Eppinger  
President and CEO

Stewart Title Guaranty Company  
55 Madison Street, Suite 400  
Denver, CO 80206  
(303) 331-0333  
Agent ID: 06J050

  
Denise Carraux  
Secretary

*This page is only a part of a 2016 ALTA® Commitment for Title Insurance. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I - Requirements; and Schedule B, Part II - Exceptions; and a countersignature by the Company or its issuing agent that may be in electronic form.*

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## COMMITMENT CONDITIONS

### 1. DEFINITIONS

- (a) "Knowledge" or "Known": Actual or imputed knowledge, but not constructive notice imparted by the Public Records.
- (b) "Land": The land described in Schedule A and affixed improvements that by law constitute real property. The term "Land" does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenues, alleys, lanes, ways, or waterways, but this does not modify or limit the extent that a right of access to and from the Land is to be insured by the Policy.
- (c) "Mortgage": A mortgage, deed of trust, or other security instrument, including one evidenced by electronic means authorized by law.
- (d) "Policy": Each contract of title insurance, in a form adopted by the American Land Title Association, issued or to be issued by the Company pursuant to this Commitment.
- (e) "Proposed Insured": Each person identified in Schedule A as the Proposed Insured of each Policy to be issued pursuant to this Commitment.
- (f) "Proposed Policy Amount": Each dollar amount specified in Schedule A as the Proposed Policy Amount of each Policy to be issued pursuant to this Commitment.
- (g) "Public Records": Records established under state statutes at the Commitment Date for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge.
- (h) "Title": The estate or interest described in Schedule A.

2. If all of the Schedule B, Part I - Requirements have not been met within the time period specified in the Commitment to Issue Policy, this Commitment terminates and the Company's liability and obligation end.

3. The Company's liability and obligation is limited by and this Commitment is not valid without:

- (a) the Notice;
- (b) the Commitment to Issue Policy;
- (c) the Commitment Conditions;
- (d) Schedule A;
- (e) Schedule B, Part I - Requirements;
- (f) Schedule B, Part II - Exceptions; and
- (g) a countersignature by the Company or its issuing agent that may be in electronic form.

### 4. COMPANY'S RIGHT TO AMEND

The Company may amend this Commitment at any time. If the Company amends this Commitment to add a defect, lien, encumbrance, adverse claim, or other matter recorded in the Public Records prior to the Commitment Date, any liability of the Company is limited by Commitment Condition 5. The Company shall not be liable for any other amendment to this Commitment.

### 5. LIMITATIONS OF LIABILITY

- (a) The Company's liability under Commitment Condition 4 is limited to the Proposed Insured's actual expense incurred in the interval between the Company's delivery to the Proposed Insured of the Commitment and the delivery of the amended Commitment, resulting from the Proposed Insured's good faith reliance to:
  - (i) comply with the Schedule B, Part I - Requirements;
  - (ii) eliminate, with the Company's written consent, any Schedule B, Part II - Exceptions; or
  - (iii) acquire the Title or create the Mortgage covered by this Commitment.
- (b) The Company shall not be liable under Commitment Condition 5(a) if the Proposed Insured requested the amendment or had Knowledge of the matter and did not notify the Company about it in writing.
- (c) The Company will only have liability under Commitment Condition 4 if the Proposed Insured would not have incurred the expense had the Commitment included the added matter when the Commitment was first delivered to the Proposed Insured.

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File No. 21000310421

ALTA Commitment For Title Insurance 8-1-16 (4-2-18)

Page 2 of 3



- (d) The Company's liability shall not exceed the lesser of the Proposed Insured's actual expense incurred in good faith and described in Commitment Conditions 5(a)(i) through 5(a)(iii) or the Proposed Policy Amount.
- (e) The Company shall not be liable for the content of the Transaction Identification Data, if any.
- (f) In no event shall the Company be obligated to issue the Policy referred to in this Commitment unless all of the Schedule B, Part I - Requirements have been met to the satisfaction of the Company.
- (g) In any event, the Company's liability is limited by the terms and provisions of the Policy.

**6. LIABILITY OF THE COMPANY MUST BE BASED ON THIS COMMITMENT**

- (a) Only a Proposed Insured identified in Schedule A, and no other person, may make a claim under this Commitment.
- (b) Any claim must be based in contract and must be restricted solely to the terms and provisions of this Commitment.
- (c) Until the Policy is issued, this Commitment, as last revised, is the exclusive and entire agreement between the parties with respect to the subject matter of this Commitment and supersedes all prior commitment negotiations, representations, and proposals of any kind, whether written or oral, express or implied, relating to the subject matter of this Commitment.
- (d) The deletion or modification of any Schedule B, Part II - Exception does not constitute an agreement or obligation to provide coverage beyond the terms and provisions of this Commitment or the Policy.
- (e) Any amendment or endorsement to this Commitment must be in writing and authenticated by a person authorized by the Company.
- (f) When the Policy is issued, all liability and obligation under this Commitment will end and the Company's only liability will be under the Policy.

**7. IF THIS COMMITMENT HAS BEEN ISSUED BY AN ISSUING AGENT**

The issuing agent is the Company's agent only for the limited purpose of issuing title insurance commitments and policies. The issuing agent is not the Company's agent for the purpose of providing closing or settlement services.

**8. PRO-FORMA POLICY**

The Company may provide, at the request of a Proposed Insured, a pro-forma policy illustrating the coverage that the Company may provide. A pro-forma policy neither reflects the status of Title at the time that the pro-forma policy is delivered to a Proposed Insured, nor is it a commitment to insure.

**9. ARBITRATION**

The Policy contains an arbitration clause. All arbitrable matters when the Proposed Policy Amount is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Proposed Insured as the exclusive remedy of the parties. A Proposed Insured may review a copy of the arbitration rules at <<http://www.alta.org/arbitration>>.

**STEWART TITLE GUARANTY COMPANY**

All notices required to be given the Company and any statement in writing required to be furnished the Company shall be addressed to it at P.O. Box 2029, Houston, Texas 77252-2029.

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File No. 21000310421

ALTA Commitment For Title Insurance 8-1-16 (4-2-18)

Page 3 of 3



**ALTA COMMITMENT FOR TITLE INSURANCE  
SCHEDULE A**

ISSUED BY  
STEWART TITLE GUARANTY COMPANY

**Transaction Identification Data for reference only:**

Issuing Agent: Stewart Title Guaranty Company  
Issuing Office: 55 Madison Street, Suite 400, Denver, CO 80206  
Issuing Office's ALTA® Registry ID: 1027978  
Loan ID Number: N/A  
Commitment Number: 21000310421  
Issuing Office File Number: 21000310421  
Property Address: 2401 East 78th Avenue, Denver, CO 80229  
Revision Number: 9

**1. Commitment Date:** July 28, 2023 at 5:30 P.M.

**2. Policy to be issued:** **Proposed Policy Amount**  
(a) ALTA Owner's Policy Extended \$12,500,000.00

Proposed Insured: Core PBSFR Acquisition Vehicle, LLC, a Delaware limited liability company

(b) ALTA Loan Policy

**3. The estate or interest in the Land described or referred to in this Commitment is:**

Fee Simple

**4. The Title is, at the Commitment Date, vested in:**

Cosimi Farms, LP, a Colorado limited partnership

**5. The Land is described as follows:**

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

**STEWART TITLE GUARANTY COMPANY**

**STATEMENT OF CHARGES**

These charges are due and payable before a policy can be issued  
See Attached Statement of Charges

  
Authorized Countersignature

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**ALTA COMMITMENT FOR TITLE INSURANCE  
SCHEDULE A**

ISSUED BY  
STEWART TITLE GUARANTY COMPANY

**EXHIBIT "A"  
SCHEDULE A**

**LEGAL DESCRIPTION**

**PARCEL I:**

Lots 1 through 6, inclusive, Block 2, and  
Lots 11 through 17, Block 2,  
[TOWN OF WELBY, SECOND FILING](#), as recorded March 07, 1910 in Plat book 1 at Page 19,

EXCEPT that portion of Lot 11, more particularly described as follows:

Beginning at the Southwest corner of Lot 11,  
Thence Northerly along the West line of said Lot 11, a distance of 157.5 feet;  
Thence Easterly a distance of 12 feet;  
Thence Southerly and parallel with the West line of said Lot 11, a distance of 157.5 feet to the South line of said Lot 11;  
Thence Westerly 12 feet to the Point of Beginning,  
County of Adams,  
State of Colorado.

**PARCEL II:**

Lots 22 and 23, Block 1,  
[TOWN OF WELBY, SECOND FILING](#), as recorded March 07, 1910 in Plat book 1 at Page 19,  
County of Adams,  
State of Colorado.

**PARCEL III:**

That part of the Northeast 1/4 Northwest 1/4 Section 36, Township 2 South, Range 68 West of the 6th Principal Meridian,  
Described as follows:  
Beginning at a point on the North line of Section 36 which point is 491.1 feet West of the Westerly Right of Way line of the  
Union Pacific Railroad; Thence South 03°35" West 385.7 feet; Thence South 28°30" West 304.95 feet; Thence West  
95.37 feet; Thence North to the North line of Section 36; Thence East along the North line to the Point of Beginning.  
EXCEPT that part of the former Right of Way of the Denver, Laramie & Northwestern Railway lying in the Northwest  
corner.  
County of Adams,  
State of Colorado.

**PARCEL IV:**

Lots 1 through 7, inclusive, Block 3,  
Lots 1 through 15, inclusive, Block 4,  
Lots 1 through 15, inclusive, Block 5,  
Lots 1 through 14, inclusive, Block 6,  
[TOWN OF WELBY, SECOND FILING](#), as recorded March 07, 1910 in Plat book 1 at Page 19,  
County of Adams,

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File No. 21000310421

CO ALTA Commitment For Title Insurance Schedule 8-1-16 (4-2-18)

Page 2 of 4





# ALTA COMMITMENT FOR TITLE INSURANCE SCHEDULE A

ISSUED BY  
STEWART TITLE GUARANTY COMPANY

State of Colorado.

## PARCEL V:

That portion of the former land and right of way of the Denver, Laramie & Northwestern Railway Company lying within the North 1/2 of the Northwest 1/4 of Section 36, Township 2 South, Range 68 West of the 6th Principal Meridian, bounded on the North by the South line of Cline Street as dedicate in the Plat of Town of Welby, Second Filing, bounded on the South by the North line of Burnett Street as dedicated in the Plat of Town of Welby, Second Filing, bounded on the Westerly side by a line which extends from a point 385.2 feet North of the Southeast corner of the Northwest 14 Northwest 1/4 Section 36, Township 2 South, Range 68 West, as measured along the East line of said Northwest 1/4 Northwest 1/4 which point is 50 feet Westerly and at right angles to the center line of the 100 foot strip of land of the Denver, Laramie & Northwestern Railway as originally surveyed and staked out in the Northeast 1/4 Northwest 1/4 of Section 36, Township 2 South, Range 68 West to a point on the North line of County Road (Burnett Street) by a course from said beginning point of South 23°31" West a distance of 392.8 feet, more or less, being a line 50 feet Westerly from and parallel with the Southwesterly extension of the said centerline of the Denver, Laramie & Northwestern Railway Company, and bounded on the Easterly and East side by the Southeasterly line of said 100 foot strip of land of the Denver, Laramie & Northwestern Railway as surveyed and staked out in the Northeast 1/4 Northwest 1/4 of Section 36, Township 2 South, Range 68 West and by the East line of the Northwest 1/4 Northwest 1/4 of said Section 36 respectively.  
County of Adams,  
State of Colorado.

TOGETHER with that portion of the former right of way of the Denver, Laramie & Northwestern Railway Company in the Northwest corner of the East 26 Acres of the Northeast 1/4 Northwest 1/4 and the right of way in the West 14 Acres of the Northeast 1/4 Northwest 1/4 Section 36, Township 2 South, Range 68 West of the 6th Principal Meridian,  
County of Adams,  
State of Colorado.

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File No. 21000310421

CO ALTA Commitment For Title Insurance Schedule 8-1-16 (4-2-18)

Page 3 of 4



# ALTA COMMITMENT FOR TITLE INSURANCE SCHEDULE A

ISSUED BY  
STEWART TITLE GUARANTY COMPANY

## STATEMENT OF CHARGES

Basic Rate	
2006 ALTA Owner's Policy:	\$19,215.00
Owner's Extended Coverage:	\$65.00
ALTA 3.1-06:	\$2,000.00
ALTA 8.2-06:	\$50.00
ALTA 9-06:	\$1,922.00
ALTA 9.9-06:	\$250.00
ALTA 17-06:	\$1922.00
ALTA 18.2-06:	\$170.00
ALTA 19-06:	\$170.00
ALTA 22-06:	\$85.00
ALTA 25-06:	\$1,922.00
ALTA 26-06:	\$150.00
ALTA 28.1-06:	\$2,000.00
ALTA 35-06:	\$1,922.00
ALTA 39-06:	N/C
ALTA 41-06:	\$961.00
Deletion of Arbitration:	N/C
Tax Certificates:	\$150.00
(Sch. # 0171936203012	
Sch. # 0171936200025	
Sch. # 0171936204004	
Sch. # 0171936201005	
Sch. # 0171936200001):	

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File No. 21000310421

CO ALTA Commitment For Title Insurance Schedule 8-1-16 (4-2-18)

Page 4 of 4



# ALTA COMMITMENT FOR TITLE INSURANCE SCHEDULE B PART I

ISSUED BY  
STEWART TITLE GUARANTY COMPANY

## Requirements

File No.: 21000310421- Revision No. 9

All of the following Requirements must be met:

1. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
2. Pay the agreed amount for the estate or interest to be insured.
3. Pay the premiums, fees, and charges for the Policy to the Company.
4. Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.
5. Proper instrument(s) creating the estate or interest to be insured must be executed and duly filed for record:
  - a. Warranty Deed from Cosimi Farms, LP, a Colorado limited partnership, vesting fee simple title in Core PBSFR Acquisition Vehicle, LLC, a Delaware limited liability company.  
NOTE: A [Real Property Transfer Declaration \(TD-1000\)](#) is required with each transfer in the State of Colorado.  
NOTE: Deed must include a notation as to the legal address of the grantee.
  - ~~Intentionally deleted.~~b. Deed of Trust from Buyer, to the Public Trustee, for the benefit of Proposed Lender.
6. Receipt by the Company of [Commercial Lien Affidavit](#), executed by Cosimi Farms, LP, a Colorado limited partnership.  
NOTE: If the property is currently under construction or new improvements have been made, this commitment is subject to additional requirements.  
NOTE: Affiant must affirm that no lease contains any option to purchase, right of first offer, or right of first refusal.
7. Receipt by the Company of [Commercial Lien Affidavit](#), executed by Core PBSFR Acquisition Vehicle, LLC, a Delaware limited liability company.  
NOTE: If the property is currently under construction or new improvements have been made, this commitment is subject to additional requirements.
8. Receipt by the Company of the final version of the ALTA/NSPS Land Title Survey, dated January 13, 2022, currently provided in its preliminary format.
9. Payment of taxes and assessments now due and payable.
10. Payment, transfer and final reading for water, sewer and storm water charges, currently assessed against the subject property.  
NOTE: The subject property may lie within an area where local Ordinances/Municipal Codes allow unpaid water/sewer charges to become a lien on the real property.  
NOTE: Please contact seller for municipalities and account numbers.
11. Approval to issue this policy must be obtained from authorized Underwriting Personnel of Stewart Title Guaranty Company. This commitment and any policies to be issued are subject to additional limitations, requirements or

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File No. 21000310421

ALTA Commitment For Title Insurance Schedule 8-1-16 (4-2-18)

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# ALTA COMMITMENT FOR TITLE INSURANCE SCHEDULE B PART I

ISSUED BY  
STEWART TITLE GUARANTY COMPANY

## Requirements

exceptions made by Stewart Title Guaranty Company.

12. Receipt by the Company relating to Cosimi Farms, LP, a Colorado limited partnership, the Company requires for its review the following:
  - a.) Copy of the Limited Partnership Agreement and any amendments thereto,
  - b.) Execution and recordation of Statement of Authority pursuant to the provisions of Section 38-30-172 C.R.S.NOTE: The company reserves the right to make additional requirements upon its review of this document.
13. Receipt by the Company relating to Core PBSFR Acquisition Vehicle, LLC, a Delaware limited liability company, the Company requires for its review the following:
  - a.) Copy of the fully executed Operating Agreement of the limited liability company and any amendments thereof,
  - b.) Execution and recordation of Statement of Authority pursuant to the provisions of Section 38-30-172 C.R.S.NOTE: The company reserves the right to make additional requirements upon its review of this document.
14. Receipt by the Company of the following:

A satisfactory letter from the appropriate zoning office of Adams County, indicating the type of zoning subject property lies within and there are no violations;

NOTE: The above requirement is necessary in order to provide the proposed insured with the Zoning Endorsement ALTA 3.2.

NOTE: If the sales price of the subject property exceeds \$100,000.00, the seller shall be required to comply with the Disclosure of Withholding Provisions of C.R.S. § 39-22-604.5, by completing [Colorado DR 1083](#) (Nonresident Withholding).

NOTE: Please be advised that our search did not disclose any open Deed of Trust of record. If you should have knowledge of any outstanding obligations, please contact the Title Department immediately for further review prior to closing.

NOTE: Please be advised that our search did not disclose any activity related to the cultivation, manufacture, distribution and/or sale of marijuana. If you should have knowledge of any of these activities, please contact the Title Department immediately for further review by senior underwriting prior to closing.

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# ALTA COMMITMENT FOR TITLE INSURANCE SCHEDULE B PART II

ISSUED BY  
STEWART TITLE GUARANTY COMPANY

## Exceptions

File No.: 21000310421- Revision No. 9

THIS COMMITMENT DOES NOT REPUBLISH ANY COVENANT, CONDITION, RESTRICTION, OR LIMITATION CONTAINED IN ANY DOCUMENT REFERRED TO IN THIS COMMITMENT TO THE EXTENT THAT THE SPECIFIC COVENANT, CONDITION, RESTRICTION, OR LIMITATION VIOLATES STATE OR FEDERAL LAW BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, GENDER IDENTITY, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN.

The Policy will not insure against loss or damage resulting from the terms and provisions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

1. Rights or claims of parties in possession, not shown by the public records.
2. Easements, or claims of easements, not shown by the public records.
3. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the title that would be disclosed by an accurate and complete land survey of the Land and not shown by the public records.
4. Any lien, or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the public records.
5. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I - Requirements are met.
6. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) minerals of whatsoever kind, subsurface and surface substances, in, on, under and that may be produced from the Land, together with all rights, privileges, and immunities relating thereto, whether or not the matters excepted under (a), (b) or (c) are shown by the Public Records or listed in Schedule B.
7. Water rights, claims or title to water.
8. General Real Estate taxes not yet due, payable or delinquent.  
For reference only: Tax Parcel Numbers 0171936203012, 0171936200025, 0171936204004, 0171936201005, 0171936200001.  
(NOTE: This will appear on the Owner's Policy, upon proof of payment.)
9. **[Intentionally deleted.]** Order No. 6063, Inclusion of subject property into the North Washington Street Water and Sanitations District recorded August 16, 1967 in [Book 1382 at Page 201](#).  
Note: All fees are paid as of the date of the Title Policy
10. **[Intentionally deleted.]** Zoning Hearing Decision - Case #RCU2003-00010 recorded May 22, 2003 at [Reception No. C1147022](#).
11. **[Intentionally deleted.]** Existing leases and tenancies.  
NOTE: Upon receipt by the Company of the Commercial Lien Affidavit, this exception may be modified or deleted.

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# ALTA COMMITMENT FOR TITLE INSURANCE

## SCHEDULE B PART II

ISSUED BY  
STEWART TITLE GUARANTY COMPANY

### Exceptions

12. **[Intentionally deleted.]** Reservation by the State of Colorado of all right, title and interest in and to any coal or other mineral of any character underlying the land, as contained in Deed to the Denver, Laramie & Northwestern Railway Company, recorded September 8, 1908 in [Book 33 at Page 396](#).  
NOTE: The Company makes no representation as to the present ownership of any such interests. There may be leases, grants, exceptions or reservations of interests that are not listed.
13. **[Intentionally deleted.]** Reservation by the State of Colorado of all right, title and interest in an to any coal or other mineral of any character underlying the land, as contained in Deed to the Denver, Laramie & Northwestern Railway Company, recorded October 21, 1908 in [Book 33 at Page 451](#).  
NOTE: The Company makes no representation as to the present ownership of any such interests. There may be leases, grants, exceptions or reservations of interests that are not listed.
14. All rights to any and all minerals, ores and metals of any kind and character, and all coal, asphaltum, oil, gas and other like substances in or under the land, the right of ingress and egress for the purpose of mining, together with enough of the surface of the same as may be necessary for the proper and convenient working of such minerals and substances, as reserved in Patent from the State of Colorado, recorded June 13, 1913 in [Book 62 at Page 408](#).  
NOTE: The Company makes no representation as to the present ownership of any such interests. There may be leases, grants, exceptions or reservations of interests that are not listed.
15. Inclusion of subject property into the **South** Adams County Water and Sanitation District by Order and Decree recorded September 20, 1951 in [Book 427 at Page 548](#).  
Note: All fees are paid as of the date of the Title Policy
16. Inclusion of subject property into the North Washington Street Water and Sanitation District as evidenced by instrument recorded May 28, 1954 in [Book 499 at Page 334](#), July 22, 1954 in [Book 506 at Page 46](#), August 16, 1967 in [Book 1382 at Page 201](#) and March 6, 1968 in [Book 1420 at Page 483](#).  
Note: All fees are paid as of the date of the Title Policy
17. **[Intentionally deleted.]** Resolution By Commissioners dated September 23, 1957, to vacate Grant Street, adjacent to Lots One (1) to Eleven (11), Block 1, Town of Welby, Second Filing, recorded October 3, 1957 in [Book 676 at Page 528](#).
18. Permanent 20 foot right of way and easement granted to the North Washington Street Water and Sanitation District, recorded March 11, 1963 in [Book 1051 at Page 587](#).
19. Reservation to the State of Colorado of all rights to any and all minerals, ores, or metals of every kind and character and all coal, asphaltum, oil, or other like substances in or under said land and the right of ingress and egress for the purpose of mining, together with enough of the surface of the same as may be necessary for the proper and convenient working of such minerals and substances contained in Colorado Patent recorded September 21, 1966 in [Book 1321 at Page 421](#).  
NOTE: The Company makes no representation as to the present ownership of any such interests. There may be leases, grants, exceptions or reservations of interests that are not listed.
20. **[Intentionally deleted.]** Resolutions recorded September 24, 1974 in [Book 1955 at Page 326](#), and in [Book 1955](#)

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# ALTA COMMITMENT FOR TITLE INSURANCE SCHEDULE B PART II

ISSUED BY  
STEWART TITLE GUARANTY COMPANY

## Exceptions

[at Page 332](#), and in [Book 1955 at Page 339](#).

21. The following matters disclosed by ALTA/NSPS Land Title Survey, dated January 13, 2022, prepared by Aztec Consultants, Inc., under [Job No. 54821-33](#), to wit:
  - a) Encroachment of a six foot (6') chain link fence upon the Westerly edge of Parcel I.
22. Minerals of whatsoever kind, subsurface and surface substances, in, on, under and that may be produced from the Land, together with all rights, privileges, and immunities relating thereto, whether or not the matters excepted are shown by the Public Records or listed in Schedule B.
23. Any increase or decrease in the area of the land and any adverse claim to any portion of the land which has been created by or caused by accretion or reliction, whether natural or artificial, and the effect of the gain or loss or area by accretion or reliction upon the marketability to the title of the land.  
(Affects Lot 6, Block 2)

NOTE: Exceptions 1 and 4 may be deleted from the policies, provided the seller and buyer execute the Company's affidavits, as required herein, and the Company approves such deletions. Exceptions 2 and 3 may be deleted from the policies, provided the Company receives and approves the survey or survey affidavit required herein. Exception 5 will not appear on the policies, provided the Company, or its authorized agent, conducts the closing of the proposed transaction and is responsible for the recordation of the documents.

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**Carma Weymouth**  
VP, Title & Escrow  
Operations Manager

Stewart Title Guaranty Company -  
Commercial Services  
55 Madison Street, Suite 400  
Denver, CO 80206  
(303) 780-4015 Phone  
(303) 331-9867 Fax  
CWeymouth@stewart.com

## **MINERAL DISCLOSURE**

To comply with the provisions of C.R.S. 10-11-123, the Company makes the following disclosure:

- a. That there is recorded evidence that a mineral estate has been severed, leased or otherwise conveyed from the surface estate and that there is a substantial likelihood that a third party holds some or all interest in oil, gas, other minerals, or geothermal energy in the property; and
- b. That such mineral estate may include the right to enter and use the property without the surface owner's permission.

NOTE: THIS DISCLOSURE APPLIED ONLY IF SCHEDULE B, SECTION 2 OF THE TITLE COMMITMENT HEREIN INCLUDES AN EXCEPTION FOR SEVERED MINERALS.



# Stewart Title Guaranty Company - Commercial Services

## FUNDS DISCLOSURE

The title company, Stewart Title Guaranty Company - Commercial Services in its capacity as escrow agent, has been authorized to receive funds and disburse them when all funds received are either: (a) available for immediate withdrawal as a matter of right from the financial institution in which the funds are deposited, or (b) are available for immediate withdrawal as a consequence of an agreement of a financial institution in which the funds are to be deposited or a financial institution upon which the funds are to be drawn.

The title company is disclosing to you that the financial institution may provide the title company with computer accounting or auditing services, or other bank services, either directly or through a separate entity which may or may not be affiliated with the title company. This separate entity may charge the financial institution reasonable and proper compensation for these services and retain any profits there from.

The title company may also receive benefits from the financial institution in the form of advantageous interest rates on loans, sometimes referred to as preferred rate loan programs, relating to loans the title company has with the financial institution. The title company shall not be liable for any interest or other charges on the earnest money and shall be under no duty to invest or reinvest funds held by it at any time. In the event that the parties to this transaction have agreed to have interest on earnest money deposit transferred to a fund established for the purpose of providing affordable housing to Colorado residents, then the earnest money shall remain in an account designated for such purpose, and the interest money shall be delivered to the title company at closing.

## STG Privacy Notice Stewart Title Companies

### WHAT DO THE STEWART TITLE COMPANIES DO WITH YOUR PERSONAL INFORMATION?

Federal and applicable state law and regulations give consumers the right to limit some but not all sharing. Federal and applicable state law regulations also require us to tell you how we collect, share, and protect your personal information. Please read this notice carefully to understand how we use your personal information. This privacy notice is distributed on behalf of the Stewart Title Guaranty Company and its title affiliates (the Stewart Title Companies), pursuant to Title V of the Gramm-Leach-Bliley Act (GLBA).

The types of personal information we collect and share depend on the product or service that you have sought through us. This information can include social security numbers and driver's license number.

All financial companies, such as the Stewart Title Companies, need to share customers' personal information to run their everyday business—to process transactions and maintain customer accounts. In the section below, we list the reasons that we can share customers' personal information; the reasons that we choose to share; and whether you can limit this sharing.

Reasons we can share your personal information.	Do we share	Can you limit this sharing?
<b>For our everyday business purposes</b> — to process your transactions and maintain your account. This may include running the business and managing customer accounts, such as processing transactions, mailing, and auditing services, and responding to court orders and legal investigations.	Yes	No
<b>For our marketing purposes</b> — to offer our products and services to you.	Yes	No
<b>For joint marketing with other financial companies</b>	No	We don't share
<b>For our affiliates' everyday business purposes</b> — information about your transactions and experiences. Affiliates are companies related by common ownership or control. They can be financial and non-financial companies. <i>Our affiliates may include companies with a Stewart name; financial companies, such as Stewart Title Company</i>	Yes	No
<b>For our affiliates' everyday business purposes</b> — information about your creditworthiness.	No	We don't share
<b>For our affiliates to market to you</b> — For your convenience, Stewart has developed a means for you to opt out from its affiliates marketing even though such mechanism is not legally required.	Yes	Yes, send your first and last name, the email address used in your transaction, your Stewart file number and the Stewart office location that is handling your transaction by email to <a href="mailto:optout@stewart.com">optout@stewart.com</a> or fax to 1-800-335-9591.
<b>For non-affiliates to market to you.</b> Non-affiliates are companies not related by common ownership or control. They can be financial and non-financial companies.	No	We don't share

We may disclose your personal information to our affiliates or to non-affiliates as permitted by law. If you request a transaction with a non-affiliate, such as a third party insurance company, we will disclose your personal information to that non-affiliate. [We do not control their subsequent use of information, and suggest you refer to their privacy notices.]

### SHARING PRACTICES

<b>How often do the Stewart Title Companies notify me about their practices?</b>	We must notify you about our sharing practices when you request a transaction.
<b>How do the Stewart Title Companies protect my personal information?</b>	To protect your personal information from unauthorized access and use, we use security measures that comply with federal law. These measures include computer, file, and building safeguards.
<b>How do the Stewart Title Companies collect my personal information?</b>	We collect your personal information, for example, when you <ul style="list-style-type: none"> <li>▪ request insurance-related services</li> <li>▪ provide such information to us</li> </ul> We also collect your personal information from others, such as the real estate agent or lender involved in your transaction, credit reporting agencies, affiliates or other companies.
<b>What sharing can I limit?</b>	Although federal and state law give you the right to limit sharing (e.g., opt out) in certain instances, we do not share your personal information in those instances.

**Contact us:** *If you have any questions about this privacy notice, please contact us at: Stewart Title Guaranty Company, 1360 Post Oak Blvd., Ste. 100, Privacy Officer, Houston, Texas 77056*

## Privacy Notice for California Residents

Pursuant to the California Consumer Privacy Act of 2018 ("CCPA"), Stewart Information Services Corporation and its subsidiary companies (collectively, "Stewart") are providing this **Privacy Notice for California Residents** ("CCPA Notice"). This CCPA Notice supplements the information contained in Stewart's existing privacy notice and applies solely to all visitors, users and others who reside in the State of California or are considered California Residents ("consumers" or "you"). Terms used but not defined shall have the meaning ascribed to them in the CCPA.

### Information Stewart Collects

Stewart collects information that identifies, relates to, describes, references, is capable of being associated with, or could reasonably be linked, directly or indirectly, with a particular consumer, household, or device. Most of the information that Stewart collects in the course of its regular business is already protected pursuant to the Gramm-Leach-Bliley Act (GLBA). Additionally, much of this information comes from government records or other information already in the public domain. Personal information under the CCPA does not include:

- Publicly available information from government records.
- Deidentified or aggregated consumer information.
- Certain personal information protected by other sector-specific federal or California laws, including but not limited to the Fair Credit Reporting Act (FCRA), GLBA and California Financial Information Privacy Act (FIPA).

Specifically, Stewart has collected the following categories of personal information from consumers within the last twelve (12) months:

Category	Examples	Collected?
A. Identifiers.	A real name, alias, postal address, unique personal identifier, online identifier, Internet Protocol address, email address, account name, Social Security number, driver's license number, passport number, or other similar identifiers.	YES
B. Personal information categories listed in the California Customer Records statute (Cal. Civ. Code § 1798.80(e)).	A name, signature, Social Security number, physical characteristics or description, address, telephone number, passport number, driver's license or state identification card number, insurance policy number, education, employment, employment history, bank account number, credit card number, debit card number, or any other financial information, medical information, or health insurance information. Some personal information included in this category may overlap with other categories.	YES
C. Protected classification characteristics under California or federal law.	Age (40 years or older), race, color, ancestry, national origin, citizenship, religion or creed, marital status, medical condition, physical or mental disability, sex (including gender, gender identity, gender expression, pregnancy or childbirth and related medical conditions), sexual orientation, veteran or military status, genetic information (including familial genetic information).	YES
D. Commercial information.	Records of personal property, products or services purchased, obtained, or considered, or other purchasing or consuming histories or tendencies.	YES
E. Biometric information.	Genetic, physiological, behavioral, and biological characteristics, or activity patterns used to extract a template or other identifier or identifying information, such as, fingerprints, faceprints, and voiceprints, iris or retina scans, keystroke, gait, or other physical patterns, and sleep, health, or exercise data.	YES
F. Internet or other similar network activity.	Browsing history, search history, information on a consumer's interaction with a website, application, or advertisement.	YES
G. Geolocation data.	Physical location or movements.	YES
H. Sensory data.	Audio, electronic, visual, thermal, olfactory, or similar information.	YES
I. Professional or employment-related information.	Current or past job history or performance evaluations.	YES
J. Non-public education information (per the Family Educational Rights and Privacy Act (20 U.S.C. Section 1232g, 34 C.F.R. Part 99)).	Education records directly related to a student maintained by an educational institution or party acting on its behalf, such as grades, transcripts, class lists, student schedules, student identification codes, student financial information, or student disciplinary records.	YES
K. Inferences drawn from other personal information.	Profile reflecting a person's preferences, characteristics, psychological trends, predispositions, behavior, attitudes, intelligence, abilities, and aptitudes.	YES

Stewart obtains the categories of personal information listed above from the following categories of sources:

- Directly and indirectly from customers, their designees or their agents (For example, realtors, lenders, attorneys, etc.)
- Directly and indirectly from activity on Stewart's website or other applications.
- From third-parties that interact with Stewart in connection with the services we provide.

#### Use of Personal Information

Stewart may use or disclose the personal information we collect for one or more of the following purposes:

- To fulfill or meet the reason for which the information is provided.
- To provide, support, personalize, and develop our website, products, and services.
- To create, maintain, customize, and secure your account with Stewart.
- To process your requests, purchases, transactions, and payments and prevent transactional fraud.
- To prevent and/or process claims.
- To assist third party vendors/service providers who complete transactions or perform services on Stewart's behalf.
- As necessary or appropriate to protect the rights, property or safety of Stewart, our customers or others.
- To provide you with support and to respond to your inquiries, including to investigate and address your concerns and monitor and improve our responses.
- To personalize your website experience and to deliver content and product and service offerings relevant to your interests, including targeted offers and ads through our website, third-party sites, and via email or text message (with your consent, where required by law).
- To help maintain the safety, security, and integrity of our website, products and services, databases and other technology assets, and business.
- To respond to law enforcement or regulator requests as required by applicable law, court order, or governmental regulations.
- Auditing for compliance with federal and state laws, rules and regulations.
- Performing services including maintaining or servicing accounts, providing customer service, processing or fulfilling orders and transactions, verifying customer information, processing payments, providing advertising or marketing services or other similar services.
- To evaluate or conduct a merger, divestiture, restructuring, reorganization, dissolution, or other sale or transfer of some or all of our assets, whether as a going concern or as part of bankruptcy, liquidation, or similar proceeding, in which personal information held by us is among the assets transferred.

Stewart will not collect additional categories of personal information or use the personal information we collected for materially different, unrelated, or incompatible purposes without providing you notice.

#### Disclosure of Personal Information to Affiliated Companies and Nonaffiliated Third Parties

Stewart does not sell your personal information to nonaffiliated third parties. Stewart may share your information with those you have designated as your agent in the course of your transaction (for example, a realtor or a lender). Stewart may disclose your personal information to a third party for a business purpose. Typically, when we disclose personal information for a business purpose, we enter a contract that describes the purpose and requires the recipient to both keep that personal information confidential and not use it for any purpose except performing the contract.

We share your personal information with the following categories of third parties:

- Service providers and vendors (For example, search companies, mobile notaries, and companies providing credit/debit card processing, billing, shipping, repair, customer service, auditing, marketing, etc.)
- Affiliated Companies
- Litigation parties and attorneys, as required by law.
- Financial rating organizations, rating bureaus and trade associations.
- Federal and State Regulators, law enforcement and other government entities

In the preceding twelve (12) months, Stewart has disclosed the following categories of personal information for a business purpose:

- Category A: Identifiers
- Category B: California Customer Records personal information categories
- Category C: Protected classification characteristics under California or federal law
- Category D: Commercial Information
- Category E: Biometric Information
- Category F: Internet or other similar network activity
- Category G: Geolocation data
- Category H: Sensory data
- Category I: Professional or employment-related information
- Category J: Non-public education information
- Category K: Inferences

#### Consumer Rights and Choices

The CCPA provides consumers (California residents) with specific rights regarding their personal information. This section describes your CCPA rights and explains how to exercise those rights.



## Access to Specific Information and Data Portability Rights

You have the right to request that Stewart disclose certain information to you about our collection and use of your personal information over the past 12 months. Once we receive and confirm your verifiable consumer request, Stewart will disclose to you:

- The categories of personal information Stewart collected about you.
- The categories of sources for the personal information Stewart collected about you.
- Stewart's business or commercial purpose for collecting that personal information.
- The categories of third parties with whom Stewart shares that personal information.
- The specific pieces of personal information Stewart collected about you (also called a data portability request).
- If Stewart disclosed your personal data for a business purpose, a listing identifying the personal information categories that each category of recipient obtained.

## Deletion Request Rights

You have the right to request that Stewart delete any of your personal information we collected from you and retained, subject to certain exceptions. Once we receive and confirm your verifiable consumer request, Stewart will delete (and direct our service providers to delete) your personal information from our records, unless an exception applies.

Stewart may deny your deletion request if retaining the information is necessary for us or our service providers to:

1. Complete the transaction for which we collected the personal information, provide a good or service that you requested, take actions reasonably anticipated within the context of our ongoing business relationship with you, or otherwise perform our contract with you
2. Detect security incidents, protect against malicious, deceptive, fraudulent, or illegal activity, or prosecute those responsible for such activities.
3. Debug products to identify and repair errors that impair existing intended functionality.
4. Exercise free speech, ensure the right of another consumer to exercise their free speech rights, or exercise another right provided for by law.
5. Comply with the California Electronic Communications Privacy Act (Cal. Penal Code § 1546 *seq.*).
6. Engage in public or peer-reviewed scientific, historical, or statistical research in the public interest that adheres to all other applicable ethics and privacy laws, when the information's deletion may likely render impossible or seriously impair the research's achievement, if you previously provided informed consent.
7. Enable solely internal uses that are reasonably aligned with consumer expectations based on your relationship with us.
8. Comply with a legal obligation.
9. Make other internal and lawful uses of that information that are compatible with the context in which you provided it.

## Exercising Access, Data Portability, and Deletion Rights

To exercise the access, data portability, and deletion rights described above, please submit a verifiable consumer request to us either:

- Calling us Toll Free at 1-866-571-9270
- Emailing us at [Privacyrequest@stewart.com](mailto:Privacyrequest@stewart.com)
- Visiting <http://stewart.com/ccpa>

Only you, or someone legally authorized to act on your behalf, may make a verifiable consumer request related to your personal information. You may also make a verifiable consumer request on behalf of your minor child.

To designate an authorized agent, please contact Stewart through one of the methods mentioned above.

You may only make a verifiable consumer request for access or data portability twice within a 12-month period. The verifiable consumer request must:

- Provide sufficient information that allows us to reasonably verify you are the person about whom we collected personal information or an authorized representative.
- Describe your request with sufficient detail that allows us to properly understand, evaluate, and respond to it.

Stewart cannot respond to your request or provide you with personal information if we cannot verify your identity or authority to make the request and confirm the personal information relates to you.

Making a verifiable consumer request does not require you to create an account with Stewart.

## Response Timing and Format

We endeavor to respond to a verifiable consumer request within forty-five (45) days of its receipt. If we require more time (up to an additional 45 days), we will inform you of the reason and extension period in writing.

A written response will be delivered by mail or electronically, at your option.

Any disclosures we provide will only cover the 12-month period preceding the verifiable consumer request's receipt. The response we provide will also explain the reasons we cannot comply with a request, if applicable. For data portability requests, we will select a format to provide your personal information that is readily useable and should allow you to transmit the information from one entity to another entity without hindrance.

Stewart does not charge a fee to process or respond to your verifiable consumer request unless it is excessive, repetitive, or manifestly unfounded. If we determine that the request warrants a fee, we will tell you why we made that decision and provide you with a cost estimate before completing your request.

#### Non-Discrimination

Stewart will not discriminate against you for exercising any of your CCPA rights. Unless permitted by the CCPA, we will not:

- Deny you goods or services.
- Charge you a different prices or rates for goods or services, including through granting discounts or other benefits, or imposing penalties.
- Provide you a different level or quality of goods or services.
- Suggest that you may receive a different price or rate for goods or services or a different level or quality of goods or services.

#### Changes to Our Privacy Notice

Stewart reserves the right to amend this privacy notice at our discretion and at any time. When we make changes to this privacy notice, we will post the updated notice on Stewart's website and update the notice's effective date. **Your continued use of Stewart's website following the posting of changes constitutes your acceptance of such changes.**

#### Contact Information

If you have questions or comments about this notice, the ways in which Stewart collects and uses your information described here, your choices and rights regarding such use, or wish to exercise your rights under California law, please do not hesitate to contact us at:

**Phone:** Toll Free at 1-866-571-9270

**Website:** <http://stewart.com/ccpa>

**Email:** [Privacyrequest@stewart.com](mailto:Privacyrequest@stewart.com)

**Postal Address:** Stewart Information Services Corporation  
Attn: Mary Thomas, Deputy Chief Compliance Officer  
1360 Post Oak Blvd., Ste. 100, MC #14-1  
Houston, TX 77056



August 16, 2023

Adams County  
Attn: Greg Barnes  
4430 South Adams County Parkway  
Brighton, CO 80601

**Re: Oxenfree at Welby: Written Explanation  
Final Development Plan (FDP), Final Plat & ROW Application**

Dear Mr. Barnes:

Please find enclosed development applications for a Final Development Plan (FDP), Final Plat & ROW Vacation for the site located generally northeast of the intersection of York and 78th Avenue, east of the Assumption of the Blessed Virgin Mary Catholic Church in unincorporated Adams County. This application has been prepared by and for the following parties to the benefit of the residents of Adams County and the surrounding areas.

**Applicant**

Core Spaces  
Contact: Shannon Robbins  
1643 N. Milwaukee Ave. 5<sup>th</sup> Floor  
Chicago, IL 60647  
[shannonr@corespaces.com](mailto:shannonr@corespaces.com)

**Landscape Architect**

Norris Design  
Contact: David Lane  
1101 Bannock St.  
Denver, Colorado 80204  
303-892-1166  
[dlane@norris-design.com](mailto:dlane@norris-design.com)

**Entitlements**

Norris Design  
Contact: Daniel Braswell  
1101 Bannock St.  
Denver, Colorado 80204  
303-892-1166  
[dbraswell@norris-design.com](mailto:dbraswell@norris-design.com)

**Civil Engineer**

Redland Consultants  
Contact: Evan Rumney  
1500 West Canal Court  
Littleton, CO 80120  
(720) 283-6783  
[erumney@redland.com](mailto:erumney@redland.com)

**About the Applicant**

Core Spaces, the applicant, is a residential for-rent developer, long-term holder, and operator of communities that are dedicated to superb design, inclusive communities, and sustainable living. Our communities, called Oxenfree, are developed with the aspirations of our residents, needs of our municipalities, and the uniqueness of our sites in mind.

We ensure a great resident experience and high quality of life through a mix of service and convenience. This thread is carried through from the design approach of individual units to the quality and functionality of our amenities and open spaces, to the lifestyle benefits offered by our technology and management teams.

We bring a 'hospitality-mindset' in our approach to managing the community to ensure a great resident experience. Oxenfree Communities strive to build places that are authentic - inspired by the local culture; and deeply sustainable - embracing the site's natural features and landscape, leaving an enduring legacy. Our



communities are designed for people – featuring walkability, wellness, a vibrant social environment, and high quality of life.

The Fieldhouse is the Heart of the Community, with amenities promoting socialization, wellness, and convenience. It is an everyday place and a special events place all in one. A rich variety of amenities and environments are provided throughout the community ranging from small pockets to landmark parks to natural areas. These spaces offer a diversity of programming that emphasize wellness and socialization.

Homes are intentionally designed with large front facing windows, and utilize design elements such as stoops, porches, or front yard seating areas to enhance the user experience for both residents and neighbors. These features also help to provide ‘eyes on the street’, fostering a feeling of safety and security without being obtrusive. The homes feature a diversity of architectural forms, styles, and layouts woven together into a rich visual tapestry that makes the neighborhood feel like it has been developed over time, yet all belong to the same place.

### **Project Description**

Core Spaces proposes a new residential subdivision to provide new single-family rental homes in the Welby neighborhood of Adams County. This property is approximately 26.3 acres located generally northeast of the intersection of York and 78th Avenue, east of the Assumption of the Blessed Virgin Mary Catholic Church in unincorporated Adams County. This PUD proposes 222 residential units (8.4 DU/AC) that will provide new rental homes to provide some relief to the current housing demand within the County. The new community is designed to attract a broad spectrum of residents and provide an opportunity for families to live in single-family housing. The neighborhood will have convenient access to major transportation corridors and is located within a mile and a half of two stations on RTD’s N line.

Oxenfree at Welby provides a pocket park on the western edge adjacent to the Assumption Church as a gateway to the community and the Heart of Welby. A network of trails weaves through common green spaces with seating areas and active and passive amenities that connects this park to the Fieldhouse on the eastern edge of the community. A mix of attached and detached homes will provide a diverse housing mix to attract a diverse mix of residents, meeting Adams County needs and goals.

The surrounding properties are zoned R-1-C, PUD, I-1, I-2, and A-1. This development provides residential infill the Heart of Welby and provides housing opportunities in an underhoused area of Adams County.

The property is located near several key transit areas creating great opportunity for alternative commuting options for residents. 72nd and Sheridan RTD station is approximately 1.2 miles southeast and the original Thornton and 88th RTD station is approximately 1.5 miles north.

Three applications are covered with this written explanation, including the Final Development Plan (FDP), Final Plat & ROW Vacation Application.

### **Access and Parking**

The primary entrance to the site will be on Clayton Street taking access from East 78th Avenue with two additional accesses points on East 78th Avenue. The existing Cleveland Street that cuts the site at a diagonal will be vacated. E 79<sup>th</sup> Avenue will be improved from its existing condition and extended to connect into York Street. A system of internal public streets and walkways will provide access through the neighborhood.

Oxenfree at Welby will provide a minimum of two (2) resident parking spaces per home. Front load homes will include two (2) visitors parking spaces per home. Alley loaded homes will include 117 on-street guest parking





spaces, appx. .64 spaces per unit The clubhouse and pool area will feature 22 off-street spaces, which can be utilized as guest spaces after hours.

### **Drainage and Infrastructure**

Oxenfree at Welby will be served by North Washington Street Water and Sanitation District. Waterlines will be looped throughout the Site with connections to the E 78th Avenue and E 79th Avenue waterlines. The Site is proposing 3 points of access and the use of adequately spaced fire hydrants meeting the standards and requirements of the Adams County Fire Department. Sanitary sewer will run throughout the Site. The sanitary sewer for the Site will outfall to the south at the existing 12" sanitary sewer main within Clayton Street. Xcel Energy will provide dry utilities.

The site is contained within FIRM panel #08001C0604H dated March 5, 2007. According to Panel, no floodplains exist on the Site. However, the Flood Hazard Delineation, Niver Creek, Tributary L, and Tributary M (FHAD) prepared by Jacobs, dated August 2021 indicates that flood waters do reach the Site. Wright Water Engineers has been retained by the developer to study the proposed site grading and its impacts to the floodplain identified in the FHAD. It is the intent of the developer to ensure there are minimal impacts to the adjacent floodplain. The CLOMR submittal is currently under review by Mile High Flood District and FEMA for review and concurrence.

### **Open Space**

The proposed neighborhood provides open space areas consistent with this type of urban infill development, meeting and exceeding the PUD and PDP minimum requirement of 30% overall open space (7.887 ac.) with 25% of the overall open space (1.972 ac.) classified as active open space. The community is providing 60% overall open space (appx. 15.767 ac.), with 52% of that area (appx. 4.108 ac.) dedicated to active uses. A pocket park, clubhouse amenity area, linear greenways, and a network of community trails comprise the active open space areas.

### **Applicability to Comprehensive Plan**

This property is identified as Mixed-Use Neighborhood in the 2022 Welby Plan and Future Land Use Map. As discussed in the Welby Plan and Comprehensive Plan, Mixed Use Neighborhoods category allows for a range of urban level residential uses, including single and multi-family housing combined with compatible and supporting uses and activities that serve the neighborhood and are developed and operated in harmony with the residential characteristics of a neighborhood.

Mixed Use Neighborhoods are encouraged in infill areas and within County and municipality growth areas where it can be readily served by a full range of urban services and access to existing infrastructure and transportation options. Being located on 78th Avenue and 79th Avenue provides commitments for water, sewer, power and gas, the infrastructure exists to help facilitate these new residential homes.

The 2022 Adams County Comprehensive Plan outlines key goals to creating a more sustainable and resilient Adams County. The key goals that strongly relate to Oxenfree at Welby and how the Planned Development Plan will meet these goals are outlined below:

#### Community Housing Goals:



*Goal 1: Support sustainable and responsible land use planning for residential growth*

Oxenfree at Welby is an infill development that takes advantage of existing infrastructure to aid in reducing fiscal impacts with new development. It provides revitalization and reinvestment in an established area to meet the needs of a variety of residents and will provide improvements to existing streets and an investment in the Welby neighborhood.

*Goal 2: Increase housing opportunities throughout Adams County by taking a proactive role in addressing housing affordability, diversity, and supply through land use regulations.*

This development will provide a wide range of housing types for all family types. With the cost of buying a house increasing across the County, this community provides an opportunity for families to find affordable housing and establish roots in an established neighborhood.

*Goal 5: Establish and sustain safe, secure, and livable neighborhoods that meet the everyday needs of residents.*

Internal neighborhood streets will feature detached sidewalks that connect into an internal trail network that links into the proposed Pocket Park and the Fieldhouse area. There will be sidewalk connections that provide access to the Niver Creek Trail, via York Street. The Colorado Front Range Trail can be accessed via 78<sup>th</sup> Ave. The neighborhood is within a mile and a half of two RTD stations, corridors and within municipal and county growth areas in the Southwest Area of the County.

#### Built Environment & Connections

*Goal 1: Support existing communities and accommodate growth and development that coordinates with local plans, is fiscally and environmentally responsible, and enhances the overall well-being of the community.*

This development takes advantage of existing infrastructure to aid in reducing fiscal impacts with new development. Oxenfree at Welby is located adjacent to existing streets and infrastructure on 78th and 79th Avenues, set to take advantage of the existing infrastructure and roadway network.

#### **Board of County Commissioners:**

The Adams County Board of County Commissioners unanimously approved the Oxenfree at Welby PDP and Preliminary Plat on August 15, 2023. The following conditions were adopted as conditions of approval.

#### The proposed conditions of approval are as follows:

- Roadway Vacation Application: A formal application for roadway vacation shall be included as part of the final plat and final development plan applications. This application aims to remove the existing right-of-way network throughout the site. The approval of the preliminary plat is contingent upon obtaining the necessary approval for roadway vacations within the boundaries of our site.
- Roadway Construction and Improvements: East 79th Avenue from York Street to the proposed Fillmore Street will be built and improved by the applicant. From York Street to Clayton Street, East 79th Avenue must be built to Adams County's standard local industrial street standards. Furthermore, the proposed Clayton Street must adhere to the County's local industrial street standards. These enhancements will be included in the project's final plat application. To allow for detached sidewalks and excessive sidewalk widths, exceptions to the County's standard local industrial street standards can be made.
- Future Expansion Considerations: In anticipation of possible future expansion of East 79th Avenue to the east, the applicant has willingly agreed to remove the "to be vacated" language from the preliminary plat approval for portions of East 79th Avenue located east of the proposed Fillmore Street.



We look forward to working with County Staff on the review and approval of this new neighborhood in Adams County. Feel free to contact our team directly should you have any comments, questions, and/or requests for additional information.

Sincerely,

Norris Design

A handwritten signature in black ink that reads "Daniel Braswell". The signature is stylized and cursive, enclosed within a large, loopy flourish.

Daniel Braswell  
Associate



**Right of Way & Permits**

1123 West 3<sup>rd</sup> Avenue  
Denver, Colorado 80223  
Telephone: **303.571.3306**  
Facsimile: 303. 571. 3284  
donna.l.george@xcelenergy.com

March 10, 2023

Adams County Community and Economic Development Department  
4430 South Adams County Parkway, 3<sup>rd</sup> Floor, Suite W3000  
Brighton, CO 80601

Attn: Greg Barnes

**Re: \* AMENDED RESPONSE \***  
**Cosimi Farms – 2<sup>nd</sup> referral, Case # PRC2022-00013**

Based upon additional information provided by the developer for **Cosimi Farms**, Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has no conflict in this stage of the project.

It is understood that no natural gas will be required, there will be 8-foot-wide utility easements around the perimeter of each block, and that the electric meters will be banked.

The property owner/developer/contractor must complete the application process for any new natural gas or electric service, or modification to existing facilities including relocation and/or removal of the existing natural gas and electric distribution facilities via [xcelenergy.com/InstallAndConnect](http://xcelenergy.com/InstallAndConnect). It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details.

Additional easements *will* need to be acquired by separate document for new facilities (i.e. transformers) – be sure to contact the Designer and request that they connect with a Right-of-Way Agent.

As a safety precaution, PSCo would like to remind the developer to contact Colorado 811 for utility locates prior to construction.

Donna George  
Right of Way and Permits  
Public Service Company of Colorado dba Xcel Energy  
Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com



**LEGAL DECRPTION**

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED WARRANT THEY ARE THE OWNERS OF A PARCEL OF LAND BEING LOTS 22 AND 23 BLOCK 1, LOTS 1-6 AND 11-17 BLOCK 2, LESS AND EXEPT THE WEST 12' OF THE SOUTH 157.5' OF LOT 11, LOTS 1-7 BLOCK 3, LOTS 1-15 BLOCK 4, LOTS 1-15 BLOCK 5, LOTS 1-14 BLOCK 6 ALONG WITH MCKINLEY AVENUE, PITKIN STREET AND CLEVELAND AVENUE SOUTH OF EAST 79TH AVENUE, ALL OF THE PLAT OF THE TOWN OF WELBY SECOND FILING RECORDED IN BOOK 1 PAGE 19 IN THE RECORDS OF THE CLERK AND RECORDER OF ADAMS COUNTY, STATE OF COLORADO, AND A UNPLATTED PARCEL OF LAND, LOCATED WITHIN THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 2 SOUTH, RANGE 68 WEST, OF THE SIXTH PRINCIPAL MERIDIAN, SAID COUNTY AND STATE, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST SIXTEENTH CORNER OF SECTIONS 25 AND 36, SAID TOWNSHIP AND RANGE, WHENCE THE NORTH LINE OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 36 BEARS NORTH 89°30'16" EAST, A DISTANCE OF 1307.22 FEET, ALL BEARINGS HEREON ARE REFERENCED THERETO;

THENCE ALONG SAID NORTH LINE, NORTH 89°30'16" EAST, A DISTANCE OF 386.82 FEET TO THE EASTERLY BOUNDARY OF THE VACATED CLEVELAND AVENUE BY THE A & M STEEL INC. SUBDIVISION RECORDED AT RECEPTION NO. 2007000017707 IN SAID RECORDS AND THE POINT OF BEGINNING;

THENCE CONTINUING ALONG SAID NORTH LINE, NORTH 89°30'16" EAST, A DISTANCE OF 331.46 FEET TO THE WESTERLY LINE OF DEED RECORDED IN BOOK 1020 PAGE 79;

THENCE ALONG SAID WESTERLY LINE THE FOLLOWING THREE (3) COURSES:

1. SOUTH 03°05'16" WEST, A DISTANCE OF 385.70 FEET;
2. SOUTH 28°00'16" WEST, A DISTANCE OF 304.95 FEET;
3. SOUTH 89°30'16" WEST, A DISTANCE OF 91.61 FEET TO THE EASTERLY BOUNDARY OF SAID PLAT OF THE TOWN OF WELBY, SECOND FILING;

THENCE ALONG SAID EASTERLY BOUNDARY OF SAID PLAT OF THE TOWN WELBY, SECOND FILING THE FOLLOWING FIVE (5) COURSES;

1. SOUTH 00°03'42" EAST, A DISTANCE OF 170.40 FEET;
2. NORTH 89°50'03" WEST, A DISTANCE OF 9.18 FEET;
3. SOUTH 00°11'14" EAST, A DISTANCE OF 466.30 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY O FEAST 78TH/ AVENUE;

THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY THE FOLLOWING TWO (2) COURSES;

1. SOUTH 89°39'01" WEST, A DISTANCE OF 454.03 FEET;
2. SOUTH 89°28'21" WEST, A DISTANCE OF 972.46 FEET;

THENCE DEPARTING SAID NORTHERLY RIGHT-OF-WAY, NORTH 00°30'58" WEST, A DISTANCE OF 157.50 FEET;

THENCE SOUTH 89°28'21" WEST, A DISTANCE OF 12.00 FEET TO THE WESTERLY BOUNDARY OF LOT 11 AS SHOWN ON SAID PLAT OF THE TOWN OF WELBY, SECOND FILING;

THENCE ALONG SAID WESTERLY BOUNDARY AND THE WESTERLY BOUNDARY OF LOT 6, AS SHOWN ON SAID PLAT OF THE TOWN OF WELBY, SECOND FILING, NORTH 00°30'58" WEST, A DISTANCE OF 442.68 FEET TO THE SOUTHERLY RIGHT-OF-WAY OF EAST 79TH/ AVENUE FORMALLY KNOWN AS CLINE STREET AS SHOWN ON SAID PLAT OF THE TOWN OF WELBY, SECOND FILING;

THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY, SOUTH 89°29'55" WEST, A DISTANCE OF 1081.96 FEET TO THE SOUTHERLY EXTENSION OF THE SOUTHEASTERLY BOUNDARY OF SAID VACATED CLEVELAND AVENUE;

THENCE ALONG SAID SOUTHERLY EXTENSION AND SOUTHEASTERLY BOUNDARY, NORTH 23°00'32" EAST, A DISTANCE OF 750.94 FEET TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM THAT PORTION OF EAST 79TH/ AVENUE FORMALLY KNOWN AS CLINE STREET DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE EASTERLY RIGHT-OF-WAY OF SAID DENVER LARAMIE AND NORTHWESTERN RAILWAY AND THE NORTHERLY RIGHT-OF-WAY OF SAID EAST 79TH/ AVENUE;

THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY, NORTH 89°29'55" EAST, A DISTANCE OF 131.50 FEET;

THENCE SOUTH 00°30'58" EAST, A DISTANCE OF 60.00 FEET TO THE SOUTHERLY RIGHT-OF-WAY OF SAID EAST 79TH AVENUE;

THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY, SOUTH 89°29'55" WEST, A DISTANCE OF 157.62 FEET TO SAID EASTERLY RIGHT-OF-WAY OF THE DENVER LARAMIE AND NORTHWESTERN RAILWAY

THENCE ALONG SAID EASTERLY RIGHT-OF-WAY NORTH 23°00'32" EAST, A DISTANCE OF 65.43 FEET TO THE POINT OF BEGINNING.

RESULTING IN A NET AREA OF 26.291 ACRES, (1,145,253 SQUARE FEET), MORE OR LESS.

# OXENFREE AT WELBY

A PARCEL LOCATED IN THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 1 OF 6

## PURPOSE STATEMENT

TO VACATE AND REPLAT THE FOLLOWING: LOTS 22 & 23, BLOCK 1, LOTS 1-6, LOT 11 EXCEPT THE WEST 12 FEET OF THE SOUTH 157.5 FEET AND LOTS 12-17, BLOCK 2, LOTS 1-7, BLOCK 3, LOTS 1-15, BLOCK 4, LOTS 1-15, BLOCK 5, LOTS 1-14, BLOCK 6 ALONG WITH MCKINLEY AVENUE AND PITKIN STREET, CLEVELAND AVENUE SOUTH OF EAST 79TH AVENUE FORMALLY KNOWN AS CLINE STREET, A PORTION OF SAID EAST 79TH AVENUE AND THOSE ALLEYS OF BLOCKS 4, 5 AND 6; ALL OF THE PLAT OF THE TOWN OF WELBY SECOND FILING RECORDED IN BOOK 1 PAGE 19 IN THE RECORDS OF THE CLERK AND RECORDER OF ADAMS COUNTY, STATE OF COLORADO.

## OWNERSHIP AND DEDICATION CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED WARRANT THEY ARE THE OWNERS OF A PARCEL OF LAND BEING LOTS 22 AND 23 BLOCK 1, LOTS 1-6 AND 11-17 BLOCK 2, LESS AND EXCEPT THE WEST 12' OF THE SOUTH 157.5' OF LOT 11, LOTS 1-7 BLOCK 3, LOTS 1-15 BLOCK 4, LOTS 1-15 BLOCK 5, LOTS 1-14 BLOCK 6 ALONG WITH MCKINLEY AVENUE, PITKIN STREET AND CLEVELAND AVENUE SOUTH OF EAST 79TH AVENUE, ALL OF THE PLAT OF THE TOWN OF WELBY SECOND FILING RECORDED IN BOOK 1 PAGE 19 IN THE RECORDS OF THE CLERK AND RECORDER OF ADAMS COUNTY, STATE OF COLORADO, AND A UNPLATTED PARCEL OF LAND, LOCATED WITHIN THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 2 SOUTH, RANGE 68 WEST, OF THE SIXTH PRINCIPAL MERIDIAN, SAID COUNTY AND STATE, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

**COMMENCING** AT THE WEST SIXTEENTH CORNER OF SECTIONS 25 AND 36, SAID TOWNSHIP AND RANGE, WHENCE THE NORTH LINE OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 36 BEARS NORTH 89°30'16" EAST, A DISTANCE OF 1307.22 FEET, ALL BEARINGS HEREON ARE REFERENCED THERETO;

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2. SOUTH 28°00'16" WEST, A DISTANCE OF 304.95 FEET;
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THENCE ALONG SAID EASTERLY BOUNDARY OF SAID PLAT OF THE TOWN WELBY, SECOND FILING THE FOLLOWING FIVE (5) COURSES;

1. SOUTH 00°03'42" EAST, A DISTANCE OF 170.40 FEET;
2. NORTH 89°50'03" WEST, A DISTANCE OF 9.18 FEET;
3. SOUTH 00°11'14" EAST, A DISTANCE OF 466.30 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY OF EAST 78<sup>TH</sup> AVENUE;

THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY THE FOLLOWING TWO (2) COURSES;

1. SOUTH 89°39'01" WEST, A DISTANCE OF 454.03 FEET;
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THENCE DEPARTING SAID NORTHERLY RIGHT-OF-WAY, NORTH 00°30'58" WEST, A DISTANCE OF 157.50 FEET;

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EXCEPTING THEREFROM THAT PORTION OF EAST 79<sup>TH</sup> AVENUE FORMALLY KNOWN AS CLINE STREET DESCRIBED AS FOLLOWS:

**BEGINNING** AT THE INTERSECTION OF THE EASTERLY RIGHT-OF-WAY OF SAID DENVER LARAMIE AND NORTHWESTERN RAILWAY AND THE NORTHERLY RIGHT-OF-WAY OF SAID EAST 79<sup>TH</sup> AVENUE;

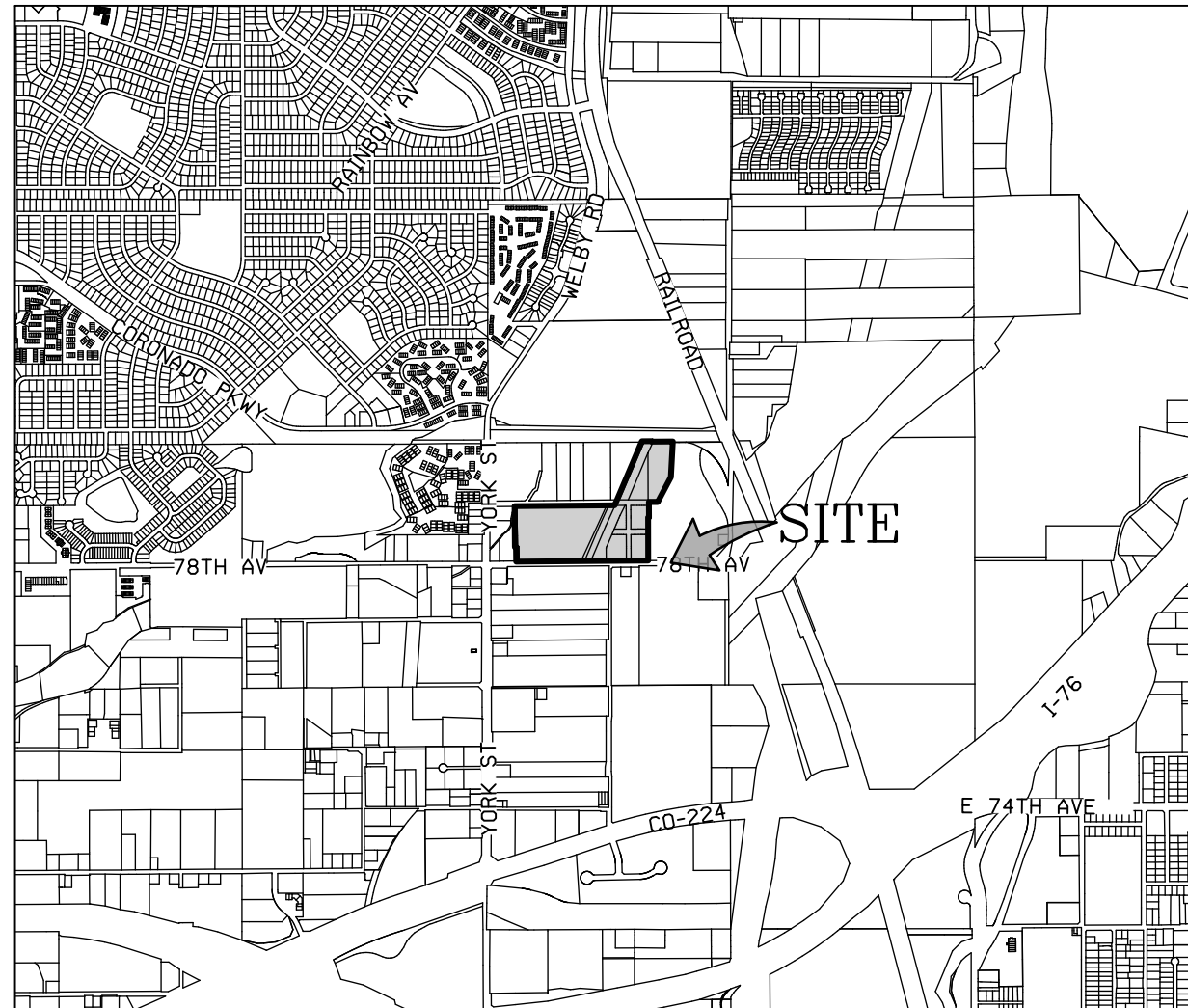
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THENCE ALONG SAID EASTERLY RIGHT-OF-WAY NORTH 23°00'32" EAST, A DISTANCE OF 65.43 FEET TO THE **POINT OF BEGINNING**.

RESULTING IN A NET AREA OF 26.317 ACRES, (1,146,370 SQUARE FEET), MORE OR LESS.



VICINITY MAP  
SCALE: 1"=1000'

## OWNERSHIP AND DEDICATION CERTIFICATE CONTINUED

HAS BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO BLOCKS, LOTS, STREETS, TRACTS AND EASEMENTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF OXENFREE AT WELBY--PRELIMINARY PLAT AND DO HEREBY GRANT TO THE COUNTY OF ADAMS, STATE OF COLORADO, FOR THE USE OF THE PUBLIC, THE STREETS AND OTHER PUBLIC WAYS AND LANDS HEREON SHOWN. ALSO, HEREBY GRANT TRACT D AND NON-EXCLUSIVE UTILITY EASEMENTS LOCATED AS SHOWN HEREON FOR THE INSTALLATION, MAINTENANCE, AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES, INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES, AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE, AND REPLACEMENT OF SUCH LINES.

EXECUTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 2023,

OWNER: COSIMI FARMS, LP, A COLORADO LIMITED PARTNERSHIP

BY: \_\_\_\_\_ AS: GENERAL PARTNER  
RON COSIMI

## ACKNOWLEDGEMENT

STATE OF NEW MEXICO )  
 )SS  
COUNTY OF \_\_\_\_\_ )

THE FOREGOING OWNERSHIP AND DEDICATION WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023,

BY RON COSIMI, GENERAL PARTNER AS AUTHORIZED SIGNATORY FOR COSIMI FARMS, LP, A COLORADO LIMITED PARTNERSHIP

WITNESS MY HAND AND OFFICIAL SEAL:

NOTARY PUBLIC \_\_\_\_\_

MY COMMISSION EXPIRES: \_\_\_\_\_

MY ADDRESS IS: \_\_\_\_\_

DATE	BY	REVISION DESCRIPTION
2023-06-07	TP	ADDRESSED CITY COMMENTS
2023-04-28	RBA, TP	ADDRESSED CITY COMMENTS
2023-03-15	RBA, TP	ADDRESSED CITY COMMENTS
REVISION TABLE		

## SURVEYOR'S CERTIFICATE

I, ANTHONY K. PEALL, A REGISTERED LAND SURVEYOR, REGISTERED IN THE STATE OF COLORADO DO HEREBY CERTIFY THAT THERE ARE NO ROADS, PIPELINES, IRRIGATION DITCHES, OR OTHER EASEMENTS IN EVIDENCE OR KNOWN BY ME TO EXIST ON OR ACROSS THE HEREIN BEFORE DESCRIBED PROPERTY EXCEPT AS SHOWN ON THIS PLAT. I FURTHER CERTIFY THAT I HAVE PERFORMED THE SURVEY SHOWN HEREON, OR SUCH SURVEY WAS PREPARED UNDER MY DIRECT RESPONSIBILITY AND SUPERVISION, THAT THIS PLAT ACCURATELY REPRESENTS SAID SURVEY, AND THAT ALL MONUMENTS EXIST AS SHOWN HEREON.

ANTHONY K. PEALL, LICENSED PROFESSIONAL LAND SURVEYOR  
COLORADO P.L.S. No. 38636  
FOR AND ON BEHALF OF AZTEC CONSULTANTS, INC.  
300 E. MINERAL AVE., SUITE 1, LITTLETON, CO 80122

**NOTICE:** ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

**NOTICE:** PER THE STATE OF COLORADO BOARD OF LICENSURE FOR ARCHITECTS, PROFESSIONAL ENGINEERS, AND PROFESSIONAL LAND SURVEYORS RULE 1.6.B.2 THE WORD "CERTIFY" AS USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED. THE SURVEY REPRESENTED HEREON HAS BEEN PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE AND IS BASED UPON MY KNOWLEDGE, INFORMATION AND BELIEF.

FOR REVIEW

## BOARD OF COUNTY COMMISSIONERS APPROVAL

APPROVED BY THE ADAMS COUNTY BOARD OF COMMISSIONERS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_

\_\_\_\_\_, A.D., 2023.

CHAIR \_\_\_\_\_

## ADAMS COUNTY ATTORNEY'S OFFICE

APPROVED AS TO FORM \_\_\_\_\_

## ADAMS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF ADAMS COUNTY AT \_\_\_\_M. ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 2023,

RECEPTION NO. \_\_\_\_\_

ADAMS COUNTY CLERK AND RECORDER

BY: \_\_\_\_\_  
DEPUTY

**AZTEC** CONSULTANTS, INC.  
300 East Mineral Ave., Suite 1  
Littleton, Colorado 80122  
Phone: (303) 713-1898  
Fax: (303) 713-1897  
www.aztecconsultants.com  
AzTec Proj. No.: 54822-16  
Drawn By: RBA

DATE OF PREPARATION:	08-12-2022
SCALE:	N/A
SHEET 1 OF 6	

# OXENFREE AT WELBY

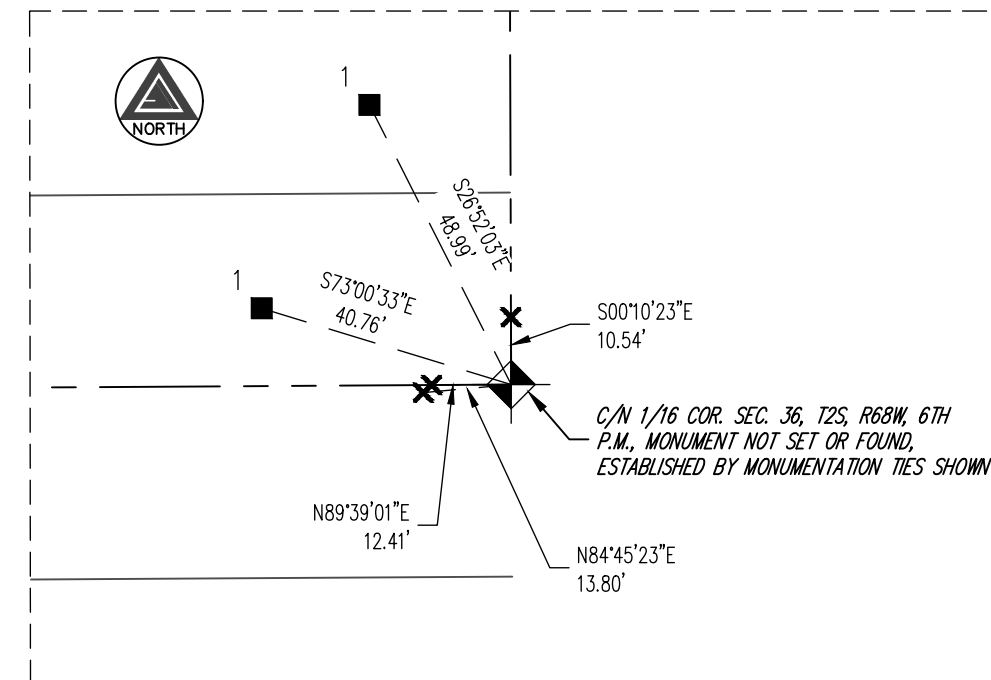
A PARCEL LOCATED IN THE NORTH HALF OF THE NORTHWEST QUARTER  
OF SECTION 36, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 2 OF 6

## GENERAL NOTES

- BEARINGS SHOWN HEREON ARE GRID BEARINGS DERIVED FROM GPS OBSERVATION BASED UPON THE COLORADO COORDINATE SYSTEM OF 1983 NORTH ZONE (NAD 83, 2011) REFERENCED TO THE NORTH LINE OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 2 SOUTH, RANGE 68 WEST, SIXTH PRINCIPAL MERIDIAN BEING MONUMENTED AS SHOWN HEREON, TAKEN TO BEAR NORTH 89°30'16" EAST, A DISTANCE OF 1,307.22 FEET.
- THE POLICY OF THE COUNTY REQUIRES THAT MAINTENANCE ACCESS SHALL BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO MAINTAIN SAID FACILITIES, THE COUNTY SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE SOLE PURPOSE OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNERS.
- ANY PERSON WHO KNOWINGLY REMOVES OR KNOWINGLY CAUSES TO BE REMOVED ANY PUBLIC LAND SURVEY MONUMENT, AS DEFINED BY SECTION 38-53-103 (18), C.R.S., OR CONTROL CORNER, AS DEFINED IN SECTION 38-53-103 (6), C.R.S., OR A RESTORATION OF ANY SUCH MONUMENT OR WHO KNOWINGLY REMOVES OR KNOWINGLY CAUSES TO BE REMOVED ANY BEARING TREE KNOWING SUCH IS A BEARING TREE OR OTHER ACCESSORY, AS DEFINED BY SECTION 38-53-103 (1), C.R.S., EVEN IF SAID PERSON HAS TITLE TO THE LAND ON WHICH SAID MONUMENT OR ACCESSORY IS LOCATED, COMMITS A CLASS 2 MISDEMEANOR UNLESS, PRIOR TO SUCH REMOVAL, SAID PERSON HAS CAUSED A COLORADO PROFESSIONAL LAND SURVEYOR TO ESTABLISH AT LEAST TWO WITNESS CORNERS OR REFERENCE MARKS FOR EACH SUCH MONUMENT OR ACCESSORY REMOVED AND HAS FILED OR CAUSED TO BE FILED A MONUMENT RECORD PURSUANT TO ARTICLE 53 OF TITLE 38, C.R.S.
- AZTEC CONSULTANTS, INC. HAS RELIED UPON THE PROPERTY INFORMATION COMMITMENT NO. 21000310421a PREPARED BY STEWART TITLE GUARANTY COMPANY, DATED MARCH 15, 2023, 5:30 P.M., FOR OWNERSHIP AND FOR THE PURPOSE OF SHOWING RECORDED EASEMENTS AND RIGHTS-OF-WAY ACROSS THESE PREMISES. THIS SURVEY AND PLAT DOES NOT CONSTITUTE A TITLE SEARCH BY AZTEC CONSULTANTS, INC., TO DETERMINE OWNERSHIP OF EXISTING EASEMENTS AND RIGHTS-OF-WAY.
- DISTANCES ON THIS PLAT ARE GROUND DISTANCES EXPRESSED IN U.S. SURVEY FEET AND DECIMALS THEREOF. A U.S. SURVEY FOOT IS DEFINED AS EXACTLY 1200/3937 METERS.
- THE SURVEYED PROPERTY SHOWN HEREIN LIES WITHIN OTHER AREAS - ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP INDEX NO. 08001C0604H, MAP REVISED MARCH 5, 2007.
- ALL LOTS ARE SUBJECT TO THE UTILITY EASEMENTS AS SHOWN HEREON.
- SURFACED ACCESS ROADS CAPABLE OF WITHSTANDING THE IMPOSED LOADS OF FIRE APPARATUS AND ALL REQUIRED FIRE HYDRANTS SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING CONSTRUCTION.
- ALL INTERNAL ROADS AND DRAINAGE FACILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH STREET CONSTRUCTION PLANS, PAVEMENT DESIGN, GRADING & EROSION CONTROL PLAN, AND A FINAL DRAINAGE PLAN SUBMITTED TO AND APPROVED BY ADAMS COUNTY.
- ALL THE PRIVATE ACCESSES WITHIN THE ACCESS EASEMENTS SHOWN HEREON WILL BE OWNED AND MAINTAINED BY THE OWNER, ITS SUCCESSOR'S AND ASSIGNS.
- NOTICE IS HEREBY GIVEN THAT THIS SUBDIVISION MAY BE SUBJECT TO A RECORDED DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS. ADAMS COUNTY IS NOT RESPONSIBLE FOR ENFORCEMENT OF THESE RECORDED COVENANTS, CONDITIONS, AND RESTRICTIONS THAT MAY BE FILED AGAINST THIS SUBDIVISION PLAT.
- THIS PLAN HAS BEEN APPROVED BY ADAMS COUNTY AND CREATES A VESTED PROPERTY RIGHT PURSUANT TO C.R.S. 24-68-101, ET SEQ., AS AMENDED, AND THE ADAMS COUNTY DEVELOPMENT STANDARDS AND REGULATIONS.
- UTILITY EASEMENTS AS SHOWN HEREON, ARE DEDICATED FOR ELECTRIC, GAS, TELEVISION CABLE, AND TELECOMMUNICATIONS FACILITIES. THE HOME OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE WITHIN THE EASEMENT EXCEPT THAT PORTION WITHIN THE PRIVATE ALLEY TRACT WHERE APPLICABLE. THE PRIVATE ALLEY TRACTS WILL BE MAINTAINED BY THE OWNER. PUBLIC SERVICE COMPANY REQUESTS THESE UTILITY EASEMENTS BE DEDICATED TO ADAMS COUNTY FOR THE BENEFIT OF THE APPLICABLE UTILITY PROVIDERS FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF ELECTRIC, GAS, TELEVISION, CABLE, AND TELECOMMUNICATIONS FACILITIES (DRY UTILITIES). UTILITY EASEMENTS SHALL ALSO BE GRANTED WITHIN ANY ACCESS EASEMENTS AND PRIVATE STREETS IN THE SUBDIVISION. PERMANENT STRUCTURES, IMPROVEMENTS, OBJECTS, BUILDINGS, WELLS, WATER METERS AND OTHER OBJECTS THAT MAY INTERFERE WITH THE UTILITY FACILITIES OR USE THEREOF (INTERFERING OBJECTS) SHALL NOT BE PERMITTED WITHIN SAID UTILITY EASEMENTS AND THE UTILITY PROVIDERS, AS GRANTEEES, MAY REMOVE ANY INTERFERING OBJECTS AT NO COST TO SUCH GRANTEEES, INCLUDING, WITHOUT LIMITATION, VEGETATION. WET UTILITIES (WATER, SANITARY SEWER, AND/OR STORM SEWER) SHALL CROSS DRY UTILITY EASEMENTS AT NEAR RIGHT ANGLES.

## LAND SUMMARY CHART

TRACT	AREA (S.F.±)	AREA (AC)	USE	OWNER
A	2,915	0.067	OPEN SPACE	COSIMI FARMS, LP
B	34,959	0.803	OPEN SPACE, DRAINAGE	COSIMI FARMS, LP
C	5,381	0.124	OPEN SPACE, UTILITIES, DRAINAGE	COSIMI FARMS, LP
D	112,644	2.586	OPEN SPACE, DRAINAGE	COSIMI FARMS, LP
*THIS SUBDIVISION PLAT CONTAINS 9 SUPER LOTS AND 4 TRACTS				
TOTAL TRACT AREA	155,899	3.580		
TOTAL LOT AREA	745,235	17.107		
TOTAL ROW AREA	245,236	5.630		
TOTAL SITE AREA	1,146,370	26.317		



DETAIL "A"  
SCALE: 1" = 30'

## DETAIL A MONUMENT SYMBOL LEGEND

- DEFINED EDGE OF CONCRETE PER MONUMENT RECORD DATED JUNE 04, 1987 FILED BY CHARLES H. RUSSELL
- ✕ CHISELED CROSS IN HEADWALL

FOR REVIEW

FOR AND ON BEHALF OF  
AZTEC CONSULTANTS, INC

**AZTEC**  
CONSULTANTS, INC.  
300 East Mineral Ave., Suite 1  
Littleton, Colorado 80122  
Phone: (303) 713-1898  
Fax: (303) 713-1897  
www.aztecconsultants.com  
AzTec Proj. No.: 54822-16  
Drawn By: RBA

DATE OF PREPARATION:	08-12-2022
SCALE:	N/A
SHEET 2 OF 6	



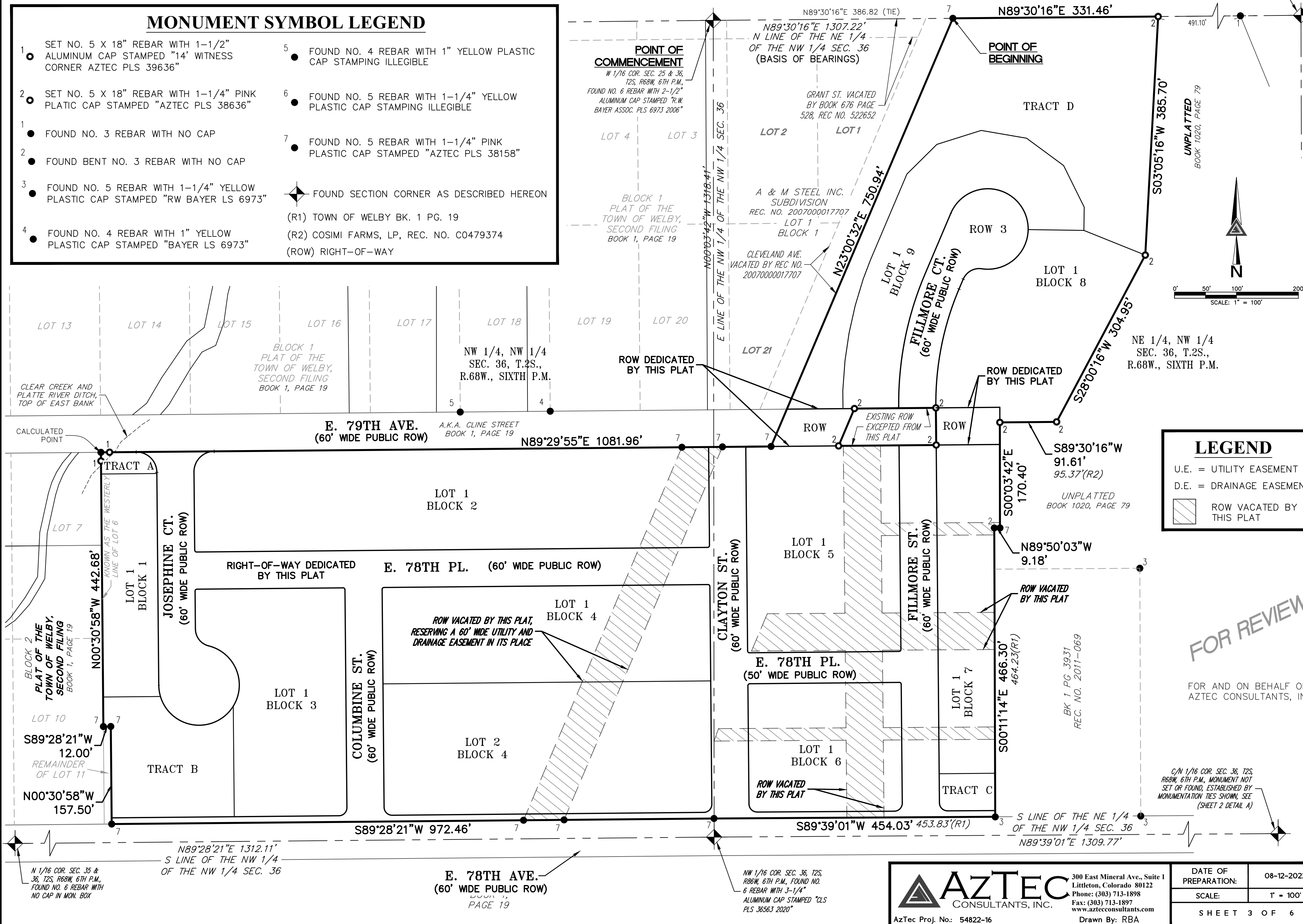
# OXENFREE AT WELBY

A PARCEL LOCATED IN THE NORTH HALF OF THE NORTHWEST QUARTER  
OF SECTION 36, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 3 OF 6

CASE NO. PRC2022-00013

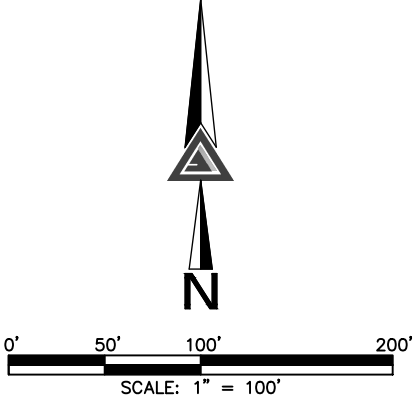
## MONUMENT SYMBOL LEGEND

- |                                                                                                 |                                                                              |
|-------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------|
| 1 ● SET NO. 5 X 18" REBAR WITH 1-1/2" ALUMINUM CAP STAMPED "14" WITNESS CORNER AZTEC PLS 39636" | 5 ● FOUND NO. 4 REBAR WITH 1" YELLOW PLASTIC CAP STAMPING ILLEGIBLE          |
| 2 ● SET NO. 5 X 18" REBAR WITH 1-1/4" PINK PLATIC CAP STAMPED "AZTEC PLS 38636"                 | 6 ● FOUND NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPING ILLEGIBLE      |
| 1 ● FOUND NO. 3 REBAR WITH NO CAP                                                               | 7 ● FOUND NO. 5 REBAR WITH 1-1/4" PINK PLASTIC CAP STAMPED "AZTEC PLS 38158" |
| 2 ● FOUND BENT NO. 3 REBAR WITH NO CAP                                                          | ◆ FOUND SECTION CORNER AS DESCRIBED HEREON                                   |
| 3 ● FOUND NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "RW BAYER LS 6973"                 | (R1) TOWN OF WELBY BK. 1 PG. 19                                              |
| 4 ● FOUND NO. 4 REBAR WITH 1" YELLOW PLASTIC CAP STAMPED "BAYER LS 6973"                        | (R2) COSIMI FARMS, LP, REC. NO. C0479374                                     |
|                                                                                                 | (ROW) RIGHT-OF-WAY                                                           |



N 1/4 COR. SEC. 36, T2S, R68W, 6TH P.M., FOUND NO. 6 REBAR WITH 2-1/2" ALUMINUM CAP STAMPED "LS 29425 2019"

UNPLATTED BOOK 1020, PAGE 79



NE 1/4, NW 1/4 SEC. 36, T.2S., R.68W., SIXTH P.M.

## LEGEND

- U.E. = UTILITY EASEMENT
- D.E. = DRAINAGE EASEMENT
- ROW VACATED BY THIS PLAT

FOR REVIEW

FOR AND ON BEHALF OF AZTEC CONSULTANTS, INC

C/N 1/16 COR. SEC. 36, T2S, R68W, 6TH P.M., MONUMENT NOT SET OR FOUND, ESTABLISHED BY MONUMENTATION TIES SHOWN, SEE (SHEET 2 DETAIL A)

**AZTEC**  
CONSULTANTS, INC.

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Littleton, Colorado 80122  
Phone: (303) 713-1898  
Fax: (303) 713-1897  
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AzTec Proj. No.: 54822-16  
Drawn By: RBA

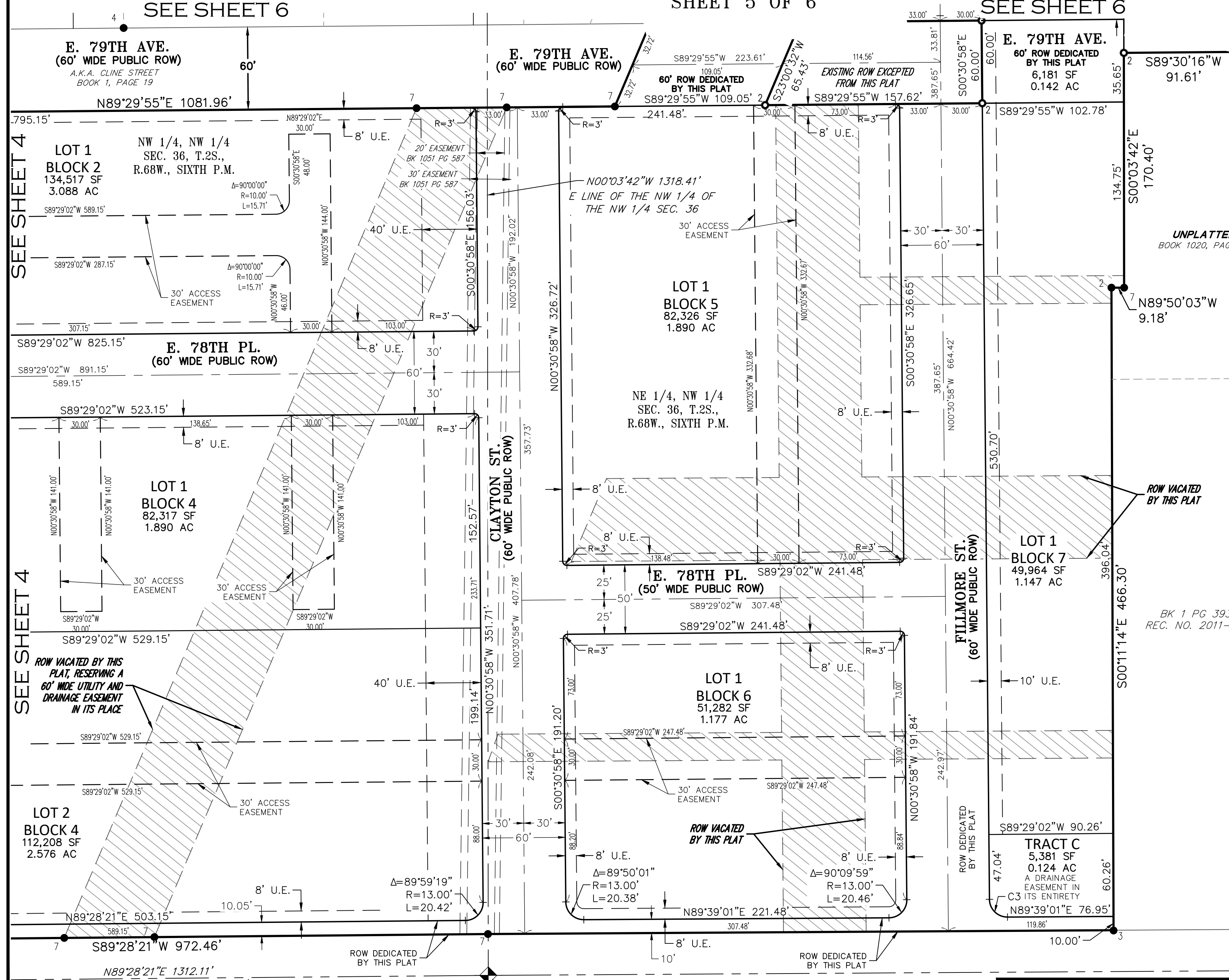
DATE OF PREPARATION:	08-12-2022
SCALE:	1" = 100'
SHEET 3 OF 6	



# OXENFREE AT WELBY

A PARCEL LOCATED IN THE NORTH HALF OF THE NORTHWEST QUARTER  
OF SECTION 36, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 5 OF 6

CASE NO. PRC2022-00013

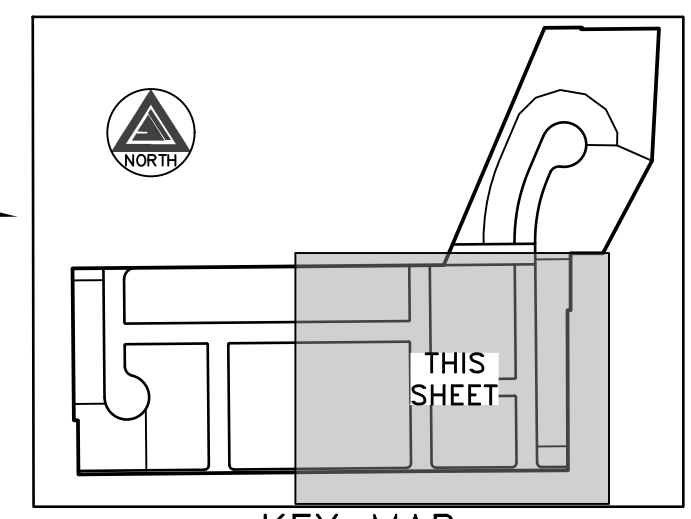


SEE SHEET 4

SEE SHEET 4

SEE SHEET 4

SEE SHEET 6

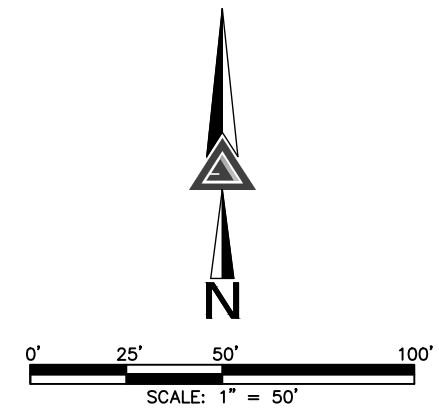


SEE SHEET 3  
FOR MONUMENT  
LEGEND

SEE SHEET 6  
FOR LINE  
AND CURVE  
TABLES

**LEGEND**

- U.E. = UTILITY EASEMENT
- D.E. = DRAINAGE EASEMENT
- ROW VACATED BY THIS PLAT



FOR REVIEW

FOR AND ON BEHALF OF  
AZTEC CONSULTANTS, INC

DATE OF PREPARATION:	08-12-2022
SCALE:	1" = 50'
SHEET 5 OF 6	

**AZTEC**  
CONSULTANTS, INC.

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www.aztecconsultants.com  
Drawn By: RBA

AzTec Proj. No.: 54822-16

NW 1/16 COR. SEC. 36, T2S, R68W,  
6TH P.M., FOUND NO. 6 REBAR  
WITH 3-1/4" ALUMINUM CAP  
STAMPED "OLS PLS 36563 2020"

**E. 78TH AVENUE**  
(60' WIDE PUBLIC ROW)

UNPLATTED  
BOOK 1020, PAGE 79

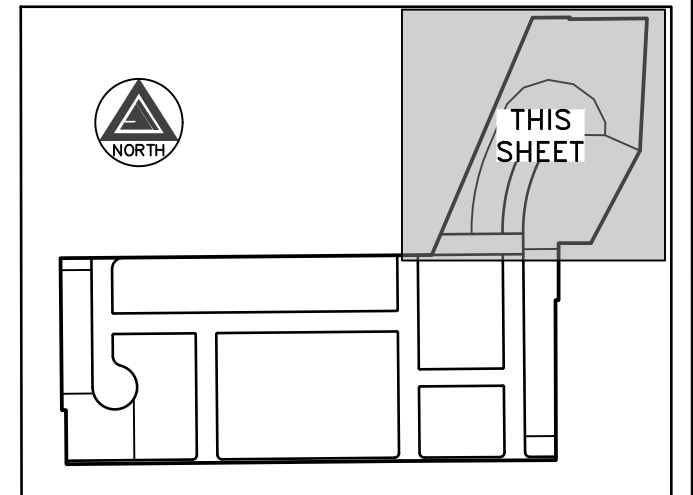
BK 1 PG 3931  
REC. NO. 2011-069

N89°28'21"E 1312.11'  
S LINE OF THE NW 1/4 OF THE NW 1/4 SEC. 36

# OXENFREE AT WELBY

A PARCEL LOCATED IN THE NORTH HALF OF THE NORTHWEST QUARTER  
OF SECTION 36, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,  
COUNTY OF ADAMS, STATE OF COLORADO  
SHEET 6 OF 6

CASE NO. PRC2022-00013



KEY MAP  
N.T.S.

CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C1	89°59'59"	33.00'	51.84'
C3	89°50'01"	13.00'	20.38'

UNPLATTED  
BOOK 1020, PAGE 79

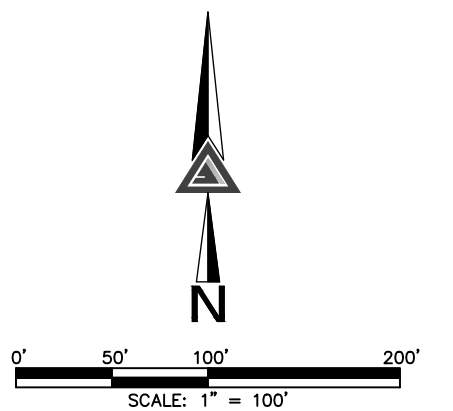
NE 1/4, NW 1/4  
SEC. 36, T.2S.,  
R.68W., SIXTH P.M.

SEE SHEET 3  
FOR MONUMENT  
LEGEND

## LEGEND

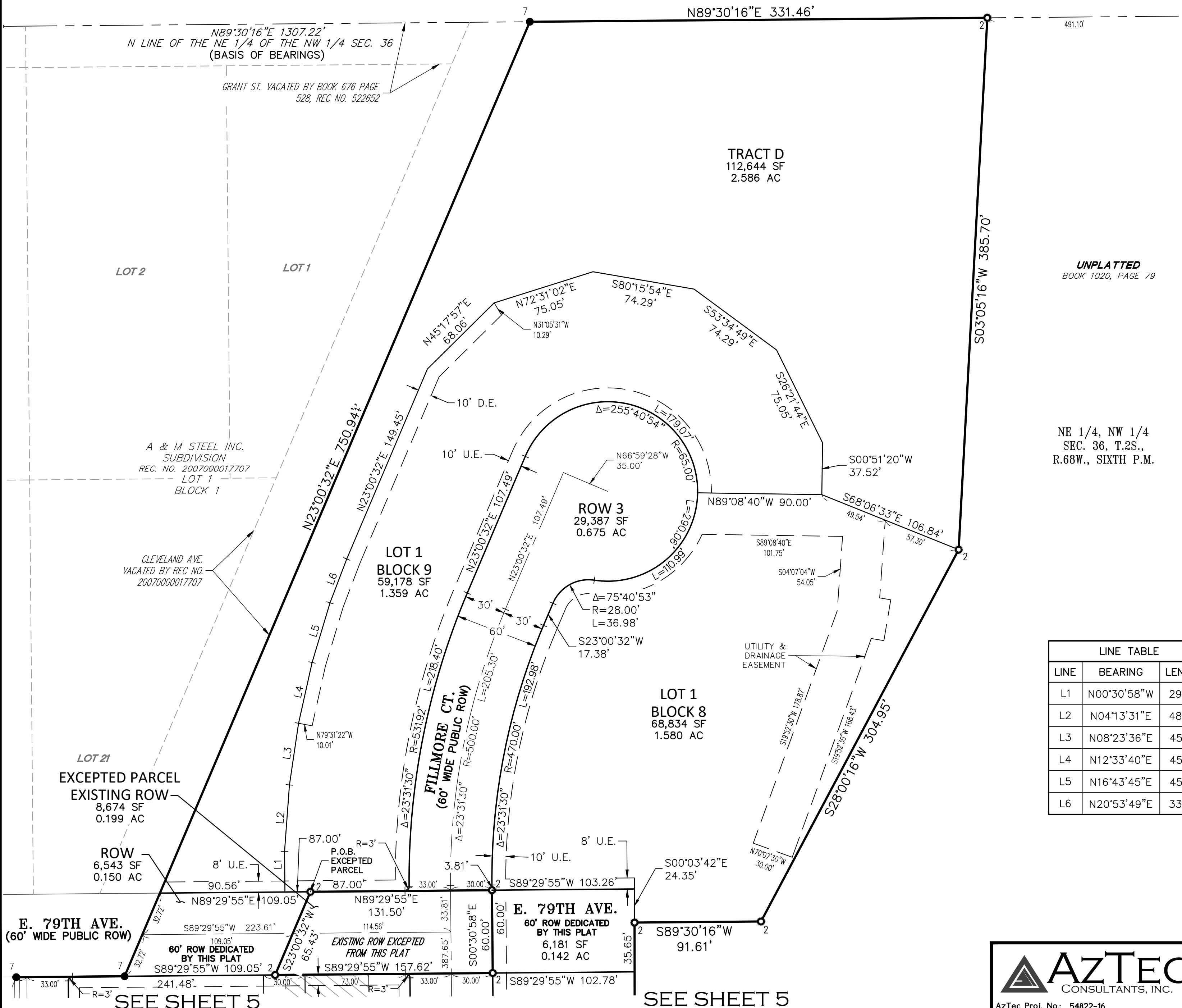
- U.E. = UTILITY EASEMENT
- D.E. = DRAINAGE EASEMENT
- ROW VACATED BY THIS PLAT

LINE TABLE		
LINE	BEARING	LENGTH
L1	N00°30'58"W	29.44'
L2	N04°13'31"E	48.23'
L3	N08°23'36"E	45.12'
L4	N12°33'40"E	45.12'
L5	N16°43'45"E	45.12'
L6	N20°53'49"E	33.99'



FOR REVIEW

FOR AND ON BEHALF OF  
AZTEC CONSULTANTS, INC



SEE SHEET 5

SEE SHEET 5

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AzTec Proj. No.: 54822-16  
Drawn By: RBA

DATE OF PREPARATION:	08-12-2022
SCALE:	1" = 50'
SHEET 6 OF 6	





August 16, 2023

Adams County  
Attn: Greg Barnes  
4430 South Adams County Parkway  
Brighton, CO 80601

**Re: Oxenfree at Welby: Written Explanation  
Final Development Plan (FDP), Final Plat & ROW Application**

Dear Mr. Barnes:

Please find enclosed development applications for a Final Development Plan (FDP), Final Plat & ROW Vacation for the site located generally northeast of the intersection of York and 78th Avenue, east of the Assumption of the Blessed Virgin Mary Catholic Church in unincorporated Adams County. This application has been prepared by and for the following parties to the benefit of the residents of Adams County and the surrounding areas.

**Applicant**

Core Spaces  
Contact: Shannon Robbins  
1643 N. Milwaukee Ave. 5<sup>th</sup> Floor  
Chicago, IL 60647  
[shannonr@corespaces.com](mailto:shannonr@corespaces.com)

**Landscape Architect**

Norris Design  
Contact: David Lane  
1101 Bannock St.  
Denver, Colorado 80204  
303-892-1166  
[dlane@norris-design.com](mailto:dlane@norris-design.com)

**Entitlements**

Norris Design  
Contact: Daniel Braswell  
1101 Bannock St.  
Denver, Colorado 80204  
303-892-1166  
[dbraswell@norris-design.com](mailto:dbraswell@norris-design.com)

**Civil Engineer**

Redland Consultants  
Contact: Evan Rumney  
1500 West Canal Court  
Littleton, CO 80120  
(720) 283-6783  
[erumney@redland.com](mailto:erumney@redland.com)

**About the Applicant**

Core Spaces, the applicant, is a residential for-rent developer, long-term holder, and operator of communities that are dedicated to superb design, inclusive communities, and sustainable living. Our communities, called Oxenfree, are developed with the aspirations of our residents, needs of our municipalities, and the uniqueness of our sites in mind.

We ensure a great resident experience and high quality of life through a mix of service and convenience. This thread is carried through from the design approach of individual units to the quality and functionality of our amenities and open spaces, to the lifestyle benefits offered by our technology and management teams.

We bring a 'hospitality-mindset' in our approach to managing the community to ensure a great resident experience. Oxenfree Communities strive to build places that are authentic - inspired by the local culture; and deeply sustainable - embracing the site's natural features and landscape, leaving an enduring legacy. Our



communities are designed for people – featuring walkability, wellness, a vibrant social environment, and high quality of life.

The Fieldhouse is the Heart of the Community, with amenities promoting socialization, wellness, and convenience. It is an everyday place and a special events place all in one. A rich variety of amenities and environments are provided throughout the community ranging from small pockets to landmark parks to natural areas. These spaces offer a diversity of programming that emphasize wellness and socialization.

Homes are intentionally designed with large front facing windows, and utilize design elements such as stoops, porches, or front yard seating areas to enhance the user experience for both residents and neighbors. These features also help to provide ‘eyes on the street’, fostering a feeling of safety and security without being obtrusive. The homes feature a diversity of architectural forms, styles, and layouts woven together into a rich visual tapestry that makes the neighborhood feel like it has been developed over time, yet all belong to the same place.

### **Project Description**

Core Spaces proposes a new residential subdivision to provide new single-family rental homes in the Welby neighborhood of Adams County. This property is approximately 26.3 acres located generally northeast of the intersection of York and 78th Avenue, east of the Assumption of the Blessed Virgin Mary Catholic Church in unincorporated Adams County. This PUD proposes 222 residential units (8.4 DU/AC) that will provide new rental homes to provide some relief to the current housing demand within the County. The new community is designed to attract a broad spectrum of residents and provide an opportunity for families to live in single-family housing. The neighborhood will have convenient access to major transportation corridors and is located within a mile and a half of two stations on RTD’s N line.

Oxenfree at Welby provides a pocket park on the western edge adjacent to the Assumption Church as a gateway to the community and the Heart of Welby. A network of trails weaves through common green spaces with seating areas and active and passive amenities that connects this park to the Fieldhouse on the eastern edge of the community. A mix of attached and detached homes will provide a diverse housing mix to attract a diverse mix of residents, meeting Adams County needs and goals.

The surrounding properties are zoned R-1-C, PUD, I-1, I-2, and A-1. This development provides residential infill the Heart of Welby and provides housing opportunities in an underhoused area of Adams County.

The property is located near several key transit areas creating great opportunity for alternative commuting options for residents. 72nd and Sheridan RTD station is approximately 1.2 miles southeast and the original Thornton and 88th RTD station is approximately 1.5 miles north.

Three applications are covered with this written explanation, including the Final Development Plan (FDP), Final Plat & ROW Vacation Application.

### **Access and Parking**

The primary entrance to the site will be on Clayton Street taking access from East 78th Avenue with two additional accesses points on East 78th Avenue. The existing Cleveland Street that cuts the site at a diagonal will be vacated. E 79<sup>th</sup> Avenue will be improved from its existing condition and extended to connect into York Street. A system of internal public streets and walkways will provide access through the neighborhood.

Oxenfree at Welby will provide a minimum of two (2) resident parking spaces per home. Front load homes will include two (2) visitors parking spaces per home. Alley loaded homes will include 117 on-street guest parking



spaces, appx. .64 spaces per unit The clubhouse and pool area will feature 22 off-street spaces, which can be utilized as guest spaces after hours.

### **Drainage and Infrastructure**

Oxenfree at Welby will be served by North Washington Street Water and Sanitation District. Waterlines will be looped throughout the Site with connections to the E 78th Avenue and E 79th Avenue waterlines. The Site is proposing 3 points of access and the use of adequately spaced fire hydrants meeting the standards and requirements of the Adams County Fire Department. Sanitary sewer will run throughout the Site. The sanitary sewer for the Site will outfall to the south at the existing 12" sanitary sewer main within Clayton Street. Xcel Energy will provide dry utilities.

The site is contained within FIRM panel #08001C0604H dated March 5, 2007. According to Panel, no floodplains exist on the Site. However, the Flood Hazard Delineation, Niver Creek, Tributary L, and Tributary M (FHAD) prepared by Jacobs, dated August 2021 indicates that flood waters do reach the Site. Wright Water Engineers has been retained by the developer to study the proposed site grading and its impacts to the floodplain identified in the FHAD. It is the intent of the developer to ensure there are minimal impacts to the adjacent floodplain. The CLOMR submittal is currently under review by Mile High Flood District and FEMA for review and concurrence.

### **Open Space**

The proposed neighborhood provides open space areas consistent with this type of urban infill development, meeting and exceeding the PUD and PDP minimum requirement of 30% overall open space (7.887 ac.) with 25% of the overall open space (1.972 ac.) classified as active open space. The community is providing 60% overall open space (appx. 15.767 ac.), with 52% of that area (appx. 4.108 ac.) dedicated to active uses. A pocket park, clubhouse amenity area, linear greenways, and a network of community trails comprise the active open space areas.

### **Applicability to Comprehensive Plan**

This property is identified as Mixed-Use Neighborhood in the 2022 Welby Plan and Future Land Use Map. As discussed in the Welby Plan and Comprehensive Plan, Mixed Use Neighborhoods category allows for a range of urban level residential uses, including single and multi-family housing combined with compatible and supporting uses and activities that serve the neighborhood and are developed and operated in harmony with the residential characteristics of a neighborhood.

Mixed Use Neighborhoods are encouraged in infill areas and within County and municipality growth areas where it can be readily served by a full range of urban services and access to existing infrastructure and transportation options. Being located on 78th Avenue and 79th Avenue provides commitments for water, sewer, power and gas, the infrastructure exists to help facilitate these new residential homes.

The 2022 Adams County Comprehensive Plan outlines key goals to creating a more sustainable and resilient Adams County. The key goals that strongly relate to Oxenfree at Welby and how the Planned Development Plan will meet these goals are outlined below:

#### Community Housing Goals:



*Goal 1: Support sustainable and responsible land use planning for residential growth*

Oxenfree at Welby is an infill development that takes advantage of existing infrastructure to aid in reducing fiscal impacts with new development. It provides revitalization and reinvestment in an established area to meet the needs of a variety of residents and will provide improvements to existing streets and an investment in the Welby neighborhood.

*Goal 2: Increase housing opportunities throughout Adams County by taking a proactive role in addressing housing affordability, diversity, and supply through land use regulations.*

This development will provide a wide range of housing types for all family types. With the cost of buying a house increasing across the County, this community provides an opportunity for families to find affordable housing and establish roots in an established neighborhood.

*Goal 5: Establish and sustain safe, secure, and livable neighborhoods that meet the everyday needs of residents.*

Internal neighborhood streets will feature detached sidewalks that connect into an internal trail network that links into the proposed Pocket Park and the Fieldhouse area. There will be sidewalk connections that provide access to the Niver Creek Trail, via York Street. The Colorado Front Range Trail can be accessed via 78<sup>th</sup> Ave. The neighborhood is within a mile and a half of two RTD stations, corridors and within municipal and county growth areas in the Southwest Area of the County.

#### Built Environment & Connections

*Goal 1: Support existing communities and accommodate growth and development that coordinates with local plans, is fiscally and environmentally responsible, and enhances the overall well-being of the community.*

This development takes advantage of existing infrastructure to aid in reducing fiscal impacts with new development. Oxenfree at Welby is located adjacent to existing streets and infrastructure on 78th and 79th Avenues, set to take advantage of the existing infrastructure and roadway network.

#### **Board of County Commissioners:**

The Adams County Board of County Commissioners unanimously approved the Oxenfree at Welby PDP and Preliminary Plat on August 15, 2023. The following conditions were adopted as conditions of approval.

#### The proposed conditions of approval are as follows:

- Roadway Vacation Application: A formal application for roadway vacation shall be included as part of the final plat and final development plan applications. This application aims to remove the existing right-of-way network throughout the site. The approval of the preliminary plat is contingent upon obtaining the necessary approval for roadway vacations within the boundaries of our site.
- Roadway Construction and Improvements: East 79th Avenue from York Street to the proposed Fillmore Street will be built and improved by the applicant. From York Street to Clayton Street, East 79th Avenue must be built to Adams County's standard local industrial street standards. Furthermore, the proposed Clayton Street must adhere to the County's local industrial street standards. These enhancements will be included in the project's final plat application. To allow for detached sidewalks and excessive sidewalk widths, exceptions to the County's standard local industrial street standards can be made.
- Future Expansion Considerations: In anticipation of possible future expansion of East 79th Avenue to the east, the applicant has willingly agreed to remove the "to be vacated" language from the preliminary plat approval for portions of East 79th Avenue located east of the proposed Fillmore Street.





We look forward to working with County Staff on the review and approval of this new neighborhood in Adams County. Feel free to contact our team directly should you have any comments, questions, and/or requests for additional information.

Sincerely,

Norris Design

A handwritten signature in black ink that reads "Daniel Braswell". The signature is stylized with a large, sweeping flourish that loops around the end of the name.

Daniel Braswell  
Associate