



Re-submittal Form

Case Name/ Number: _____

Case Manager: _____

Re-submitted Items:

- Development Plan/ Site Plan
- Plat
- Parking/ Landscape Plan
- Engineering Documents
- Subdivision Improvements Agreement (Microsoft Word version)
- Other: _____

*** All re-submittals must have this cover sheet and a cover letter addressing review comments.**

Please note the re-submittal review period is 21 days.

The cover letter must include the following information:

- Restate each comment that requires a response
- Provide a response below the comment with a description of the revisions
- Identify any additional changes made to the original document

For County Use Only:

Date Accepted:

Staff (accepting intake):

Resubmittal Active: Engineering; Planner; Right-of-Way; Addressing; Building Safety;

Neighborhood Services; Environmental; Parks; Attorney; Finance; Plan Coordination



Updated: October 27, 2023

Greg Barnes
Principal Planner
Adams County Community and Economic Development
4430 South Adams County Parkway, 1st Floor, Suite W2000A
Brighton, CO 80601

RE: Clear Creek Transit Village – Final Development Plan and Final Plat

Dear Mr. Barnes,

On behalf of our clients, Clear Creek Development, LLC, we are pleased to submit the Final Development Plan (FDP) and Final Plat applications for the Clear Creek Transit Village.

In order to submit an FDP and Final Plat applications, Adams County requires that we receive prior approval from the Board of County Commissioners of the Preliminary Plat and the Preliminary Development Plan (PDP). Those applications were approved in November of 2022. Additional information about the PDP and Preliminary Plat is included in the Project Overview section.

Below are the various project contacts and consultants which comprise our team:

Applicant and Current Owner

Clear Creek Development, LLC
14034 S. 145 E. #301
Draper, Utah 84020
801-809-9294
Contact: Michael Christensen

Applicant

Pacific North Enterprises, LLC
900 Castleton Drive, Suite 118
Castle Rock, CO 80109
303-955-5291
Contact: Bryan Byler

Civil Engineer

Kimley-Horn
3801 Automation Way
Fort Collins, CO 80525
970-822-7911
Contact: Andy Reese

Planner/ Landscape Architect

Norris Design
1101 Bannock St.
Denver, Colorado 80204
303-892-1166
Contact: Bill Mahar

Architect

Godden Sudik Architects
5975 S. Quebec St.
Centennial, CO 80111
303-455-4437
Contact: Alex Duran

Transportation Engineer

Fox Tuttle Transportation Group
1624 Market Street, Suite 202
Denver, CO 80202
303-652-3571
Contact: Steve Tuttle

Dry Utility Coordination

Kimley-Horn
380 Interlocken Crescent
Suite 100
Broomfield, CO 80021
720-642-8650
Contact: Justin Knowles



Enclosed along with this letter please find the following submittal documents:

Final Development Plan and Final Plat:

1. Response To Comments
2. Project Narrative
3. Final Development Plan
4. Final Plat
5. Civil Site Plan
6. Site Illustrative
7. Supplemental Landscape Details
8. Supplemental Design Standards
9. Subdivision Improvement Agreement

Subdivision Engineering Review Application:

1. Engineering Comment Responses
2. Stormwater Comment Responses
3. Mile High Flood District Comment Responses
4. CCTV Civil Construction Plans
5. Federal Boulevard Construction Plans
6. Level 3 Drainage Report
7. Sanitary Sewer Study

Preliminary Development Plan Application

1. Submittal Checklist
2. Application
3. Preliminary Development Plan
4. Civil Site Plan
5. Title Commitment
6. Legal Description

Site Location

The proposed Clear Creek Transit Village development is situated on approximately 21 acres located directly west of Federal Boulevard, between West 60th and West 61st Avenues in Adams County, CO. Vehicular access to the site is provided via Federal Boulevard, and Interstate 76 is located approximately one-quarter mile to the south. The site borders the Clear Creek riparian area and is located near the Lake Sangraco reservoir and the Clear Creek Federal Transit Station. Trail, commuter rail, and bus access all exist within proximity to the site, which provide a transit-rich environment and offers a range of commuting and mobility options. The proposed development offers convenient access to downtown, which can be reached in approximately 15 minutes via car or commuter rail.



Adjacent land uses include a recycling center to the north and a used car dealership to the south. Lake Sangraco is located to the northwest and west and residential uses are located beyond the lake.

Project Overview

The original PDP for this site which provides the overall zoning and basic site layout for the site was approved in 2012, amended in 2015, and amended again recently in September 2022. The most recent PDP amendment was minor and revised the roadway alignment to be consistent with the preliminary plat; this did not significantly vary the overall roadway network, but rather ensured that the network met the utility and easement requirements as required by Crestview Water and Sanitation District needed to serve the future project. Additionally, street sections and landscape concepts which were outlined in the PDP were revised to meet width and utility specifications. Much like the PDP, the Final Development Plan provides specific site engineering as well as layout of buildings, streets, and common areas.

The proposed development will bring a high-quality mix of retail and residential uses to a visible and accessible location. A total of 936 residential units and approximately 31,000 square feet of retail space are proposed within a range of building types linked by a common urban development pattern. Six- and seven-story multifamily buildings with ground-floor retail space are situated adjacent to Federal Boulevard on the east end of the site, and a gradual transition carries building styles down to two and three-story townhomes located at the west end of the community. In between, five-story mid-rise multifamily buildings that step down to two stories at the northern edge are positioned to provide a transition across the site and to the residential uses located beyond Lake Sangraco. The planning and design intent of the proposed community follows the existing standards created as part of the Preliminary Development Plan approved in 2015 and recently amended in the fall of 2022. The proposed plan is not intended to meet the maximum allowed buildout and density allowed by the PDP. The applicant has also applied for a Major PDP Amendment. The proposed amendment seeks to align the PDP with the FPD and reduces density, lowers building heights, specifies land uses, and updates parking requirement classifications.



Below: Proposed site layout.



Below: Aerial perspective of proposed neighborhood looking southeast towards downtown Denver





Below: Central Park Concept



The proposed community is designed within the framework of the transit-oriented development pattern set forth in the PDP. The plan follows the design concepts established in the PDP and remains within approved densities and building coverages. In Adams County, attached single-family units, which include townhomes and duplexes, account for less than 9% of the housing stock. Townhomes proposed with this development will increase housing options for the region, while mixed-use buildings with new commercial space set in motion the County's goals of revitalizing Federal Boulevard's commercial centers (Adams County, 2012).

Architecture Concept

Clear Creek Transit Village contains a mix of residential and commercial buildings. The architecture will celebrate the interconnectivity of transit and is defined by connections, intersections, and overlaying modes. Massing and materials will appear woven together in the multifamily building design, and at least one material (in style, color, and application) will be chosen to be "woven" in from an adjacent building. A contemporary nod to this historical style will further reinforce the celebration of connectivity. Streamline Moderne naturally lends itself to the architectural emphasis of movement, pattern, and inter-woven forms. This is not the Art Deco of Miami Beach, but a minimalistic, pure-form approach, making sophisticated gestures towards the historic style. Color palettes are to be masculine and subdued.



Below: The proposed multi-family buildings on the east side of the proposed Central Park.



Continuing the spirit of the District Neighborhood, the townhome architecture will have shared elements that reinforce the identity of the district. Massing will continue to reflect connections, intersections, and overlaying modes. Townhome massing and materials have a “woven” together feel and Streamline Moderne style. The architecture of the townhomes features brick masonry, accent siding, and low slope roofs. There are a mix of front and rear loaded 3-story townhomes as well and 2-story front loaded townhomes, each with private outdoor space.

Relationship to Adopted Plans

The Clear Creek Transit Village development falls within the influence of the 2012 Adams County Comprehensive Plan, 2014 Federal Boulevard Framework Plan, and 2017 Clear Creek Corridor Master Plan.

The 2012 Adams County Comprehensive Plan classifies the site’s context as an Activity Center, prescribing “high intensity residential, retail, [and] office” as the primary uses. Goals of the land use include providing an “adequate intensity and mix of uses to create a pedestrian environment and support transit” (Adams County, 2012). The proposed Clear Creek development, which includes residential, commercial, and mixed-use buildings is designed within this context and with an urban-scale density and development pattern. These features enable walkability and offer sufficient density to enable alternative mobility options, thereby meeting the goals of the Activity Center land use.

In the 2014 Federal Boulevard Framework Plan, Federal Boulevard is envisioned as a multimodal corridor that transitions away from its auto-centric origins and instead “accommodates a range of non-motorized travel modes and enhances adjacent businesses” (Adams County Planning, 2014). The Plan notes that a number of roadway and intersection improvements are being evaluated in order to address high rates of pedestrian and vehicular accidents and improve traffic flow, sidewalks, and lighting. Streetscape improvements proposed along Federal Boulevard within the Clear Creek Transit Village development include widened sidewalks, aesthetically pleasing landscaping, and a full-access, lighted intersection of 60th Avenue and Federal Boulevard.



The 2017 Clear Creek Corridor Master Plan identifies several future needs within this vicinity of Federal Boulevard, including enhanced pedestrian facilities and public park space (Adams County Parks, 2018). The proposed Clear Creek Transit Village development is designed to enhance pedestrian mobility along Federal Boulevard while enabling direct access to the Clear Creek Trail. The addition of green space adjacent to the trail will offer enhanced access to utilize Clear Creek as a natural amenity.

Multimodal Transportation Design

The Clear Creek Transit Village is to be located in a transit-rich environment that offers many transportation options including trail, commuter rail, and bus access. In 2009, Adams County adopted the Clear Creek Valley TOD Plan. This plan set goals for development and mobility while creating guidance on future development on this site. The TOD plan followed a specific study for this area, entitled the Clear Creek Transit Village Vision Plan. Goals set in the Vision Plan include creating a mass of residents, employees, and shoppers while maximizing access to the RTD rail station and nature while reducing overall carbon footprints. Through the use of higher densities, streets designed for lower vehicular speeds, and buildings fronting along sidewalks this development meets the intent of the Vision Plan.

Being less than 1/4 mile to the Clear Creek/Federal RTD Station, which opened in 2016, the addition of density to this site will allow many residents, employees, and shoppers to have enhanced access to this development as well as the greater transportation network as a whole. With housing, destinations, and recreational opportunities on this site, the Clear Creek Transit Village meets the intent of the Vision Plan created in 2009.

Streets have been designed for lower vehicular speeds, and with multimodal functionality in mind. This development is proposing to maximize safer access to the RTD rail station, which is accomplished through the proposed network of new sidewalks and connections to both Federal Boulevard and the Clear Creek Path. The Clear Creek Transit Village has been designed to be a pedestrian priority development, with sidewalks connecting to multiple destinations, including the Clear Creek-Federal Transit Station. This rail station is located to the southeast, across Federal Boulevard. From the main frontage of the site, sidewalk connections and improvements are proposed to ultimately connect to the existing signalized intersection at 60th Avenue and Federal Boulevard, to the southeast. This intersection provides a safer crossing for pedestrians to directly access the rail station. Within the proposed Transit Village, the following improvements enhance safety and lower vehicular speeds:

- Safe, tree-lined sidewalks that enhance the pedestrian environment and set a precedent for future development.
- Wayfinding to encourage pedestrian movement for future residents and all sidewalk users.
- Green space and a new trail connection along Clear Creek will offer new opportunities for recreation while bringing Clear Creek's ecological benefits closer to residents.



Further enhancing pedestrian safety along Federal Boulevard includes a full movement intersection at the northeast entrance to the development provides a secondary signalized crossing point for pedestrians. A bus route, RTD Route 31, runs north and south along Federal Boulevard, and provides an additional opportunity for regional mobility. With the addition of a secondary signalized intersection adjacent to the Clear Creek Transit Village, pedestrian safety is further enhanced – especially for those seeking to utilize the bus connection heading northbound.

The pedestrian-oriented framework throughout the site helps the Clear Creek Transit Village meet the goals of the Vision Plan initially laid out for this site. Additional elements that have been incorporated into the design of this development to foster pedestrian safety include:

- Curb extensions, or bulb outs, which increase pedestrian visibility to drivers while shortening crossing distance for pedestrians.
- Reduced curb radii to limit vehicle turning speeds at intersections, lessening the severity of vehicle-pedestrian conflicts (NACTO, n.d.).
- On-street parking which will provide additional parking spaces while helping to slow vehicular traffic and further enhance pedestrian safety

With the above listed designs for calmer vehicular speeds, safer pedestrian experiences combined with the addition of density at this site, the proposed Clear Creek Transit Village provides a high level of mobility, connectivity, and access for all transportation users.

Parks, Open Space, Streetscape

The Clear Creek Transit Village offers active recreation opportunities for those living or visiting the neighborhood. A proposed park, called the Village Green, is proposed within Planning Area 4, and will provide a number of active amenities for all ages. A mixed-use streetscape will contribute to the active style of the neighborhood by providing areas of activity along building frontages. Furthermore, building upon nature and Clear Creek, this proposal enhances the creek frontage and provides active opportunities to engage with nature.

- **Village Green (neighborhood park) – Approximately 0.4 Acre**

The proposed Village Green will serve as an the neighborhood park for the entire community and will be true a destination. The central location is easily accessible to all residences and provides a wide range of active and passive recreational uses. A large turf play area and plaza space will facilitate informal neighborhood interactions while also allowing for larger planned community events. To weave together both the residential and mixed-use areas, the Village Green will provide site furniture and other amenities typical to urban parks. Amenities within this park will include playgrounds for children of all ages, a swing set, two plazas – one primary and one secondary. The primary plaza will have a shade structure with opportunities for seating at tables under a shade structure. The secondary plaza will have benches for seating and relaxing. The park will have an open turf lawn, which can be used for a multitude of uses including but not limited to pop up sports (frisbee, volleyball, badminton, etc.), picnics, and potential community events. The Village Green has been designed to provide active recreation for people of all ages and will be accessible to both residents and non-residents alike.



- **Mixed-Use Streetscape – Approximately 0.9 Acre**

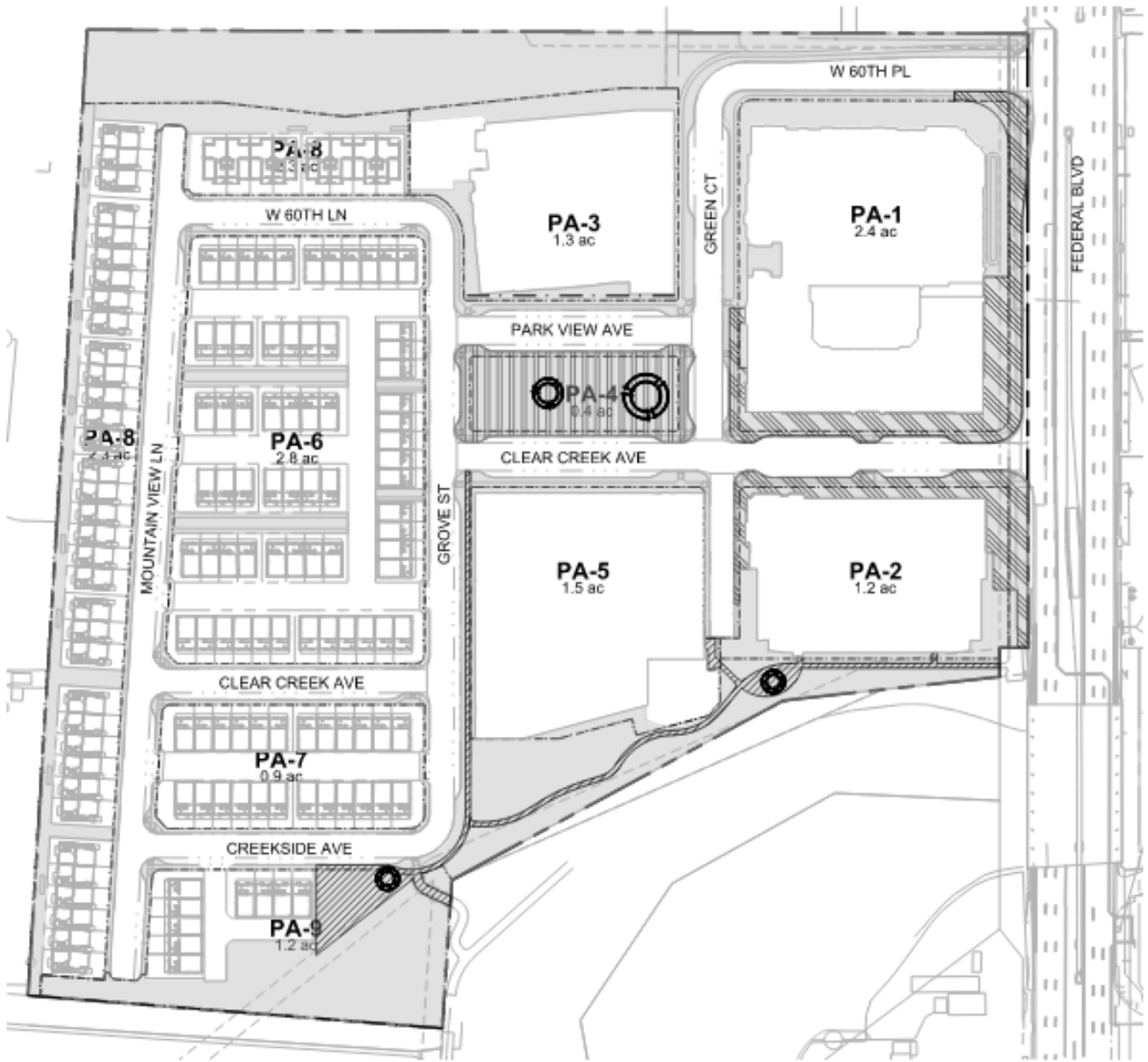
To encourage economic activity and serve as the active front door for the community, the mixed-use retail area along the edges of Planning Areas 1 and 2, a variety of streetscape elements are proposed. As this area serves as the primary corridor along both Federal Boulevard and along the proposed Clear Creek Avenue which connects to the Village Green, streetscape elements provide an active open space experience for all modes of transportation. To accomplish activating these corridors, a number of elements are proposed and include seating along the streetscape via benches, seating and table areas adjacent to future retail and restaurant uses, the allowance of outdoor display of merchandise for future retail users, activated courtyard entries into adjacent multi-family housing, as well potential for wayfinding signage, lighting, and public art.

- **Clear Creek Active Open Space Area – Approximately 0.3 Acre**



Along Clear Creek, an active recreation area offers residents and visitors of the Transit Village to interact with a more natural environment. Pathway connections to the Clear Creek multi-use trail will provide opportunities for leisure strolls alongside the creek and provide seating areas for rest along the way. Additional components to further activate this area include a community garden, shade structures, fitness stations, as well as pedestrian lighting and wayfinding signage.

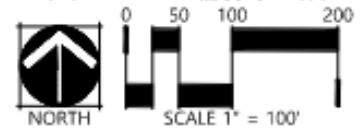


OPEN SPACE AND ACTIVE RECREATION PLAN



LEGEND

-  OPEN SPACE AREA
-  VILLAGE GREEN ACTIVE OPEN SPACE AREA
-  MIXED-USE STREETSCAPE ACTIVE OPEN SPACE AREA
-  CLEAR CREEK ACTIVE OPEN SPACE AREA
-  PRIMARY PLAZA (APPROX LOCATION)
-  SECONDARY PLAZA (APPROX LOCATION)
-  GATHERING NODE (APPROX LOCATION)



OPEN SPACE SUMMARY				
SITE	OPEN SPACE REQUIRED (30% MIN)	OPEN SPACE PROVIDED	ACTIVE OPEN SPACE REQUIRED	ACTIVE OPEN SPACE PROVIDED
21.1 ACRES	6.3 ACRES	6.9 ACRES	1.6 ACRES	1.6 ACRES

NOTES:

1. Open space includes landscape buffer areas and private access drives.
2. At least thirty percent (30%) of the site shall be open area (6.3 ac). Twenty five percent (25%) of that open area must be active open space (1.6 ac).
3. Active open space includes community amenities such as park, walks connecting to the regional Clear Creek Trail, plaza area in front of retail uses, Federal Blvd streetscape and walks connecting to multi-family entrances.



Below: Concept for Clear Creek Avenue at the intersection of Federal Boulevard.



Community Outreach

Over the past two years, the Clear Creek Transit Village Team has responded to various emails and phone calls from various residents and business owners within the vicinity of the property. Many of the questions focused on the status of the project review, questions about existing easements, and the proposed heights of the buildings on the west side of the development. During this time, we have held three neighborhood meetings and summaries of each meeting are provided below.

- **Neighborhood Meeting #1**

We understand that community engagement is an important part of the transition between applicants. With that in mind, the project team held a virtual neighborhood meeting on Wednesday, October 21, 2020 from 6:30 p.m. to 8:00 p.m. via Zoom to introduce the new property owners and development team and listen and gain feedback on our preliminary design and planning concepts.

Letters were sent per Adams County requirements to 376 individual property owners within the vicinity of the property inviting them to the virtual neighborhood meeting. The meeting was attended to 16 members of the community as well as representatives of the project team. The project team gave a Power Point presentation of preliminary plans for the site and answered questions about the project's timeframe, site design, access, potential retail uses, and buffering from the community to the west of the site.

The project team also unveiled www.clearcreektransitvillage.net, a website which features project information (including the Power Point presentation shared at the neighborhood meeting) as well as a submission form which neighbors can use to submit comments directly to the project team. The website is in preliminary development and will be further developed as we move forward. Neighbors will be able to check this website for ongoing project updates.



- **Neighborhood Meeting #2**
Our second neighborhood meeting was held on September 14, 2021. We had approximately 8 members of the public attend that virtual meeting and 11 members from the project team and Adams County representatives. A slide presentation was utilized during the meeting providing updates on project changes, building and landscape renderings of the future development and outlined next steps. Neighborhood residents inquired about the height of buildings in Planning Area 3. They asked about the proposed berm and fence and if they are still part of the project components and project team members confirmed they remained they are included in the proposed plans and will also be enhanced with landscape buffers. There were questions about overall project timing that were addressed by members of the project team and a representative from Adams County. A question was posed about school capacity and a representative from Adams County Planning addressed that comment.
- **Neighborhood Meeting #3**
The project team held a third neighborhood meeting on Thursday, February 17, 2022. Letters were sent to the property owners within the notification area. The team provided an update about the Subdivision Waiver from Private Streets process. The team provided an update on the preliminary plat, showed the current lot configuration, and focused on the lotting of the townhome area. They also discussed the review and upcoming hearing process for the preliminary plat. Approximately 5 neighborhood residents attended as well as 7 members of the project team.
- **Public Hearings**
Through the Preliminary Plat process, two public hearings were held with opportunity for public input. The Planning Commission Public Hearing was held on October 13, 2022 while the Board of County Commissioners held a public hearing on November 15, 2022. The Board unanimously approved the Preliminary Plat application, which allowed the development to proceed with a Final Plat.
- **Minor PDP Amendment**
A Planned Development Plan Amendment was submitted on September 22, 2022. This amendment clarified some details within the Clear Creek Transit Village proposal, mainly related to proposed internal street sections. This PDP Amendment was approved on November 14, 2022, and recorded with Adams County on January 13, 2023.
- **Major PDP Amendment**
Along with the FDP application, a Major PDP amendment has been submitted to the county. The proposed amendment seeks to align the PDP with the FPD and reduces density, lowers building heights, specifies land uses, and updates parking requirement classifications.

Agency Coordination

Throughout this duration of this project, the team has reached out to the following agencies and stakeholder groups to understand their concerns and interests as they relate to the site:

- Adams County Planning and Engineering
- Federal Boulevard Corridor Study Coalition



- Adams County Parks, Open Space & Cultural Arts Department
- Adams County Fire Rescue
- Colorado Department of Transportation (CDOT)
- Metro Wastewater Reclamation District
- Crestview Water & Sanitation District
- Denver Water
- Mile High Flood District
- Regional Transit District (RTD)
- Tri-County Health Department

Throughout this process, the project team has focused on utility, water quality, and roadway requirements.

We have had numerous interactions with CDOT to address items which are to be reviewed during the FDP and Final Plat phase. Our transportation engineer has been coordinating with CDOT on the development and submittal of traffic signal plan for Federal Boulevard and we are also working on the submittal of an access permit application for Federal Boulevard as the previously granted access permits have expired. These items will be formally submitted after the initial submittal of the FDP and Final Plat applications.

We have worked with Crestview Water & Sanitation District, Denver Water, and Metro Wastewater to address utility and easement requirements. A letter is attached from Crestview Water & Sanitation District acknowledging that we have been and will continue to address their utility requirements and approaches. Through the process, they acknowledged the preliminary plat included the necessary easement language.

We have worked with Adams County Fire Rescue to make sure the roadways meet their requirements. A letter is attached from Adams County Fire Rescue stating a requirement of two points of access to Federal Boulevard.

We have met with the Regional Transportation District to coordinate on off-site improvements, such as utilities crossing their rail lines. We have also discussed bus shelter locations along Federal Boulevard, which will be coordinated through this review process with RTD.

In addition to the above, the following permits have been approved:

- Site Grading Permit (County) – GRD2020-00002
- Floodplain Use Permit (County) – WET2020-00012
- Stormwater Quality Permit (County) – CSI2020-00011
- Colorado Discharge Permit System (CDPHE) – COR400000, Cert. No. COR409218

Final Development Plan Approval Criteria

The approval criteria for Final Development Plans can be found in Section 2-02-11-04-05 of the Adams County Land Development Code:

1. *The FDP is in general conformity with the Adams County Comprehensive Plan and any applicable area plan.*



The proposed Final Development Plan is designed to support the mixed-use, transit-oriented development outlined in the Preliminary Development Plan. This is consistent with the Adams County Comprehensive Plan which designates this site as a Mixed-Use Activity Center. Site design has been informed by area plans including the Adams County Clear Creek Corridor Master Plan and the Federal Boulevard Framework Plan.

2. *The FDP conforms to the P.U.D. standards.*

This proposed Final Development Plan is in conformance to the standards and regulations outlined within the Preliminary Development Plan (PDP) which include land uses, maximum and minimum densities, building heights, building setbacks, and landscape concepts. Each proposed planning areas matches areas which were initially contemplated in the PDP. Additionally, the proposed structures meet architectural and materials standards as identified within the PDP.

3. *The FDP is consistent with any approved PDP for the property.*

The proposed Final Development Plan carries forth (and is consistent with) the roadway layout, standards of the Clear Creek Transit Village Preliminary Development Plan, approved in 2012, amended initially in 2015 and updated with a minor amendment in 2022.

4. *The FDP construction plans meet the requirements of these standards and regulations and have been approved by the Director of Community and Economic Development, all infrastructure and utility providers, the Health Department, and all other referral agencies.*

The FDP construction plans have been submitted with the applications for FDP and Final Plat. Through the review process, plans will be reviewed according to applicable standards and regulations and comments will be addressed as needed. We look forward to working through this process with the County and any applicable external agencies.

Final Plat Approval Criteria

This Final Plat complies with the Criteria for Approval outlined in Adams County Code Section 2-02-19-04-05 as follows:

1. The final plat is consistent and conforms to the approved preliminary plat.

The final plat is substantially the same as the preliminary plat. The blocks, lots, and tracts are in the same configuration as shown on the preliminary plat.

2. The Final plat is in conformance with the subdivision design standards.

The final plat includes subdivision design standards that meet the design criteria and standards of the Preliminary Plat and Preliminary Development Plan.



3. The applicant has provided evidence that a sufficient water supply has been acquired in terms of quantity, quality, and dependability for the type of subdivision proposes, as determined in accordance with the standards set forth in the water supply standards.

Through the Preliminary Plat and Preliminary Development Plan Applications, the applicant has worked with the Crestview Water and Sanitation District who has provided a will serve letter to provide treated water to the site.

4. The applicant has provided evidence that a public sewage disposal system has been established and, if other methods of sewage are proposed, adequate evidence indicating that the system complies with state and local laws.

Through the Preliminary Plat and Preliminary Development Plan Applications, the applicant has worked with the Crestview Water and Sanitation District who has provided a will serve letter to provide sanitary services to the property.

5. The applicant has provided evidence to show all areas of the proposed subdivision, which may involve soil or topographical conditions presenting hazards or requiring special precautions, have been identified by the applicant and the proposed uses of these areas are compatible with such conditions.

Applications for grading, inert fill permit, variance from the NRCO setback, floodplain use permit were submitted and approved. Initial grading and site preparation work has commenced on the site and the former buildings have been removed. This work has followed the appropriate approval criteria as required for the respective permits that are required for each of these site development applications. The necessary soils/geotech reports have been provided for review as well.

6. The proposed or constructed drainage improvements are adequate and comply with these standards and regulations.

Proposed drainage improvements have been designed to meet the standards for drainage improvements and water quality requirements as required by Adams County and applicable regulatory agencies.

7. Adequate public facilities or infrastructure, or cash-in-lieu, for impacts reasonably related to the proposed subdivision have been constructed or financially guaranteed through cash-in-lieu or a subdivision improvements agreement so the proposed subdivision will not negatively impact the levels of service of the County.

The applicant has worked with Adams County through the Preliminary Development Plan and Preliminary Plat process to provide improvements for public facilities and infrastructure including sidewalk improvements and bus stop upgrades while also providing on-site amenities which will not negatively impact levels of service in the County.



As this project transitions into the Final Development Plan and Final Plat phases, the overall character of the development will remain the same and, if nothing else, will be enhanced due to further information and details. This FDP meets the goals of the County's Comprehensive Plan and will bring additional transit-oriented housing and boost ridership through additional transportation options. We look forward to the continued collaboration with Adams County as we move forward through the process. Please do not hesitate to contact me if you have any comments, questions, or requests for additional information at 303.892.1166 or bmahar@norris-design.com.

Sincerely,

A handwritten signature in black ink that reads "Bill Mahar".

Bill Mahar, AICP
Principal



October 27, 2023

Greg Barnes
Principal Planner
Adams County Community and Economic Development
4430 South Adams County Parkway, 1st Floor, Suite W2000A
Brighton, CO 80601

RE: Clear Creek Transit Village – Final Development Plan and Final Plat Resubmittals

Dear Mr. Barnes,

Thank you for taking the time to review the Final Development Plan and Plat for the Clear Creek Transit Village project. We appreciate the feedback and have made changes to the submittal included herein. Please refer to the following pages for our responses to comments made. Should you have any questions or concerns please feel free to reach out to me by phone, at 303-892-1166 or by email, bmahar@norris-design.com.

We look forward to working with Adams County to make this project a continued success.

Sincerely,
Norris Design

A handwritten signature in black ink that reads "Bill Mahar".

Bill Mahar, AICP
Principal



Commenting Division: Planner Review

Name of Reviewer: Greg Barnes

PLN01: Please correct the spelling of "BRANNAN's" in the legal description. The misspelling occurs twice.

Response: Spelling has been corrected.

PLN02: Page 2 references RTD's Gold Line. I believe this line is now called the G-Line. Maximum parking requirements are addressed, but no minimum parking requirements are addressed. We will want some minimum parking guarantees.

Response: G-Line reference has been updated. Parking minimums have been added for both residential (2 spaces per unit) and non-residential uses (2 spaces per 1,000 sq. ft.).

PLN03: A vicinity map is provided on Page 1, and therefore the map provided on Page 3 is unnecessary. I would recommend removing Page 3 altogether.

Response: Page 3 has been removed and the FDP Document has been updated.

PLN04: Throughout the FDP document, West 60th Lane is illustrated on maps as "W 60th Lynn" and "W 60th Lund".

Response: Spelling of each has been updated.

PLN05: I understand that you may want to design the Development Plan in a way that offers a lot of flexibility, but I have concerns that the plan as-is will be difficult for our staff to regulate.

Response: To help with easier regulation by staff, several items on the plan have been modified. The overall allowed density has been reduced. Land uses within the plan have been revised to be more specific and match Adams County Land Uses. Heights have been reduced in Planning Areas 6 and 7 for the proposed townhomes. Parking requirements have been updated to reflect the proposed land uses and to be aligned with what is recommended with a TOD. Additionally, parking requirement classifications have been simplified to help staff review and regulate parking within the development in the future. Clarifications and details on active open space areas have been included. To make the PDP consistent with the FDP, a separate PDP Amendment Application has also been submitted. Furthermore, per staff recommendation, we have included an illustrative site plan to further convey the vision of the development.

PLN06: Color images will not translate well on mylars and when recorded. Other applicants have included Conceptual architectural images separately from the FDP documents.

Response: Color images have been removed from the FDP and will be included in a supplemental package.

PLN07: I think there needs to be more specificity on land uses allowed. Presently, the language simply refers to residential, commercial, and institutional. Let's review the Adams County Land Use table found in Section 3-07-01 and pare down this list a bit.

Response: Proposed land uses have been updated to be more specific for a TOD. To be consistent with what is proposed in the FDP, the proposed Major PDP Amendment also reflects updated land uses.



PLN08: Based on the maximum densities allowed in each PA, a total of 1,025 dwelling are allowed; however, the entire PUD is entitled to 1,125 dwellings. Was this an oversight? Do those densities need to be revised?

Response: Overall density has been reduced within the FDP from 1,125 to 936 units. Within the proposed PDP amendment, densities have also been reduced to match the FDP.

PLN09: PA-6, PA-7, and PA-8 are clearly intended to be townhouses. Is a 6-7 story maximum height necessary? Are references to multi-family dwellings necessary?

Response: Heights in Planning Areas 6 & 7 have been reduced to 3 stories. Planning Area 8 has always been 3-stories. Multi-family land uses have also been removed from these Planning Areas.

PLN10: I have concern that the final development plan does not provide an overall site plan that shows building layouts. Generally, an FDP does provide more information regarding the site layout.

Response: Per staff direction, we have included an illustrative site plan as an attachment. A site plan is also included in the FDP, and is on Sheet 8 of the FDP.

PLN11: I think greater information needs to be provided as to how active recreation open space components will be met.

Response: The Active Open Space and Recreation Plan on Sheets 18 & 19 has been updated to include additional information from the previous submittal. Active recreational amenities have been included such as community gardens, plaza space, and gathering nodes. The project narrative has also been updated to include a description of the Active Open Space Areas.

PLN12: An SIA is a requirement of a final plat. I have attached the County's SIA template and expect for that document to be resubmitted for review.

Response: A draft of the SIA has been included with this resubmittal. At this point, we have included developer information. After this submittal, we intended to reach out to staff about additional specifics of the SIA.

PLN13: Public Land Dedication is a requirement of subdivision regulation. You will need some specificity on how many of each housing types are being provided. I have provided an estimate for these costs, based on 140 townhomes and 985 high-rise apartments.

Response: Comment noted.

Commenting Division: Environmental Analyst Review

Name of Reviewer: Megan Grant

ENV1. Sufficient information on MCO status received (letter from Norris Design dated July 12, 2023)

Response: Comment noted.

ENV2. Please provide a copy of the voluntary cleanup plan submitted on behalf of Pacific North Enterprises and approved by CDPHE (letter dated Dec 23, 2021).

Response: The previous approval letter was submitted, and we acknowledge the required continued/next steps and necessary extensions if they warranted at this time. The team will be providing an update to Megan Grant at Adams County within the next couple of weeks.



ENV3. Is the voluntary cleanup plan complete? If so, please provide a copy of the certification of completion submitted to CDPHE and the CDPHE response to the submission. If not, please provide an update on progress to meet the required timeframe indicated in the cleanup plan approval letter.

Response: The previous approval letter was submitted, and we acknowledge the required continued/next steps and necessary extensions if they warranted at this time. The team will be providing an update to Megan Grant at Adams County within the next couple of weeks.

From the CDPHE letter dated Dec 23, 2021:

"Further, if the voluntary cleanup plan is not initiated within twelve months after approval by the Department, or completed within twenty-four months after approval or within a Department approved extension for completion of the voluntary cleanup plan, the approval shall lapse, and reapplication and Department approval pursuant to 25-16-306(4), C.R.S. is required prior to implementation of the lapsed voluntary cleanup plan. Within forty-five days after completion of the voluntary cleanup described in the plan approved by the Department, the Applicant shall provide to the Department a certification from a qualified environmental professional that the voluntary cleanup plan has been fully implemented."

Response: The previous approval letter was submitted, and we acknowledge the required continued/next steps and necessary extensions if they warranted at this time. The team will be providing an update to Megan Grant at Adams County within the next couple of weeks.

Commenting Division: Parks Review

Name of Reviewer: Allan Gill

1. Please ask the developer to dedicate the proposed trail connection from the development to the existing Clear Creek Trail to the County.

Response: An easement has been included for the trail connection.

2. Any Adams County land disturbed through construction activity will undergo restoration to return the area to existing conditions. POSCA will inspect and approve renovation efforts and the established plant material.

Response: Comment noted.

3. As this development will impact wildlife along Clear Creek, what habitat improvements are being considered?

Response: Native and adaptive landscape improvements are planned along the property, adjacent to the creek. We are considering additional tree plantings in this area as well.

POSCA recommends the following for the proposed development located at 6771 Lowell Boulevard, Arvada CO.

- -Maintain and enhance existing concrete trail connections coming into and leaving the proposed development.

Response: This comment is related to a different project and was accidentally added to the comments for Clear Creek Transit Village.



- -Coordinate with the City of Westminster, Westminster High School, the City of Arvada, and other stakeholder agencies as necessary to explore the feasibility of providing a concrete trail from the southern portion of the proposed development to connect to an existing section of trail to the west. This trail connection will provide a connection between the High School northeast of the proposed development and the Donald R. Critchfield Sports Complex located south of the proposed development within Hidden Lake Park located at 3803 W. 66th Ave. Arvada, CO 80003.

Response: This comment is related to a different project and was accidentally added to the comments for Clear Creek Transit Village.

Commenting Division: Development Engineering Review

Name of Reviewer: Matthew Emmens

ENG1: Flood Insurance Rate Map – FIRM Panel # (08001C0592H), Federal Emergency Management Agency, March 5, 2007. According to the above reference, the project site IS located within a delineated 100-year flood hazard zone; A floodplain use permit will be required for development within the Floodplain.

- Applicant Response: Comment noted.

- County Response: Comment closed.

Response: Floodplain use permit will be revised and submitted upon completion of Construction Documents.

ENG2: The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. In the event that the disturbed area of the site exceeds 1 acre, and the site is within the Adams County MS4 area, then the applicant shall be responsible to prepare the SWMP plan using the Adams County ESC Template, and obtain both a County SWQ Permit and State Permit COR400000.

The Clear Creek Transit Village site is located within the Adams County MS4 permit area. An Adams County SWQ Permit is required for development of this site.

The applicant should contact Juliana Archuleta, the County's Stormwater Program Manager, to inquire about obtaining a SWQ Permit. Ms. Archuleta can be contacted at 720-523-6869 or By email at mjarchuleta@adcogov.org.

- Applicant Response: Members of the consultant team have been discussing the items listed above with Ms. Archuleta and will be incorporating the necessary infrastructure components into the civil construction documents. Clear Creek Transit currently holds the applicable County and CDPHE stormwater permits. Please reference CSI2020-00011 for the Adams County Permit for grading activities only. This permit will have to be modified if any new construction commences. Please refer to permit number COR409218 for the active CDPHE stormwater permit. The CDPHE permit will also need a modification prior to construction. Clear Creek Transit currently has a Stormwater Management Plan (SWMP) in place for Grading only and is currently conducting the inspections per the regulation frequency.



- County Response: Please continue to work with Ms. Archuleta. Site development construction permits cannot be issued until the SWQ permit has been issued for full site construction. Comment closed.

Response: Members of the consultant team have been discussing the items listed above with Ms. Archuleta and will be incorporating the necessary infrastructure components into the civil construction documents. Clear Creek Transit currently holds the applicable County and CDPHE stormwater permits. Please reference CSI2020-00011 for the Adams County Permit for grading activities only. This permit will have to be modified if any new construction commences. Please refer to permit number COR409218 for the active CDPHE stormwater permit. The CDPHE permit will also need a modification prior to construction. Clear Creek Transit currently has a Stormwater Management Plan (SWMP) in place for Grading only and is currently conducting the inspections per the regulation frequency.

ENG3: Prior to scheduling the final plat/FDP BOCC hearing, the developer is required to submit for review and receive approval of all construction documents (construction plans and reports). Construction documents shall include, at a minimum, onsite, and public improvements construction plans, drainage report, traffic impact study. All construction documents must meet the requirements of the Adams County Development Standards and Regulations. The developer shall submit to the Adams County Development Review Engineering division the following: Engineering Review Application, Engineering Review Fee, electronic copies of all construction documents. The development review fee for an Engineering Review is dependent on the type of project and/or the size of the project. The Development Review fee can be found in the Development Services Fee Schedule, located on the following web page: <http://www.adcogov.org/one-stop-customer-center>.

- Applicant Response: Noted. Civil construction documents, which are a separate submittal, are anticipated to be in later July or early August.
- County Response: Please note, all submittals of construction documents are to be made as a separate submittal from the Planning case. The construction document will need to be reviewed and preliminarily approved, prior to scheduling of the BoCC hearing. This comment to remain open until the construction documents are preliminarily approved.

Response: Comment noted. Civil Construction Documents have been resubmitted to the Engineering Department, for concurrent review with the FDP and Plat.

ENG8: LOW IMPACT DEVELOPMENT (LID) STANDARDS AND REQUIREMENTS Section 9-01-03-14: All construction projects shall reduce drainage impacts to the maximum extent practicable, and implement practices such as:

1. On-site structural and non-structural BMPs to promote infiltration, evapo-transpiration or use of stormwater,
2. Minimization of Directly Connected Impervious Area (MDCIA),
3. Green Infrastructure (GI),
4. Preservation of natural drainage systems that result in the infiltration, evapo-transpiration or use of stormwater in order to protect water quality and aquatic habitat.



5. Use of vegetation, soils, and roots to slow and filter stormwater runoff.
6. Management of stormwater as a resource rather than a waste product by creating functional, attractive, and environmentally friendly developments.
7. Treatment of stormwater flows as close to the impervious area as possible.
8. LID shall be designed and maintained to meet the standards of these Regulations and the Urban Drainage and Flood Control District's Urban Storm Drainage Criteria Manual, Volume 3.
 - Applicant Response: The consultant team is working with Ms. Archuleta on Low Impact Development Standards and the specific standards will be included in the civil construction document resubmittal. That civil construction document resubmittal will likely take place in later July or early August.
 - County Response: Include a description of the LID features in the final drainage report for this development.

Response: A LID exhibit has been prepared and the drainage report updated in accordance with Section 9-01-03-14 to meet standards and requirements and will be submitted to the County for review and comments. Specifics of this design include:

- 1) Rain gardens have been included to treat impervious areas along the north and west side of the site, while separate rain gardens are also provided in the northeast corner of the site to treat W. 60th Place and Federal Blvd.
- 2) Where possible, downspouts are discharging into landscaped areas. There are not any downspouts directly connected to the storm drain system.
- 3) Green Infrastructure has been incorporated into the site. Examples include the landscape swale along the north and west side of the site that is run at 1.5% instead of 2%, encouraging infiltration of smaller flows while still safely conveying larger flows.
- 4) The rain gardens that have been included, as well as the extended detention basin and slightly flatter swales, will work together to preserve the natural drainage systems by encouraging infiltration and and evapo-transpiration, reducing the frequency of stormwater releases to the receiving waters and improving water quality that does reach those facilities.
- 5) All areas will be vegetated.
- 6) The stormwater facilities have been incorporated into the landscape design and have been treated as a feature of the site, as opposed to an afterthought.
- 7) Rain gardens are placed in the upper portions of the stormwater basin, and roof drainage is release to impervious areas wherever possible.

Commenting Division: ROW Review

Name of Reviewer: David Dittmer

PUD: Correct formatting on Notary Affirmation

Response: Notary affirmation updated.



PLT: Add line to print or type the name of the bank officer and add their title to the execution block and notary affirmation to match.

Response: Noted, line has been added.

Commenting Division: Fire Rescue Review

Name of Reviewer: Whitney Even

1. Approved access roads must be constructed prior to any vertical construction and/or to combustible materials being delivered to the site, whichever comes first. Temporary access roads are prohibited unless specifically approved by the Fire District. Fire apparatus access must be designed and maintained to support the imposed loads of fire apparatus (i.e., 85,000 lbs.), and must have a surface that provides all-weather driving capabilities. Vehicle access shall be provided to within 150 feet of temporary or permanent fire department connections.

Response: Comment noted.

2. The private drive between PA-5 and PA-2 exceeds 150'. This was discussed in previous reviews. All buildings within this project will require the design and installation of approved automatic fire sprinkler systems. The multi-family buildings will likely require the installation of standpipes as well. An additional hydrant will likely be required to near the 179' dead end. This will be verified when the utility plans are reviewed.

Response: This drive has also been increased to 26' for fire access. Kimley Horn

3. Any temporary construction or permanent security gates shall be a minimum of 24 feet and a no parking fire lane sign shall be posted on the gate. The gates shall also have a Knox key switch installed for emergency operation if automatic.

Response: Comment noted.

4. New and existing buildings shall have approved address numbers, building numbers, or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Numbers shall be a minimum of 4 inches high with a minimum stroke width of 0.5 inch. Please be aware that the size of the number may need to be larger than 4 inches is not clearly visible from the street or road. A temporary sign must be provided if the permanent signage is not yet installed.

Response: Comment noted.

5. Two separate and approved fire apparatus access roads are required.

Response: Comment noted. The FDP and Plat show two access points to Federal Boulevard,

6. Water mains and all required hydrants shall be installed before the delivery of combustible materials to the site. Hydrants shall be maintained operational at all times thereafter, unless alternate provisions for water supply are approved by the Fire District. Plans for the underground fire sprinkler service lines shall be submitted for review and approval to ACFR. Once installed, all underground fire sprinkler service lines must be inspected by an ACFR inspector before covering. Attached is a guideline for the inspections required for an underground fire sprinkler service line.



Response: Comment noted.

7. Unobstructed access to fire hydrants shall be maintained at all times. Fire department personnel shall not be deterred or hindered from gaining immediate access to fire protection equipment or fire hydrants. A 3-foot (radius) clear space shall be maintained around the circumference of fire hydrants. Within that 6-foot diameter circle and within a 6-foot-wide path leading to the 4.5-inch outlet of a hydrant, vegetation shall be no higher than 4 inches above grade. The unobstructed vertical clearance within that 6-foot circle and 6-foot approach path shall not be less than 7 feet, unless otherwise approved by the Fire District

Response: Comment noted.

8. The FDC for each building with a fire sprinkler system must be located within 150 feet of a fire hydrant.

Response: Comment noted.

9. A fire hydrant shall be located within 400' (un-sprinklered building) or 600' (fully sprinkled building) of all ground level exterior portions of the building.

Response: Comment noted.

10. The number and distribution of fire hydrants is based on the required fire flow. You may refer to Appendix C of the 2018 IFC for guidance.

Response: Comment noted.

11. An automatic fire sprinkler system will be required in all buildings.

Response: Comment noted.

Commenting Division: CDOT

Name of Reviewer: Steve Loeffler

Greg,

I have reviewed the submittal for the Clear Creek Transit Village Final Development Plan and Final Plat. The comment response that was included did not include a comment response to CDOT comments. We will need this prior to any additional review.

I also want to comment on the referral documents all being part of one pdf document. This is very difficult to work with. Separating the documents on our end can be difficult and the outcome not satisfactory.

Thank you for the opportunity to review this referral.

Steve Loeffler
Permits Unit- Region 1

Response: Comment responses to CDOT were included with the second submittal of the FDP and Plat on July 12, 2023. At that time, the Civil CDs were not ready for resubmittal and County Staff stated that it was acceptable to resubmit the FDP and Plat, knowing that the Civil CDs would come at a later date. This current submittal now includes the Civil CDs along with the FDP and Final Plat and should provide responses to comments from earlier in the year.



If you would like individual documents as noted above, we can send to you separately. Please reach out to Jeremy Lott at Norris Design at jlott@norris-design.com for that information.

Commenting Division: Denver Water

Name of Reviewer: Kela Naso

Good Morning Greg,

This project has been submitted to Denver Water for formal plan review, project #21252. The owner and developer should continue to work with the project's plan review coordinator, Ana Seiglie.

Thank you,

Kela Naso | Engineering Specialist
Denver Water | t: 303-628-6302 | c: 720-517-4486
denverwater.org | denverwater.org/TAP

Response: Comment noted.

Commenting Division: RTD

Name of Reviewer: Clayton Woodruff

Greg,

This project does not directly impact any RTD facilities but we do want to make sure that as the construction along the property line near the rail that any equipment they use would not have the possibility of impacting our rail.

Thanks,



C. Scott Woodruff
Engineer III
Regional Transportation District
1560 Broadway, Suite 700, FAS-73 | Denver, CO 80202

o 303.299.2943 | m 303-720-2025
clayton.woodruff@rtd-denver.com

Response: Comment noted.

Commenting Division: Xcel Energy

Name of Reviewer: Violeta Ciocanu (Chokanu)

PSCo requests that utility easements are dedicated within the lots as noted below:

- **Commercial/School/Apartment Properties**
 - Gas main 6'
 - Electrical distribution line 10'
 - Joint trench 15'
 - Transformer 15' x 15'
 - Switch cabinet 20' x 20' or 15' x 25' depending on model



- 10' easement is required along all lot lines abutting any public rights-of-way
- **Residential Property**
 - Gas distribution line, front lot 6'
 - Electrical distribution line, rear lot 8'
 - Joint trench 10'
 - Multi-Unit developments require a 10' easement along all lot lines abutting any public rights-of-way
 - Transformer and Switch cabinet remain the same as commercial property
- **Gas Line Clearances – all lots**
 - All gas lines must maintain a minimum 5' of clearance from any structure, therefore, easement must adjust accordingly
- **Gas Lines Not Adjacent to Road Surface – all lots**
 - Must be adjacent to drivable pavement/walkway that is a minimum of 8' wide & 6" thick to allow service trucks access and plowing in snowy conditions

Please be aware PSCo owns and operates existing electric distribution facilities along the east property boundary and along Clear Creek.

Response: All easements and equipment sizes noted above have been included.

End of Comments

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:
PRC2023-00011



NORRIS-DESIGN.COM

PROJECT TEAM

LAND OWNER / APPLICANT

CLEAR CREEK DEVELOPMENT, LLC
14034 S 145 E STE 301
DRAPER, UT 84020-5756
CONTACT: MICHAEL CHRISTENSEN
(801) 809-9294

ENGINEER

KIMLEY-HORN
3801 AUTOMATION WAY, SUITE 210
FORT COLLINS, CO 80525
CONTACT: ANDY REESE
(970) 852-6858

PLANNER / LANDSCAPE ARCHITECT

NORRIS DESIGN
1101 BANNOCK STREET
DENVER, CO 80204
CONTACT: BILL MAHAR / JARED CARLON
(303) 892-1166

ARCHITECT

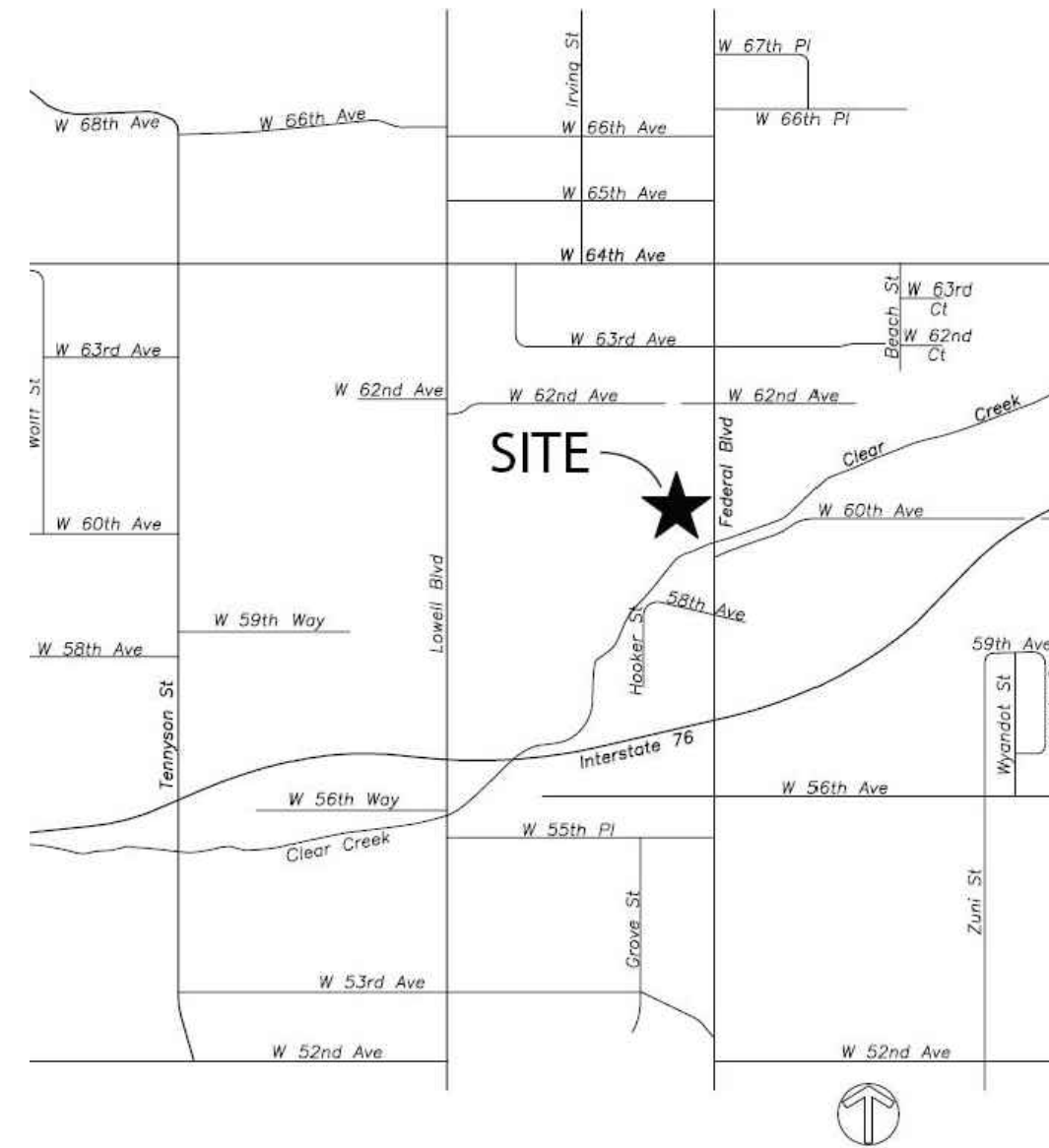
GODDEN SUDIK ARCHITECTS
5975 S QUEBEC ST
CENTENNIAL, CO 80111
CONTACT: ALEX DURAN
(303) 455-4437

TRAFFIC ENGINEER

FOX TUTTLE TRANSPORTATION GROUP
1624 MARKET ST SUITE 202
DENVER, CO 80202
CONTACT: STEVE TUTTLE
(303) 652-3571

VICINITY MAP

SCALE: NTS



SHEET INDEX

SHEET NUMBER	SHEET TITLE
1	COVER
2	PROJECT NARRATIVE
3	PROJECT NARRATIVE
4	DS-ARCH-1
5	DS-ARCH-2
6	DS-LA-1
7	DS-LA-2
8	OVERALL PLAN
9	PA-1
10	PA-2
11	PA-3
12	PA-4
13	PA-5
14	PA-6
15	PA-7
16	PA-8
17	PA-9
18	OPEN SPACE & ACTIVE RECREATION PLAN
19	ACTIVE RECREATION CONCEPTS
20	PLACEMAKING, CIRCULATION, & SIGNAGE PLAN
21	FENCE & BUFFER PLAN
22	STREETSCAPE TREE PLAN
23	POTENTIAL PLANT SCHEDULE

LEGAL DESCRIPTION

BRANNAN'S SUBDIVISION FILING NO.2 REC. NO B1247454 LOT 2 BLOCK 1 & BRANNAN'S SUBDIVISION FILING NO. 1 REC. NO A020815 TRACT A.

ADAMS COUNTY ATTORNEY'S OFFICE

APPROVED AS TO FORM

BOARD OF COUNTY

COMMISSIONERS APPROVAL

APPROVED BY ADAMS COUNTY BOARD OF COMMISSIONERS
THIS _____ DAY OF _____ 20 ____.

CHAIR

ADDITIONS AND DELETIONS

THE FOLLOWING ADDITIONS AND DELETIONS IN THE PUD WERE MADE BY THE BOARD OF COUNTY COMMISSIONERS AT THE TIME OF APPROVAL.

CERTIFICATE OF OWNERSHIP

CLEAR CREEK DEVELOPMENT, LLC, A DELAWARE LIMITED LIABILITY COMPANY FOR 6001 FEDERAL BLVD, DENVER, CO 80221, LOCATED IN THE COUNTY OF ADAMS, STATE OF COLORADO, HEREBY SUBMIT THIS FINAL DEVELOPMENT PLAN AND AGREES TO PERFORM UNDER THE TERMS NOTED HEREON.

FOR: CLEAR CREEK DEVELOPMENT, LLC, A DELAWARE LIMITED LIABILITY COMPANY;

BY: THISTLE CREEK QOF I, L.P., A DELAWARE LIMITED PARTNERSHIP, ITS MANAGING MEMBER;

BY: THISTLE CREEK QOF I GP, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS GENERAL PARTNER

BY: MICHAEL CHRISTENSEN, MANAGER DATE _____

NOTARY ACKNOWLEDGMENT

STATE OF _____)
) SS.
COUNTY OF _____)

THE FOREGOING CERTIFICATE OF DEDICATION AND OWNERSHIP WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____, BY MICHAEL CHRISTENSEN, MANAGER OF THISTLE CREEK QOF I GP, LLC, A DELAWARE LIMITED LIABILITY COMPANY, GENERAL PARTNER OF THISTLE CREEK QOF I, L.P., A DELAWARE LIMITED PARTNERSHIP, MANAGING MEMBER OF CLEAR CREEK DEVELOPMENT, LLC, A DELAWARE LIMITED LIABILITY COMPANY.

WITNESS MY HAND AND SEAL:

NOTARY PUBLIC MY COMMISSION EXPIRES _____

ADDRESS OF NOTARY: _____

CERTIFICATE OF THE CLERK AND RECORDER

THIS FINAL DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE ADAMS COUNTY CLERK AND RECORDER IN THE STATE OF COLORADO AT _____ M. ON THE _____ DAY OF _____ 20____.

COUNTY CLERK AND RECORDER

BY DEPUTY: _____

CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
OWNER'S NAME
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK QOF I, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

NOT FOR
CONSTRUCTION

DATE:
FDP-01: 03/16/2023
FDP-02: 07/07/2023
FDP-03: 10/23/2023

DRAFT

SHEET TITLE:
COVER

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO

PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:
PRC2023-00011



NORRIS-DESIGN.COM

NARRATIVE

A. Explanation of the Characteristics of the PUD and its Potential Impact on the Surrounding Area

The Clear Creek Transit Village (CCTV) is comprised of approximately 21.09 acres located near Clear Creek on the south and Federal Boulevard which borders the site on the east. Neighboring uses include a mix of commercial and industrial directly to the north, on the northwest are single family homes that reside beyond the body of water. Commercial and light-industrial uses exist across Federal Boulevard to the east and south. The western portion of the development is bordered by Lake Sangraco. CCTV is intended to tie the various uses of the area together into a dynamic, multi-use neighborhood, with access to transit, trails, and will result as a destination along Federal Boulevard.

CCTV is envisioned as a mixed-use, transit-oriented development (TOD) due to its proximity to the Clear Creek-Federal Station of RTD's G Line. The area is defined in Adams County's Clear Creek Valley TOD Plan as a "Mixed-Use Village Center." CCTV's access to the existing sidewalks and trails, as well as the planned pedestrian network strengthens and supports the walkability of the neighborhood. The site's location adjacent to the G Line commuter rail corridor and Clear Creek-Federal Station, the Clear Creek Trail, mix of land uses, proximity to downtown Denver and abundant outdoor recreation opportunities defines the character of Clear Creek Transit Village. About 25% of the site is within 1/4 of a mile of the Clear Creek-Federal Station and the entire site is within 1/2 mile of the station.

Key buildings in prominent locations will be designed to accommodate ground-floor commercial, which includes retail, office, and restaurants. Ground floor building space may also include residential uses. The upper stories of the buildings may accommodate residential and/or commercial uses, including but not limited to office space.

CCTV is comprised of 9 distinct Planning Areas (PAs). PAs 1, 2, 3 & 5 will be permitted to accommodate mixed-use development, including residential, commercial, and mixed-uses at various scales. PA-4 is intended to be developed as a public park and PAs 6-9 will be residential.

Clear Creek Transit Village will create high potential for spurring more development and redevelopment in the vicinity. This is because commuter rail stations are assets to their communities by offering residents an alternative or supplement to automotive transportation. Commuter rail stations also induce demand for commercial land uses due to increased exposure and thoroughfare. Ultimately, demand for property in and around the Clear Creek Valley is likely to accelerate as CCTV develops.

B. Expected Densities and Land Coverage - Number, Type, and Size of Buildings and Residential Units

For the entire site, the maximum total amount of permitted commercial and institutional uses, which include retail and office space, may be up to 250,000 square feet of net building area. A variety of residential uses may include condominiums, apartments, townhomes, and live/work dwelling units. The maximum total number of allowable residential dwelling units may be up to **936 units**. The maximum density for residential uses may average up to **45** dwelling units per gross acre. The minimum gross residential density shall be no less than 5 dwelling units per acre.

C. Provisions for Parking

Off-street parking for multi-family and non-residential developments shall be designed to provide for the safe and convenient movement of vehicles, bicycles, and pedestrians to and from the site. Parking garages will be constructed within the mixed use area to accommodate those developments.

Parking ratios will be guided by industry standard shared parking practices. All streets within CCTV will accommodate short-term on-street parking as well as bicycle parking (in select areas).

Parking ratios for the development shall govern, except as otherwise provided in this FDP, as follows:

Use	Min Parking Ratio	Max Parking Ratios
Residential	1 spaces per unit	2 spaces per unit
Non-Res	2 spaces per 1,000 sq. ft.	8 spaces per 1,000 sq. ft.

Parking structures, surface parking, below-grade parking, and on-street parking adjacent to any PA may be utilized to satisfy the parking requirement for any permitted use in a PA. Parking for a PA may be located in a parking lot or structure near the use. On-street loading parking stalls for retail and multifamily are encouraged near entrances that accommodate each use.

On-street loading stalls for retail and multi family are encouraged near entrances that accommodate each use. Loading zones and stalls may occur in internal parking garages to access elevators, internal pedestrian corridors and other building entrances.

D. Circulation and Road Patterns

Due to the site being surrounded by bodies of water on three sides, the vehicular connectivity to and from the development can only occur on Federal Boulevard. The gridded street layout at CCTV is intended to optimize pedestrian and vehicular movement throughout the development and to Clear Creek. The main vehicular access to the site is planned to be a full movement signalized intersection at West 60th Place and Federal Boulevard. Clear Creek Avenue and Federal Boulevard will be a non-signalized right-in right-out intersection to facilitate southbound Federal Boulevard traffic into and out of the development.

Pedestrian safety is a central element of the CCTV plan. The proposed streetscapes within the Mixed-Use Street Area include sidewalks wide enough to allow for pedestrian flow, with included curb bump-outs to provide additional safety and separation from vehicle right-of-way. Additionally, parallel parking exists throughout the site adjacent to drive lanes to allow for additional separation from the pedestrian space. Pedestrian connectivity is a hallmark of the CCTV neighborhood and the streetscapes, building forms and landscaping aims to create a comfortable and safe environment to encourage an active, walkable and aesthetically pleasing environment.

E. Ownership and Maintenance of Common Areas

Maintenance of common areas within the boundaries of the PAs will be performed by the owners and/or owner's association within the individual blocks. Common areas, such as sidewalks, various tracts and public open spaces, will be maintained by the Clear Creek Transit Metropolitan District No. 1 or a property owners association, with the exception of Tract B and T that will be exclusively maintained by a homeowners association.

F. Type, Location, and Examples of Monument Signs

Entry monumentation signage may be located at key locations along the Federal Blvd corridor. An additional hierarchy of signage may also include information, tenant and wayfinding signage. All signage will be within a complimentary family that reflects the architectural materials, colors, lighting, and scale of any adjacent buildings and/or surroundings. For examples of signage, see sheet 9.

G. Type and Allocation of All Uses Including Permitted Uses, Uses Permitted after Amendment to the PUD, and Prohibited Uses

The purpose of the CCTV PUD is to facilitate residential retail, office and service land uses to serve the needs of area residents while retaining versatility to accommodate future market conditions. The following uses are permitted uses in CCTV, subject to County subdivision and building permit review and approval.

1.0 Residential Uses

- a. Multi-Family Dwelling
- b. Single-Family Dwelling
- c. Two-Family Dwelling

2.0 Mixed-Uses

- a. Commercial-Residential Mixed-Uses Development

3.0 Commercial Uses

- a. Commercial Retail
- b. Apparel and Accessory Stores
- c. Dry Cleaners
- d. Food Stores
- e. Furniture and Home Furnishings Stores
- f. General Merchandise Stores
- g. Legal Services
- h. Miscellaneous Retail Except Fuel Dealers
- i. Miscellaneous Services
- j. Convenience Retail Store
- k. Indoor Commercial Recreation/Entertainment
- l. Physical Fitness Facilities
- m. Hotels
- n. Banking and Other Credit Agencies (Offices Only)
- o. Business Services
- p. Commodity Brokers and Services
- q. Holding and Other Investments
- r. Insurance Carriers
- s. Medical Offices
- t. Real Estate
- u. Restaurant
- v. Services

H. Location and Types of Landscaping/Open Space and Maintenance Provisions

A variety of open space will be provided at CCTV that will include: streetscapes adjacent to buildings; a public park located in the center of the project; open space and a water quality pond adjacent to Clear Creek; and private internal amenities within or adjacent to building envelopes. These private amenity spaces may include courtyards, plazas, swimming pools, patios, and rooftop gardens.

The overall landscape concept for Clear Creek Transit Village is intended to emphasize the site's natural surroundings and proximity to Clear Creek and riparian habitat. Located immediately adjacent to and along the northern perimeter of the creek, the site is enhanced by the natural aesthetics, and by ample opportunity to connect to the Clear Creek Trail. The Federal Boulevard streetscape will contain formal tree plantings, low water use shrubs and groundcover plantings. This design will carry-through to internal streetscapes where ground floor retail or office uses are anticipated to create a decidedly urban context. These streetscapes will be maintained by the Clear Creek Transit Metropolitan District No. 1 or property owner's association.

The Village Green will serve as an outdoor living room for the entire community. A large turf play area is included, along with street trees, site furniture and other amenities typical to urban parks. Site furnishings will reflect colors and materials incorporated in surrounding architecture. The Village Green will be maintained by the Clear Creek Transit Metropolitan District No. 1 or property owner's association.

Residential areas of the development will feature sidewalks, turf, trees, shrubs, perennials, and groundcover plantings. Residential streetscapes will be maintained by the Clear Creek Transit Metropolitan District No. 1 or property owner's association.

The frontage near and along Clear Creek (Tracts R & S) will receive an "enhanced native" landscape treatment designed to complement and support the riparian environment. This landscape area will be maintained by the Clear Creek Transit Metropolitan District No. 1 or property owner's association, subject to discussion regarding open space maintenance responsibility with Adams County and the Hyland Hills Park and Recreation District.

The northern and western perimeter landscapes are designed to provide a buffer to adjacent residents. The northern edge (Tracts A & B), adjacent to the existing Aloha Beach landscape berm and fence easement, features closely spaced evergreen tree plantings designed to enhance the existing buffer. The western perimeter (Tract T) also features closely spaced evergreen tree plantings located along the western property line. Both the northern and western perimeter also feature a minimum six-foot-high metal fence.

The northern and western buffers lying outside the existing landscape easement will be maintained by the sub-association or vertical developer of the adjacent development parcels. The existing landscape easement at the northern perimeter will be maintained by the Aloha Beach Neighborhood Association as per the terms of the existing Landscape Berm and Fence Easement, (Book 4701, Page 983 - Adams County Clerk and Recorder).

Snow storage and removal will be the responsibility of the Metropolitan District No. 1 and/or the Homeowner's Association. Open space Tracts B, T, R and S have been identified as possible locations for snow storage.

I. Utility Services

The following is a list of the service providers for the necessary utilities for the CCTV.

Electricity and Natural Gas:	Xcel Energy
Water and Sanitary Sewer:	Crestview Water and Sanitation District, Metro Wastewater Reclamation District
Cable Television:	Comcast
Telephone/Internet Service:	Century Link, Comcast

J. Estimated Timetable for Development

The CCTV will most likely be developed in several phases based around future market conditions and trends.

CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
OWNERS NAME

CLEAR CREEK VILLAGE, LLC
THISTLE CREEK COOP I, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

NOT FOR
CONSTRUCTION

DATE:
FDP-01: 03/16/2023
FDP-02: 07/07/2023
FDP-03: 10/23/2023

DRAFT

SHEET TITLE:
NARRATIVE

CLEAR CREEK TRANSIT VILLAGE
AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:
PRC2023-00011



NORRIS-DESIGN.COM

NARRATIVE

K. General Definitions

The definitions of words and terms used in the Clear Creek Transit Village Final Development Plan shall follow the "Rules of Construction" established by the Adams County Standards and Regulations, Chapter 11-02 Words, Terms or Phrases (adopted January 17, 2023). In addition, the Clear Creek Transit Village Final Development Plan defines the following terms as:

Transit Oriented Development (TOD): Land-use category wherein a development or project integrates higher density construction with transit, characterized by a pedestrian-oriented environment that allows people to live and work generally within a five-to-ten-minute walk (or other self-propelled method of transport) of a transit stop.

Mixed-Use: Land-use category characterized by pedestrian friendly development that allows for the horizontal and/or vertical combination of two or more land uses in a parcel, site, lot, building, planning area, or district.

Shared Parking: Parking spaces, parking structures, or parking lots shared between one or more uses, allowing for a more efficient use of parking spaces, as well as land.

Bicycle Route: A designated and clearly defined pathway limited to the use of bicyclists.

Mixed-Use Street Area: The Mixed-Use Street Area is comprised of Planning Areas 1-5 and consists of higher-density buildings and uses including residential and retail. These Planning Areas are generally located adjacent to Federal Boulevard within the eastern half of the Clear Creek Transit Village FDP. The Mixed-Use Street Area allows for a range of uses and emphasizes the pedestrian oriented nature of a TOD district. This area includes multi-modal connections including pedestrian access to transit across Federal Boulevard and the internal pedestrian network of the development, as well as access to the Clear Creek Trail to the south via a new trail connection. The proposed sidewalks meet the typical width standards of a minimum of 5 feet to allow for pedestrian movement and the roads provide the necessary travel lanes and on-street parking is provided where applicable.

Townhome Street Area: The Townhome Street Area is comprised of Planning Areas 6-9 and consists of townhomes and is strictly residential in nature. These Planning Areas are in the western half of the Clear Creek Transit Village FDP. This area includes multi-modal connections including pedestrian access to the internal pedestrian network of the development, as well as access to the Clear Creek Trail to the south via a new trail connection. The proposed sidewalks meet the typical width standards of a minimum of 5 feet to allow for pedestrian movement and the roads provide the necessary travel lanes and on-street parking is provided where applicable.

CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
OWNERS NAME
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK COOP I, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

NOT FOR
CONSTRUCTION

DATE:
FDP-01: 03/16/2023
FDP-02: 07/07/2023
FDP-03: 10/23/2023

DRAFT

SHEET TITLE:
NARRATIVE

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:
PRC2023-00011



CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

GENERAL DESIGN STANDARDS

This Clear Creek Transit Village FDP is intended to outline the permitted zoning, land uses and development standards for this particular property as described in the legal description on the Cover Sheet (Sheet 1). In the instances where there is a conflict between this FDP and the Adams County Development Regulations and Standards (effective August 15, 2017), this FDP shall control and apply to the Property.

The following are the Development and Design Standards. Refer to Sheet 4 for Planning Area descriptions and locations.

ARCHITECTURE VISION

"Build a place – not a project." Clear Creek Transit Village is a District Neighborhood and the architecture should have shared elements that reinforce the identity within this district. Clear Creek Transit Village is a mixed residential and commercial use district with interconnected transit as a defining feature. The architecture will reflect the district's identity through shared elements. Streamline Moderne design will be used to emphasize movement, pattern, and interconnected forms, while also incorporating a contemporary nod to the historic style. The color palettes are to be subdued.

Streamline Moderne is a style of Art Deco that became popular in the 1930's. Inspired by aerodynamics, the international style made its appearance in buildings related to transportation and movement. The style emphasizes repetitive forms, accentuated horizontal fins and banding, eyebrow roof forms, and strong vertical statements. Streamline Moderne naturally lends itself to the architectural emphasis of movement, pattern, and inter-woven forms.

The multi family building design will integrate massing and materials, with at least one material woven from the adjacent building. There will also be a mix of front and rear loaded 3-story townhomes as well as 2-story front loaded townhomes, each with private outdoor space.

These guidelines are written to communicate the overall architectural vision for Clear Creek Transit Village. All statements are strongly encouraged, except for the "Standards" text shown in *italics*, which are requirements.

Additional shared elements may include:

- Flat roof forms (multi-family and mixed-use buildings)
- Low slope of flat roof forms (single-family attached buildings)
- Repeated vertical forms (single-family attached buildings)
- Brick masonry
- Wood-toned siding
- Select rounded elements
- Long horizontal lines, horizontal grooves
- Deep overhangs or parapets

REINVENTING STREAMLINE MODERNE

Here are a few ways to bring Streamline Moderne into the 21st Century:

- Emphasize woven layers of materials. Accentuate vertical and horizontal lines, create opportunities for recessed doors and windows.
- Re-think siding materials. Introduce wood toned products, panel siding with sleek channels, and horizontal screening
- Create a double step in engaged columns and recesses. Step back the parapet to reinforce the Streamline Moderne vernacular.
- Provide deep awnings above windows, they not only reinforce the style, they provide passive solar cooling opportunities.
- Use lighting to accentuate vertical and horizontal rhythms and forms.

It is recommended that building elevations include some of the following elements:

- A material chosen to be "woven" in from an adjacent building
- Repetitive vertical or horizontal elements along the facade
- Flat roof forms
- Brick masonry
- Wood-toned siding
- Recessed windows and doors
- Window awnings
- Street level, horizontal accent roof forms
- Select rounded elements
- Long horizontal lines or horizontal grooves
- Deep (minimum 24") overhangs or parapets
- Architectural lighting that accentuates vertical or horizontal forms

MASSING AND FORM

Being the built representation of a transit-oriented hub, the architecture will emphasize movement, pattern and form.

Multi-Family Considerations:

- While stretches of simple elevation massing are encouraged, building entries, corners and areas of heightened circulation should be emphasized with greater articulation and grander gestures.
- Additional articulation will be required on high visibility streetscapes.
- Buildings will have a discernible hierarchy, showing a base, middle and top.
- Top story, of multi-story buildings four stories and above, will strategically step back to further reinforce building hierarchy.
- Private outdoor balconies are strongly encouraged.

Single-Family Attached Considerations:

Continuing the spirit of the District Neighborhood, townhome architecture should have shared elements that reinforce the identity of the district. Massing should continue to reflect the Streamline Moderne style, with connections, intersections and overlaying modes. Massing and materials are to appear woven together.

- Brick masonry
- Wood-toned siding
- Recessed windows and doors
- Low-sloping roof forms (4:12 and below) or flat roofs with parapets
- A wood-tone accent siding or architectural feature
- Select rounded elements
- Passive-solar shading opportunities
- Private outdoor living spaces

1.0 BUILDING FORM & ARCHITECTURAL CHARACTER

Intent:

- To create inviting and active ground floor frontages along internal streets
- To encourage ground floor activity and pedestrian scale along street frontages
- To create four-sided buildings which orient to the streets.
- Scale, texture, and color of materials to represent a local, contemporary design or interpretation
- Architectural detailing to contribute to the identity of the place through local materials, craftsmanship and traditions

Guidelines:

- Building types might include townhouses, live/work units, multifamily housing, mixed-use, office, retail and/or restaurant buildings or a combination thereof.
- Buildings edges facing Creekside Avenue should include materials which compliment the natural landscape and should use materials such as wood, architectural concrete, stone or brick.
- Along semi-active ground floors, architectural or landscape features should functionally allow for residential or live/work uses to coexist. This may include patios as a transition space, walk-up, stoop, or additional landscaping techniques.

Standards (required):

- Buildings will have a discernible hierarchy, showing a base, middle and top.*
- All setbacks shall be followed as depicted on the Overall Site Plan (see sheet 4).*
- Non-townhome ground floor residential uses shall have a minimum of a 10'-0" floor-to-floor height to accommodate live/work or shop-front uses. Ground floor commercial uses shall have a minimum of a 12'-0" floor-to-floor height to accommodate a variety of uses over time. (market conditions might not allow for live/work or commercial opportunities in the early phases. Residential or civic uses are encouraged for the interim)*
- Buildings shall be constructed with highly durable building materials on all four sides.*
- Northern and western property edges shall use materials, colors and building articulations to respond to the adjacent existing landscape.*

2.0 BUILDING FACADES

Intent:

- To create visually interesting high-quality facades, particularly those that face streets or public open space.
- To avoid large areas of undifferentiated or blank facades
- To provide pedestrian scale, character and detail.
- To create visual interest through the interplay of light and shadow.

Guidelines:

- Where balconies and terraces are used, they should be incorporated into the vertical and horizontal shifts in building massing wherever possible to avoid facades dominated by cantilevered balcony projections.
- Awnings or shading elements which are solely cosmetic and non-functional should not be used.

Standards (required):

- Each building facade oriented to the street or public space shall express high levels of design, material quality, and detailing.*
- Building facades shall include architectural variety and scale through such elements as: expression of building structure; window pattern, door or other openings that provide surface variation through change of place; change in color; change in texture; change in material module or pattern.*
- Primary building facades at the street level shall include some elements that provide a change in plane that create interest through the interplay of light and shadow. Examples of such elements include:*
 - *Windows recessed a minimum of three (3) inches*
 - *Recessed entries and doors*
 - *Projecting sills*
 - *Projecting pilasters, columns, bays*
 - *Projecting cornices and roofs*

3.0 BUILDING ENTRANCES

Intent:

- To promote inviting and open entries along ground-floor commercial and active live/work frontages through frequent points of entry.
- To provide clear and understandable entry points for mixed use and residential buildings for easy way-finding year-round, day or night.
- To enhance the scale, activity and function of the public streets.

Guidelines:

- Entries should have a scale and level of detail appropriate to the design, scale and number of units or storefronts provided.
- Primary building entries of commercial uses should be clearly defined and generally break the storefront/ground-floor facade pattern.
- Mixed use buildings should have separate clearly marked entries for residential and commercial uses.

Standards (required):

- Primary entries shall face a public street or plaza, be clearly defined and marked with an address and/or appropriate signage.*
- Primary building entries shall be emphasized by recessing the door a minimum of four (4) inches, by changes in wall plane or building massing, by diffraction in material or color, a greater level of detail, and/or enhanced lighting.*
- Service access for buildings shall be located out of sight from the primary building entry such as in an alley, back of building, or interior parking lot or structure.*

OWNER:
OWNERS NAME

CLEAR CREEK VILLAGE, LLC
THISTLE CREEK COOP I, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

NOT FOR
CONSTRUCTION

DATE:
FDP-01: 03/16/2023
FDP-02: 07/07/2023
FDP-03: 10/23/2023

DRAFT

SHEET TITLE:
GENERAL DESIGN
STANDARDS

CLEAR CREEK TRANSIT VILLAGE
AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:
PRC2023-00011



GENERAL DESIGN STANDARDS (CONTINUED)

4.0 BUILDING MATERIALS & COLOR

Streamline Moderne naturally lends itself to the architectural emphasis of movement, pattern, and inter-woven forms. This is a minimalistic, pure-form approach, making sophisticated gestures towards a historic style. Color palettes are to be subdued.

Intent:

- To use low maintenance and lasting materials which hold up to vandalism and age well.
- To use new synthetic materials in ways that reflect their intrinsic characteristics.

Guidelines:

- Building materials should include new technologies and materials that contribute to the development's character and promote environmental sustainability as well as architectural methods and materials that are energy resource responsible.

Standards (required):

- 4.a *Facades facing a street or public open space shall be composed primarily of primary materials as listed below.*
- 4.b *Primary Materials: brick, stone, architectural precast concrete, architecturally cast concrete, cast stone, specially treated concrete masonry units, terra-cotta, glass, and durable synthetic materials such as glass fiber-reinforced concrete, metal panels or green wall systems*
- 4.c *Secondary Materials: exterior insulation and finishing systems, simple concrete masonry units, and hard-cost stucco*
- 4.d *Building materials shall be selected with the objectives of quality and durability appropriate to the prevailing climate conditions.*

5.0 BUILDING FENESTRATION, TRANSPARENCY & REFLECTIVE GLASS

Intent:

- To animate public spaces with transparent building facades, while providing a sense of security through "eyes on the street".
- To create transparent viewing through glazing at the ground floor to provide pedestrians the opportunity to view activities inside and outside the building.
- To provide adequate transparency on upper floors to create a secondary level of activity and to be able to view activities To promote a high level of transparency at the ground level of commercial uses.
- To limit the use of reflective glass with high glare.

Guidelines:

- To allow for the use of high-performance reflective glass, while reducing possible glare, and maintaining some transparency, the reflective coating should be on the second or third surface.

Standards (required):

- 5.a *All ground-floor commercial uses shall have no less than 60% of transparency.*
- 5.b *All upper-level commercial glazing shall have no less than 40% of transparency.*
- 5.c *Highly reflective and first-surface reflective coatings shall not be used.*

6.0 BUILDING LIGHTING

Intent:

- To illuminate architectural elements including building entries, cornices, structural bays or other significant features.
- To encourage the use of interior lighting through its fenestration both on the ground-floor as well as upper-levels.

Standards (required):

- 6.a *Lighting fixtures shall be of architectural quality and consistent with the design of the building. No utilitarian lighting is allowed.*
- 6.b *Lighting of service areas and parking structure areas shall be controlled so that it does not illuminate onto adjacent areas or buildings.*
- 6.c *Areas of ground floor activity should provide a consistent glow to encourage exploring and visiting of businesses at night.*
- 6.d *Lighting elements should draw attention to major building entries.*

7.0 ROOFTOP DESIGN & MECHANICAL SCREENING

Intent:

- To maintain a consistent look and not disrupt the continuity of the roof, rooftop or parapet.
- To avoid the random placement of mechanical or electrical equipment as seen from the street.
- To promote sustainable design through green roofs and other methods to reduce heat gain in summer months and to retain heat in winter months.
- To encourage usable rooftop gardens and gathering spaces.
- To reduce the visual impact from upper floors looking down on adjacent buildings' rooftops.

Guidelines:

- When possible outdoor rooftop spaces such as terraces, shared public or private spaces should be provided to take advantage of mountain views, Colorado's year-round weather and 300+ days of sunshine.
- Green roofs should be included where feasible through regionally appropriate vegetative and drought tolerant plantings. Rooftop spaces might consider urban permaculture through providing functional gardens which produce seasonal fruits, vegetables and/or spices.

Standards (required):

- 7.a *All rooftop mechanical and electrical equipment, satellite dishes, or antennae shall be screened and organized as such that limits the visual disruption of the roof.*

8.0 VEHICULAR ENTRIES

Intent:

- To provide the safe and efficient movement of all users including: vehicles, buses, pedestrians and bicyclists.
- To be spaced to allow for cueing of vehicles along the public street and not disrupt adjacent traffic or turning vehicles.

Guidelines:

- Entry points should be obvious, provide a break in facade or show a material change to indicate as visual cue for pedestrians.

Standards (required):

- 8.a *Vehicular entries, especially public ones, shall be clearly marked to allow proper way-finding for motorists.*
- 8.b *Vehicular entry points shall be in locations that minimize the disruption of pedestrian circulation.*

9.0 PARKING

Intent:

- To mitigate any negative visual aspects of parking as viewed from the street or adjacent uses.
- To limit or avoid permanent of-street surface parking.
- To encourage structured, tuck-under, or other methods of non-surface parking.

Guidelines:

- Temporary surface parking in initial phases should be designed to be aesthetically pleasing and safe through landscaping and proper lighting treatments.
- Parking structure facades that are facing amenity courts, adjacent to leasing/amenity spaces, or highly visible from community entrances along Federal Blvd., will be strongly encouraged to have additional screening, in the form of brick detailing, kinetic screens, green walls or art installations that cover a minimum of 50% of the first two stories of parking structure along that façade, and reinforce the theme of interwoven connectivity.

Standards (required):

- 9.a *Surface, tuck-under or structured parking shall be located internally to each block and/or have limited exposure to adjacent streets and uses.*
- 9.b *Parking areas shall be screened from public view by wrapping them with development.*

10.0 PARKING STRUCTURES

Intent:

- To provide a high quality pedestrian experience along the street environment.
- To provide uses or art along the public street to encourage pedestrian activity.
- To avoid large areas of undifferentiated or blank facades at the street level

Guidelines:

- The ground floor of wrapped parking structures should be designed with a pedestrian scale and allow for a variety uses or tenants to change and evolve over time.

Standards (required):

- 10.a *Parking structures exposed to an adjacent street shall have a high quality facade to reduce negative visual impacts.*
- 10.b *Structured parking shall be designed so that vehicles parked on all levels of the facility are predominately screened from public view.*
- 10.c *Parking structure facades facing public streets shall be designed to integrate or blend into their context. This might include integrating structural bays, unique use of a material or vegetative cover/living wall treatment.*

11.0 SERVICE AREAS, TRASH ENCLOSURES AND UTILITY APPURTENANCES

Intent:

- To reduce the visibility of loading and service areas, recycling or trash enclosures and mechanical/electrical equipment to public streets, adjacent development or open spaces.

Guidelines:

- Service areas and trash enclosures should not front onto streets and public open spaces. Service areas should be located to the rear or side of buildings, and screened from view from street and/or public open space.
- Loading and service areas should be concentrated in common courts when possible to minimize any visual impacts.

Standards (required):

- 11.a *Utility appurtenances such as light fixtures and signal boxes shall be located behind the sidewalk and out of the tree lawn or sidewalk amenity zone whenever possible. When it must be in the tree lawn, or amenity zone, such equipment shall be centered on the tree line and aligned with but no closer than 42 inches from the face of curb.*
- 11.b *Service areas shall be located internal to the development blocks, hidden from public view and away pedestrian circulation paths.*
- 11.c *Where fully internal service areas are not feasible, the service areas shall be bounded on three sides by the building being served, with only one side open to the service drive. The open side shall be screened to the greatest extent possible.*
- 11.d *Service areas should not be located within 25 feet of primary building entrances.*

CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
OWNERS NAME

CLEAR CREEK VILLAGE, LLC
THISTLE CREEK OOF, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

NOT FOR
CONSTRUCTION

DATE:
FDP-01: 03/16/2023
FDP-02: 07/07/2023
FDP-03: 10/23/2023

DRAFT

SHEET TITLE:
GENERAL DESIGN
STANDARDS

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:
PRC2023-00011



NORRIS-DESIGN.COM

GENERAL DESIGN STANDARDS (CONTINUED)

SITE / LANDSCAPE NOTES

- All work shall conform to Adams County codes.
- All landscape plantings within site boundaries shall be automatically irrigated, with the exception of detention basins. Tap size and location to be determined with final irrigation plans.
- All new planting beds and turf areas shall receive three (3) cubic yards of organic matter per one thousand (1,000) square feet of bed to be planted. Organic matter could include aged manure, sphagnum peat moss, humus, compost, or aged sawdust.
- All mulch bed areas shall receive 3" minimum depth wood, stone or gravel mulch depending upon plant type and location.
- Final landscape plans shall reflect public safety measures according to CEPTD guidelines.
- All pedestrian areas shall meet ADA requirements.
- Trash enclosures and service areas shall be effectively screened through the use of landscape materials and/or screen walls of materials and colors to match building architecture where trash enclosures are located outside of building envelope.
- All buildings, parking and landscaping shall not obstruct required sight triangles at intersections.
- All landscape areas located outside the building envelopes as defined in this FDP shall be maintained by the Clear Creek Transit Metropolitan District No. 1, or a Property Owner's Association. The Landscape Berm and Fence Easement (Book 4701, page 983 - Adams County Clerk and Recorder) shall be maintained by the Aloha Beach Neighborhood Association.
- Re-vegetation below floodplain shall adhere to Mile High Flood District requirements.
- Regional trail improvements at Clear Creek shall conform to ADA and AASHTO standards, and be built to conform to Adams County concrete trail specifications. Funding and implementation is subject to a future IGA or other agreement with Adams County or other applicable agencies TBD. Off-site trail improvements are intended to be included to on-site trail to the existing Clear Creek regional trail. Offsite trail improvements shall include concrete trail, associated grading and landscape restoration planting within disturbed areas. Offsite trail improvements and license agreements shall be coordinated between developer and Adams County.

LANDSCAPE STANDARDS

The landscape standards are intended to establish minimum planting standards for all landscaped areas within Clear Creek Transit Village. The site / landscape notes on this sheet establish standards for irrigation, soil amendments, mulch, edger, and other non-living landscape materials.

Federal Blvd.

- Minimum one tree per 40 linear feet of street frontage, excluding areas encumbered by easements, curb cuts, sight triangle and other constraints.
- Minimum 20% landscape area between building envelope and Federal Blvd. R.O.W. Rain gardens shall be included in minimum landscape area calculation. Minimum one 5 gal. shrub or two 1 gal. perennials / groundcovers per 200 square feet of landscape area.
- All landscape areas shall be planted such that vegetative cover at plant maturity achieves a minimum 70% living coverage with the exception of rain gardens. Rain garden plantings shall be included in conformance with engineered allowances.
- No turf is permitted.

Interior Streets

- Minimum one tree per 40 linear feet of street frontage, excluding areas encumbered by easements, curb cuts, sight triangle and other constraints.
- Minimum one 5 gal. shrub or two 1 gal. perennials / groundcovers per 200 square feet of landscape area.
- All landscape areas shall be planted such that vegetative cover at plant maturity achieves a minimum 70% living coverage.

Village Green (Planning Area 4)

- Minimum one tree per 40 linear feet of street frontage, excluding areas encumbered by easements, curb cuts, sight triangle and other constraints.
- Minimum one 5 gal. shrub or two 1 gal. perennials / groundcovers per 20 square feet of shrub bed area.
- Turf is permitted where active recreational use is intended.

North Landscape Buffer (Tract B)

- Minimum one evergreen tree per 30 linear feet
- Minimum six foot metal fence.

West Landscape Buffer (Tract T)

- Minimum one evergreen tree per 30 linear feet
- Minimum six foot metal fence.

Clear Creek Frontage

- Minimum one tree per 4,000 square feet of landscape area. Existing trees over 4" cal. shall be replaced at one new tree per existing tree removed.
- Minimum ten 5 gal. shrubs or twenty 1 gal. perennial / groundcovers per 4,000 square feet of non-turf landscape area.
- Turf is permitted where active recreational use is intended
- Native plantings are encouraged.

Interior Open Spaces

- Minimum 5% landscape area required within each planning area.
- Minimum one tree per 1,000 square feet of landscape area.
- Minimum one 5 gal. shrub or two 1 gal. perennials / groundcovers per 200 square feet of non-turf landscape area.
- All landscape areas shall planted such that vegetative cover at plant maturity achieves a minimum 70% living coverage.
- Turf is permitted where active recreational use is intended.

DEFINITIONS OF PLACEMAKING AREAS

Approximate locations of placemaking areas are defined within the Placemaking, Circulation and Signage Plan as shown on sheet 21 within this final development plan. Final and exact locations of placemaking areas are subject to change and to be determined with construction documents to meet the intent of the final development plan. Definitions of different placemaking area are defined below.

PLACEMAKING AREA - PRIMARY PARK PLAZA

Primary Park Plaza is intended for the Village Green and serves the intent of providing an outdoor communal gathering space with seating and tables, shade, and is accessible to all planning areas. Primary Park Plaza shall include the following;

- A minimum of 1,000 square feet of paving area. Enhanced Paving Surfaces are required for 100% of Primary Park Plaza. See Enhanced Paving Surfaces definition.
- A minimum of (1) 500 square foot shade shelter is required.
- Seating with table surfaces, and a minimum of (3) different seating locations are required.
- Landscape Lighting is required. See Landscape Lighting definition.

PLACEMAKING AREA - SECONDARY PLAZA

Secondary Plaza is intended to serve as a supplementary seating area for adjacent active recreation spaces and shall include the following:

- A minimum of 500 square feet of paving area. Enhanced Paving Surfaces are required for a minimum of 50% of the Secondary Plaza.
- A minimum of (2) seating options, benches are encouraged.
- Landscape Lighting is required.

PLACEMAKING AREA - GATHERING NODE

Gathering Nodes are intended to be included with Planning Areas 1, 2, 3, 4, and 5. Gathering Nodes shall serve the intent of providing exterior gathering spaces, facilitating multi-modal transportation by ensuring safe circulation in high pedestrian traffic areas and providing bike racks. Gathering Nodes shall be designed with the intent of providing an accessible off-street location for one or more of the following: serving as an off-street trailhead location, exterior building entrance, pedestrian space, or rideshare pickup location. Gathering Nodes shall include the following;

- A minimum of 150 square feet of paving area. Enhanced Paving Surfaces are not required, but encouraged for gathering nodes.
- A minimum of 3 bicycle parking spaces.
- Locations for alternative transportation such as bicycle and scooter shares are encouraged.
- Secondary Signage is encouraged but not required at locations where Primary Signage is not provided. See provided signage definitions.
- Landscape Lighting is encouraged but not required where exterior building lighting is provided.

LANDSCAPE DESIGN - SITE FURNISHINGS

Site furnishings shall be intended to enhance the pedestrian and cyclist experience, provide opportunity for seating, dining and social interaction. Site furnishings shall be of high quality exterior rated materials with similar design character which could be defined as streamlined, modern or contemporary. Materials may be any combination of metal, concrete, wood or synthetic wood material. Colors may include the natural material color, stained (wood) in neutral colors, or powdercoated (metal) in colors complimentary to the exterior architectural color palette. ADA accessible seating options shall be provided. Site furnishings shall include the following but not limited to;

- Freestanding Benches - backed and backless
- Wall-Mounted Benches
- Seat Wall
- Cafe / Picnic Tables
- Trash / Recycle Receptacles
- Pet Pick-up Stations
- Bicycle Racks/Parking

LANDSCAPE DESIGN - PLAYGROUND

(1) Playground area shall be provided in Planning Area 4. Playground equipment shall be consistently themed and regionally inspired play equipment is encouraged. Playground shall include the following;

- A minimum of 2,500 square feet of playground surfacing.
- A minimum of (1) swingset, including a minimum of (2) swings, one of which shall be bucket-style seat.
- A minimum of (1) 2-5 age play equipment.
- A minimum of (1) 5-12 age play equipment.

LANDSCAPE DESIGN - SHADE SHELTER

One shade shelter shall be provided in Planning Area 4. Shade shelters shall be designed to the following parameters;

- A minimum of 500 square feet of shelter area, and a maximum of 1,000 square feet.
- Shade shelter shall be designed to match architectural design styles, materials and colors, and may include metal, wood, and masonry.
- Shade shelter shall not exceed 18' in height.
- Landscape lighting shall be required at shade shelter location.

LANDSCAPE DESIGN - ENHANCED PAVING AREAS

Enhanced Paving Areas are encouraged along streetscapes and required in locations as described by Placemaking Areas. Enhanced Paving Areas shall include the following;

- Masonry Pavers
- Textured and/or Colored Concrete

No more than (2) different Masonry Pavers shall be used throughout all planning areas, and shall be used in a consistent pattern and installation method and installed in similar locations such as main building entrances and plazas. A geometric pattern and a traditional pattern are encouraged as the two different masonry patterns. Masonry Pavers shall be have a pattern complimentary to building exterior material and style, and color such as a warm gray, tan or brown color. No more than (2) different colors shall be used for paver types, and a consistent grout color shall be used at all locations. Only (1) color of Colored Concrete shall be used throughout all planning areas, except for Planning Area 4 where an alternative option may be provided. Colored Concrete shall be a warm gray, tan or brown, with the exception of an alternative cool-color option within Planning Area 4. Colored Concrete is encouraged at high-traffic areas such as sidewalk landings at pedestrian crosswalks. Colored concrete may include exposed aggregate, acid washing, broom finishes, but must be consistently finished in all applications.

CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
OWNERS NAME

CLEAR CREEK VILLAGE, LLC
THISTLE CREEK COOP I, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

NOT FOR
CONSTRUCTION

DATE:
FDP-01: 03/16/2023
FDP-02: 07/07/2023
FDP-03: 10/23/2023

DRAFT

SHEET TITLE:
GENERAL DESIGN
STANDARDS

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO

PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:
PRC2023-00011



NORRIS-DESIGN.COM

GENERAL DESIGN STANDARDS (CONTINUED)

LANDSCAPE DESIGN - LANDSCAPE WALLS

Landscape wall finish materials such as veneers, caps, masonry patterns or finishes shall be consistent in design and materiality for each type of wall condition;

- Condition 1: Retaining and parapet walls along streetscapes, multi-family and commercial street frontages. Walls shall be masonry veneer of a neutral/warm gray, warm white, beige, or clay brick red and consistent in color, material, size and coursing pattern throughout all filings where condition 1 is used. Capstone shall be either be a coursing of the same masonry veneer to match the face, or a consistent precast concrete capstone, with consistent depth and neutral gray color. Condition 1 shall also be applied to Primary Signage walls and pedestals - see Primary Signage definitions.
- Condition 2: Retaining walls in open space, excluding parks and along multi-family and commercial street frontages. Walls shall be precast masonry block with consistent material, pattern, and color. Color shall be either a neutral warm gray, beige, or tan.
- Condition 3: Freestanding and retaining walls in parks and active recreation spaces. Condition 3 may either match the design style of Condition 1, or alternatively may be a neutral gray concrete with a smooth or boardform finish.

SIGNAGE: BUILDING AND TENANT SIGNS

- Building Identification: Individual buildings may wish to express a unique identity within CCTV. Signage for this purpose may be allowed. Maximum sign area allowed for this purpose shall be 0.5 square foot per linear foot of building frontage at each building face. A maximum of two such signs per building is permitted. Signage may be placed above the second floor sill level, provided that the signage does not interfere with other uses, public safety, or building aesthetics.
- Individual Ground Floor Uses in a Retail Setting shall be allowed a maximum of 1.5 square feet of sign area per linear foot of primary street frontage, and 0.8 square feet of sign area per secondary street frontage. Multiple signs and sign types may be allowed, provided that the maximum allowable sign area is not exceeded. (Sign area for two-sided projecting signs shall be measured as the total square footage of one side only) No signage component shall extend above the second floor sill level.
- Individual Ground Floor Uses in a Live-Work Setting (or other Non- Traditional Retail) shall be allowed a maximum of 0.8 square feet of sign area per linear foot of building frontage. Multiple signs and sign types may be allowed, provided that the maximum allowable sign area is not exceeded. (Sign area for two- sided projecting signs shall be measured as the total square footage of one side only) No signage component shall extend above the second floor sill level.
- Non-Ground Floor Uses may also require identity and directional signage at the ground level. For each building containing such uses, all non-ground floor uses combined shall be allowed a maximum of one sign per exterior entrance that accesses said uses. Maximum sign area shall be 12 square feet per sign. Signs must be located on, above, or immediately adjacent to the exterior entrance.

PRIMARY PROJECT SIGNAGE - WALL MOUNTED MONUMENT

Wall Mounted Monument Primary Project Signage is intended to be included at (1) location along Federal Boulevard frontage. This monument is intend to display project and tenant logos/signage. Wall Mounted Primary Signage is intended to be metal or similar material to match exterior architecture in aesthetic, material and color and mounted on retaining or freestanding wall. Wall Mounted Monument Primary Signage shall be a maximum of 80 square feet when measured as a rectangle around text/logo area and shall be a maximum of 10' in height. Landscape lighting at monument is encouraged.

PRIMARY PROJECT SIGNAGE - MONUMENT / WAYFINDING / INFO

Monument / Wayfinding / Info Primary Project Signage is intended to be included a maximum of (4) locations and located along Federal Boulevard and Clear Creek Avenue frontages. Monument / Wayfinding / Info Primary Signage may include tenant logos/signage, directional or wayfinding information including address information, and general seasonal/ event related information. The materials, aesthetic and colors of the monument shall match proposed architectural style. Maximum signage area shall be 160 square feet including all sides of the sign area including sign information and measured as a rectangle along the sign area which lettering or graphics are provided. Sign pedestals may be provided and shall be designed to match landscape or architectural wall finishes. Sign pedestals may be a maximum of 8' height above adjacent finished grade and shall not exceed more than 3x the width of the sign width. Sign pedestals shall not be counted towards sign area calculation except where text or sign information is provided on pedestals. Sign mounted lighting, backlighting, and/or landscape lighting shall be allowed and is encouraged.

SECONDARY SIGNAGE - WAYFINDING / INFO

Wayfinding / Info Secondary Signage is intended to include directional or wayfinding information including address information, and/or regional multi-modal transportation wayfinding such as trail connections, bus stops, RTD stations or other regional wayfinding information or maps. The materials, aesthetic and colors of the monument shall match proposed architectural style. Signs shall not exceed 6' height and shall have a maximum sign area of 30 square feet including all sides of the sign area including sign information and measured as a rectangle along the sign area which lettering or graphics are provided.

CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
OWNERS NAME

CLEAR CREEK VILLAGE, LLC
THISTLE CREEK Q00F L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

NOT FOR
CONSTRUCTION

DATE:
FDP-01: 03/16/2023
FDP-02: 07/07/2023
FDP-03: 10/23/2023

DRAFT

SHEET TITLE:
GENERAL DESIGN
STANDARDS

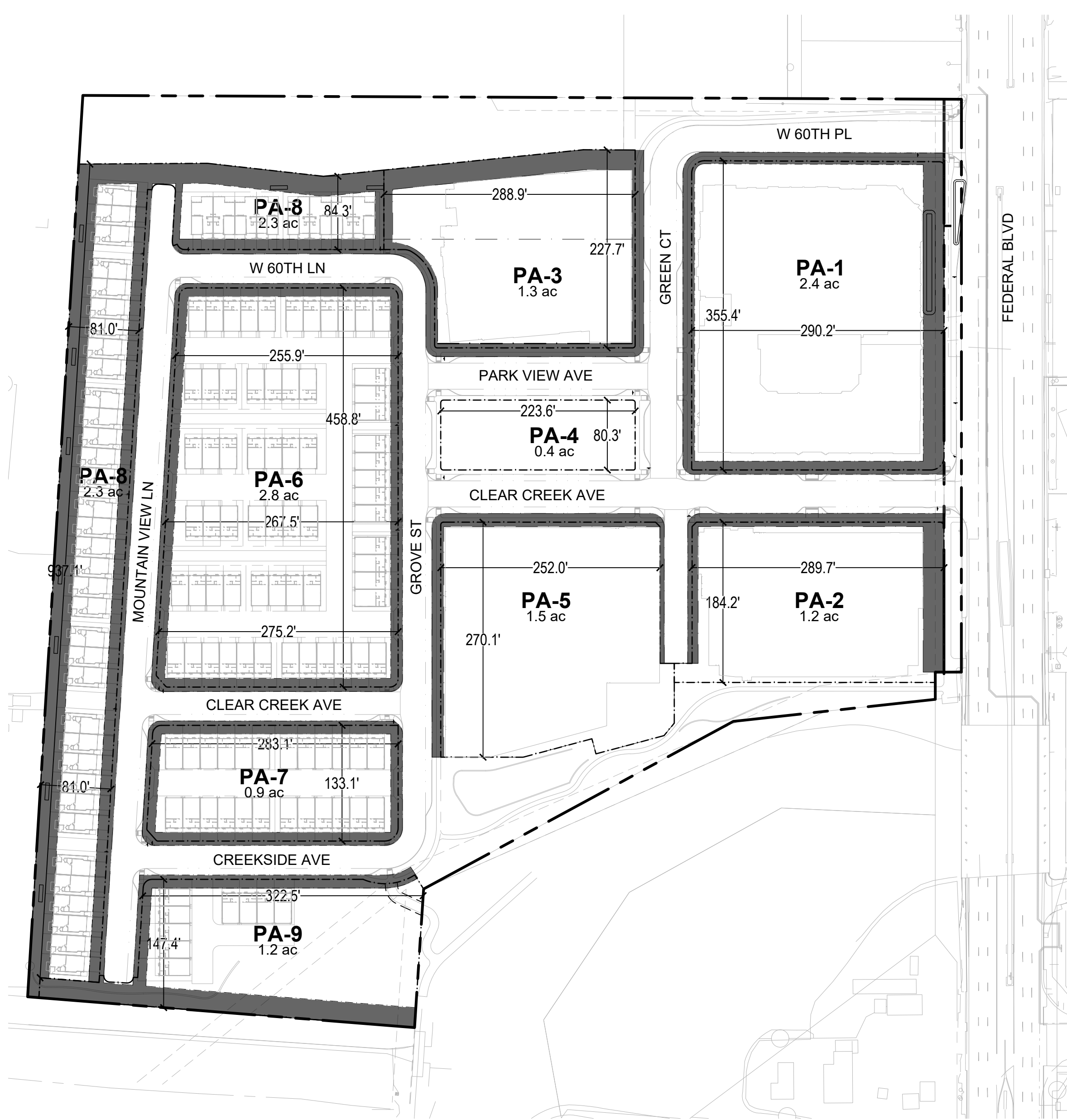
CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:
PRC2023-00011



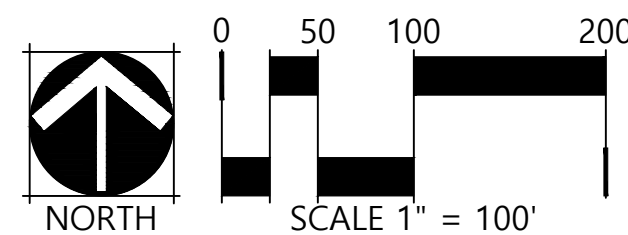
OVERALL SITE PLAN



LAND USE CHART				
Planning Area	Uses	Description	Acres	% of Site
PA-1	Commercial, Mixed-Uses, Residential	Intended to be mixed use with ground floor commercial space along Federal Boulevard and Clear Creek Avenue. Floors 2-7 are intended to be occupied by multi-family residential and/or commercial uses.	± 2.4 ac	11.4%
PA-2	Commercial, Mixed-Uses, Residential	Intended to be mixed use with ground floor commercial space along Federal Boulevard and Clear Creek Avenue. Residential and/or commercial uses will occupy floors 2-7.	± 1.2 ac	5.7%
PA-3	Commercial, Mixed-Uses, Residential	Intended to be mixed use with the possibility of ground floor commercial space along Park View Avenue facing the park/open space. Buildings on the north side of PA-3 will be no higher than two stories. Buildings on the southern portion of PA-3 are intended to be residential and/or commercial uses up to 5 stories.	± 1.3 ac	6.1%
PA-4	Park/Open Space	Intended to be a public park/open space for the community.	± 0.4 ac	1.9%
PA-5	Commercial, Mixed-Uses, Residential	Intended to be mixed use with the possibility of ground floor commercial space along Park View Avenue facing the park/open space. Building floors 1-7 are intended to be occupied by residential and/or commercial uses.	± 1.5 ac	7.1%
PA-6	Residential	Intended to be single family attached or multi-family residential use with buildings ranging up to 3 stories.	± 2.8 ac	13.3%
PA-7	Residential	Intended to be single family attached or multi-family residential use with buildings up to 3 stories.	± 0.9 ac	4.2%
PA-8	Residential	Intended to be single family attached residential use with buildings up to 3 stories on the western edge and up to 2 stories on the northwestern edge of the site, including garages accessed off of Mountain View Lane and West 60th Lane.	± 2.3 ac	10.9%
PA-9	Residential	Intended to be single family attached residential use with buildings up to 3 stories.	± 1.2 ac	5.7%
Total Planning Areas			± 14.0 ac	66.3%
Open Space Tracts			± 2.1 ac	10.0%
Private Road			± 4.7 ac	22.3%
ROW Dedicated to Adams County			± 0.3 ac	1.4%
TOTAL			± 21.1 ac	100%

Notes:

- The Planning Area acreage's may be administratively adjusted up to 15% without an amendment.
- Boundaries may be modified through the platting process due to the alignment of any for the streets, parks, opens spaces, adjacent parcels, etc.



LEGEND

	PROPERTY BOUNDARY
	PLANNING AREA BOUNDARY
	SETBACK AREA

CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
OWNERS NAME
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK COOP I, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

NOT FOR
CONSTRUCTION

DATE:
FDP-01: 03/16/2023
FDP-02: 07/07/2023
FDP-03: 10/23/2023

DRAFT

SHEET TITLE:
OVERALL
SITE PLAN

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:
PRC2023-00011



PA-1 SITE PLAN

PA-1 DEVELOPMENT STANDARDS

HOUSING TYPE	PA-1 LOT SIZE	PA-1 MAXIMUM UNITS	NORTH PERIMETER SETBACK	SOUTH PERIMETER SETBACK	EAST PERIMETER SETBACK	WEST PERIMETER SETBACK	MAXIMUM BUILDING HEIGHT	FLOOR AREA RATIO
MULTI-FAMILY	2.3 ac	269	13'-6"	15'-0"	24'-0"	13'-6"	95'-0" (7 Story)	1.5 - 5.0

PLANNING AREA - 1:

PA-1 is intended to be mixed use with ground floor commercial space along Federal Boulevard and Clear Creek Avenue. Floors 2-7 are intended to be occupied by multi-family residential, commercial and/or mixed-uses.

LAND USES:

- Commercial/Mixed-Uses 3% - 15% (of Gross Building Area)
- Residential 85% - 97% (of Gross Building Area)

PARKING RATIO:

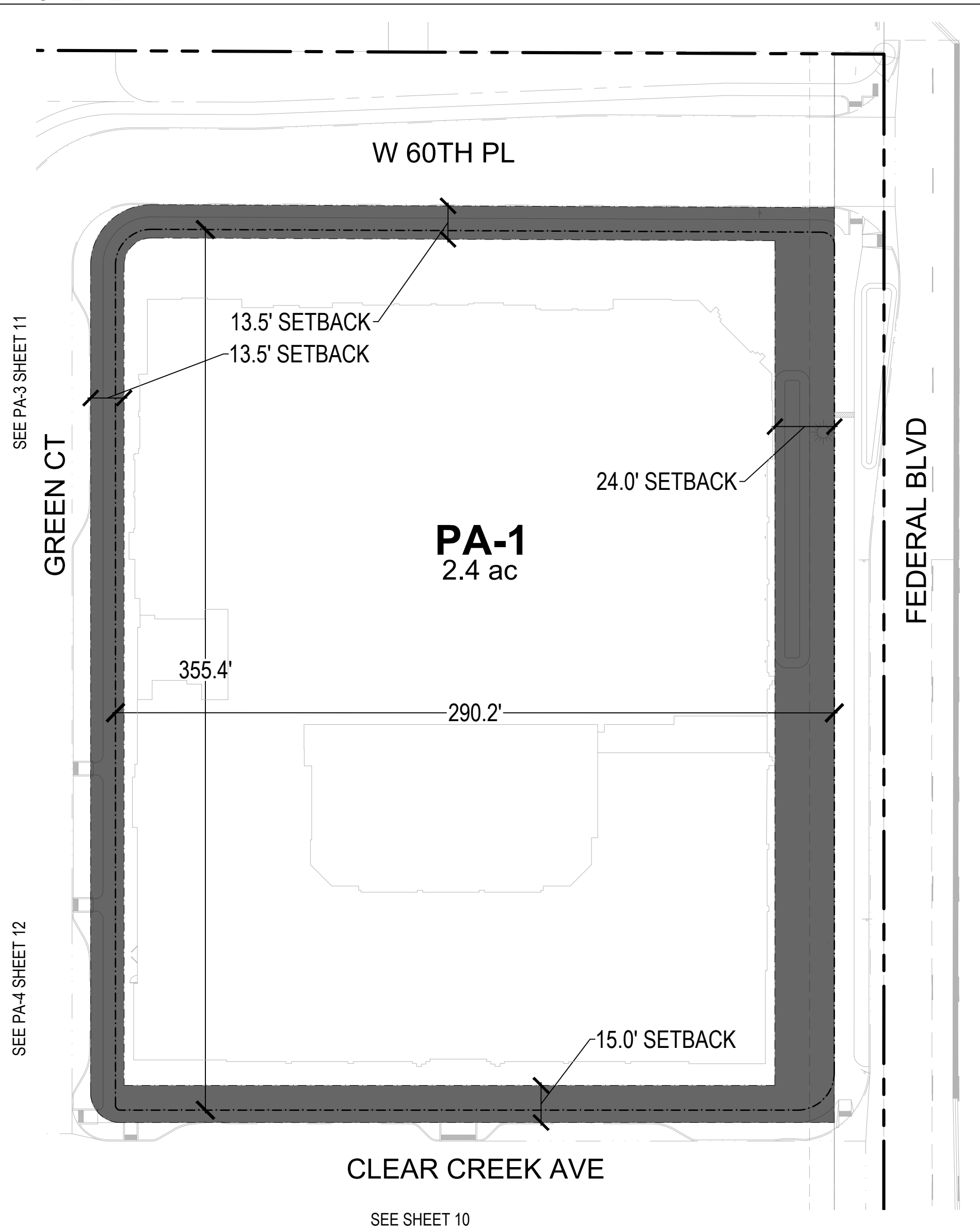
Use	Min Parking Ratio	Max Parking Ratios
Residential	1 spaces per unit	2 spaces per unit
Non-Res	2 spaces per 1,000 sq. ft.	8 spaces per 1,000 sq. ft.

PLANNING AREA PLACEMAKING CONSIDERATIONS:

This planning area is envisioned as a high density, mixed-use parcel blending multi-family residential with ground floor retail and commercial uses. The Mixed-Use Street Area along Federal Blvd and Clear Creek Ave will be designed to activate the pedestrian realm and provide multi modal connections throughout the development, as well as to the adjacent context. The predominant street type will be urban in nature. The area tree lawn between the street and five foot detached walks will be planted with canopy trees, shrubs and ornamental grasses. Bump outs at intersections will increase pedestrian safety and promote walkability. On-street parking is provided on both sides of the street where curb cuts, utilities and other constraints allow for parking to occur. All private streets will be owned and maintained by a Metro District.

The architecture will be a highly visible element to the neighborhood and will require a high level of design on all four sides with quality materials to create an inviting street scene. Architectural details that will drive the design of the mixed-use buildings can be found on sheets 5 - 7 of this document.

To compliment the architecture, the landscape will also be held to a high standard of design. The landscape will incorporate consistent site furnishings, plant material and design elements that create a distinct but unified neighborhood. For additional landscape standards, please refer to sheets 8 and 9 of this document.



CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
OWNERS NAME
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK COOP I, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

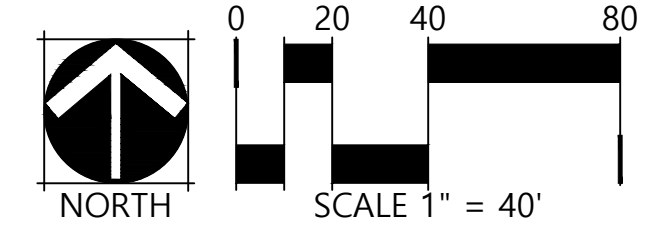
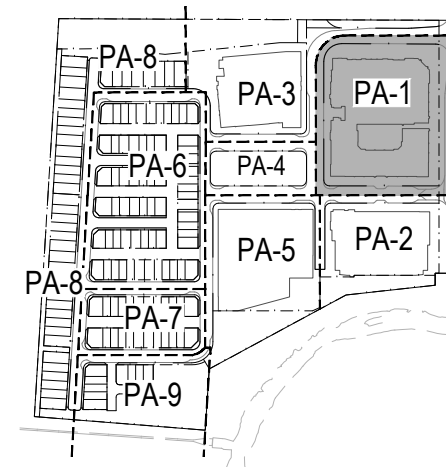
NOT FOR
CONSTRUCTION

DATE:
FDP-01: 03/16/2023
FDP-02: 07/07/2023
FDP-03: 10/23/2023

DRAFT

SHEET TITLE:
PA-1
SITE PLAN

KEY MAP 1" = 500'



LEGEND

	PROPERTY BOUNDARY
	PLANNING AREA BOUNDARY
	SETBACK AREA

CHECKED BY:
DRAWN BY:
XX

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:
PRC2023-00011

NORRIS DESIGN
PEOPLE • PLACEMAKING
1101 BANNOCK STREET
DENVER, CO 80204
P 303.892.1166

NORRIS-DESIGN.COM

PA-2 SITE PLAN

PA-2 DEVELOPMENT STANDARDS

HOUSING TYPE	PA-2 LOT SIZE	PA-2 MAXIMUM UNITS	NORTH PERIMETER SETBACK	SOUTH PERIMETER SETBACK	EAST PERIMETER SETBACK	WEST PERIMETER SETBACK	MAXIMUM BUILDING HEIGHT	FLOOR AREA RATIO
MULTI-FAMILY	1.2 ac	174	15'-0"	0'-0"	24'-0"	12'-0"	95'-0" (7 Story)	1.5 - 5.0

PLANNING AREA - 2:

PA-2 is intended to be mixed use with ground floor commercial space along Federal Boulevard and Clear Creek Avenue. Residential, commercial and/or mixed-uses will occupy floors 2-7.

LAND USES:

- Commercial/Mixed-Uses 1% - 10% (of Gross Building Area)
- Residential 90% - 99% (of Gross Building Area)

PARKING RATIO:

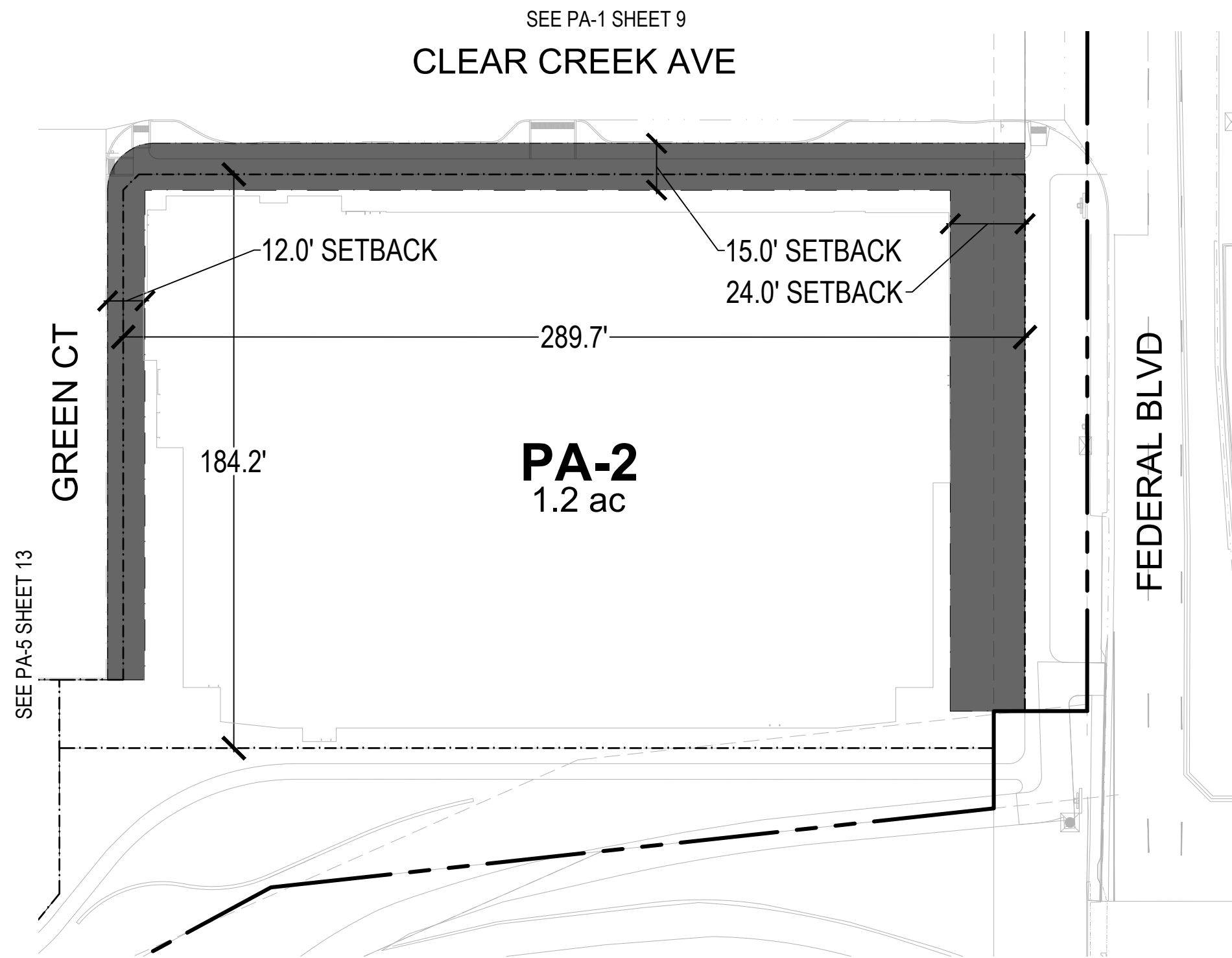
Use	Min Parking Ratio	Max Parking Ratios
Residential	1 spaces per unit	2 spaces per unit
Non-Res	2 spaces per 1,000 sq. ft.	8 spaces per 1,000 sq. ft.

PLACEMAKING CONSIDERATIONS:

This planning area is envisioned as a high density, mixed-use parcel blending multi-family residential with ground floor retail and commercial uses. The Mixed-Use Street Area along Federal Blvd and Clear Creek Ave will be designed to activate the pedestrian realm and provide multi modal connections throughout the development, as well as to the adjacent context. The predominant street type will be urban in nature. The area tree lawn between the street and five foot detached walks will be planted with canopy trees, shrubs and ornamental grasses. Bump outs at intersections will increase pedestrian safety and promote walkability. On-street parking is provided on both sides of the street where curb cuts, utilities and other constraints allow for parking to occur. All private streets will be owned and maintained by a Metro District.

The architecture will be a highly visible element to the neighborhood and will require a high level of design on all four sides with quality materials to create an inviting street scene. Architectural details that will drive the design of the mixed-use buildings can be found on sheets 5 - 7 of this document.

To compliment the architecture, the landscape will also be held to a high standard of design. The landscape will incorporate consistent site furnishings, plant material and design elements that create a distinct but unified neighborhood. For additional landscape standards, please refer to sheets 8 and 9 of this document.



CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
OWNERS NAME
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK COOP I, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

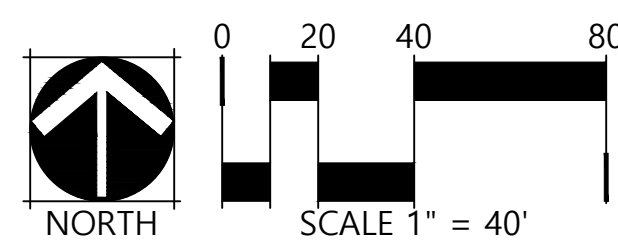
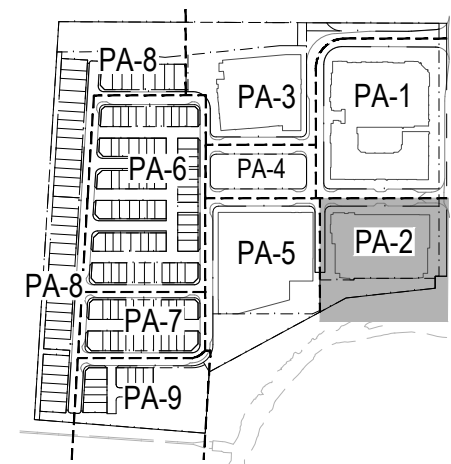
NOT FOR
CONSTRUCTION

DATE:
FDP-01: 03/16/2023
FDP-02: 07/07/2023
FDP-03: 10/23/2023

DRAFT

SHEET TITLE:
PA-2
SITE PLAN

KEY MAP 1" = 500'



LEGEND

- PROPERTY BOUNDARY
- PLANNING AREA BOUNDARY
- SETBACK AREA

CLEAR CREEK TRANSIT VILLAGE

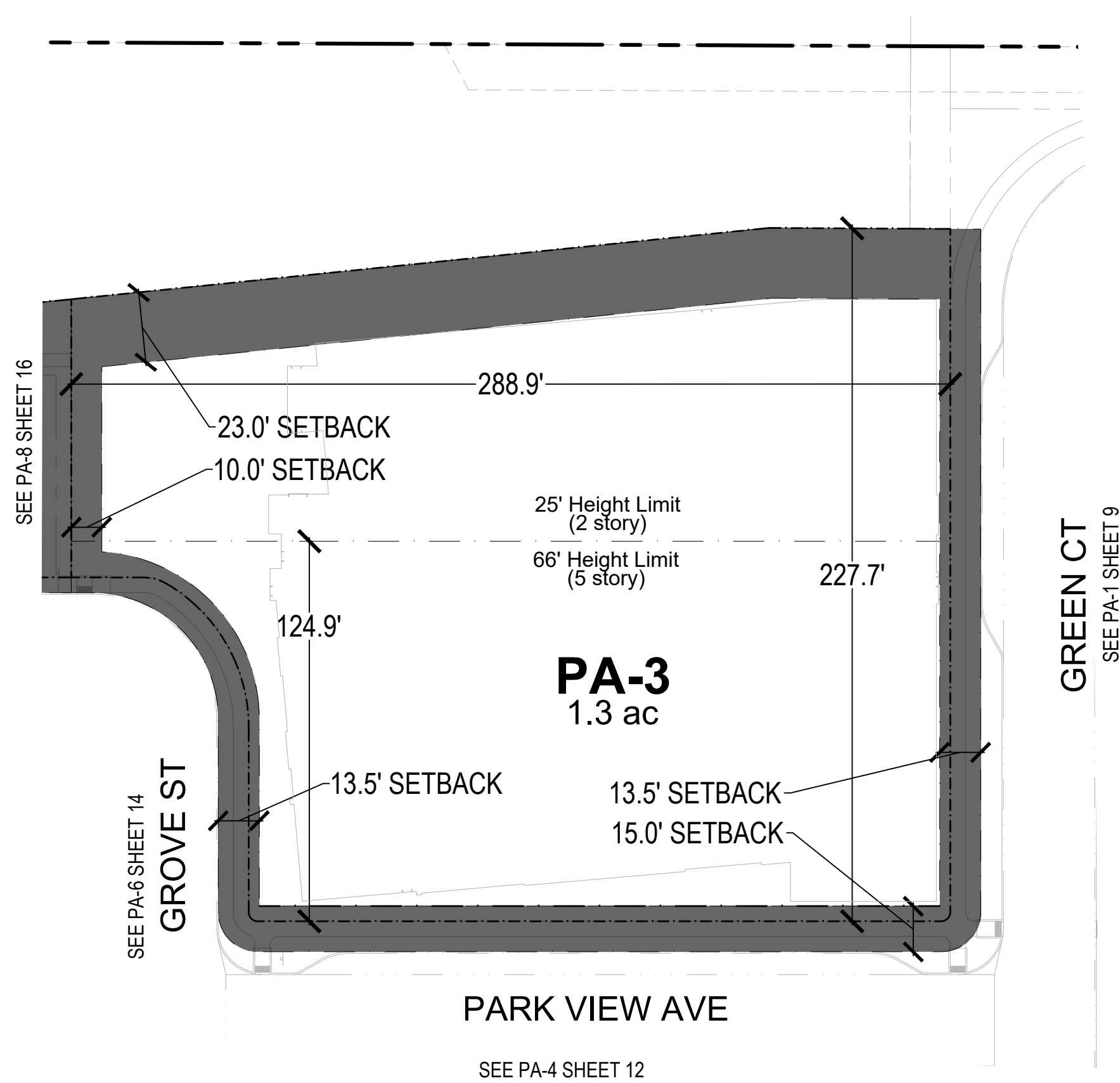
AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:
PRC2023-00011

NORRIS DESIGN
PEOPLE • PLACEMAKING
1101 BANNOCK STREET
DENVER, CO 80204
P. 303.892.1166

NORRIS-DESIGN.COM

PA-3 SITE PLAN



PA-3 DEVELOPMENT STANDARDS

HOUSING TYPE	PA-3 LOT SIZE	PA-3 MAXIMUM UNITS	NORTH PERIMETER SETBACK	SOUTH PERIMETER SETBACK	EAST PERIMETER SETBACK	WEST PERIMETER SETBACK	MAXIMUM BUILDING HEIGHT (1)	FLOOR AREA RATIO
MULTI-FAMILY	1.3 ac	98	23'-0"	15'-0"	13'-6"	13'-6" (N Grove St) 10'-0" (Side)	66'-0" (5 Story)	1.5 - 5.0

Development Standard Notes:

- The northern portion of the planning area has a maximum height restriction of 25'-0" (2 stories) and the southern portion is limited to 66'-0" (5 stories). Refer to site plan for details.

PLANNING AREA - 3:

PA-3 is intended to be mixed use with the possibility of ground floor commercial space along Park View Avenue facing the park/open space. Buildings on the north side of PA-3 will be no higher than two stories. Buildings on the southern portion of PA-3 are intended to be residential, commercial and/or mixed-uses up to 5 stories.

LAND USES:

- Commercial/Mixed-Uses	0% - 8% (of Gross Building Area)
- Residential	92% - 100% (of Gross Building Area)

PARKING RATIO:

Use	Min Parking Ratio	Max Parking Ratios
Residential	1 spaces per unit	2 spaces per unit
Non-Res	2 spaces per 1,000 sq. ft.	8 spaces per 1,000 sq. ft.

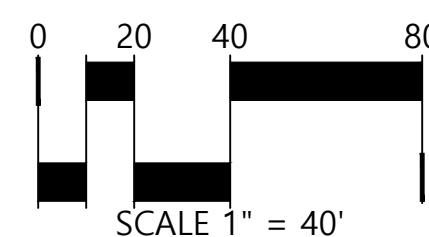
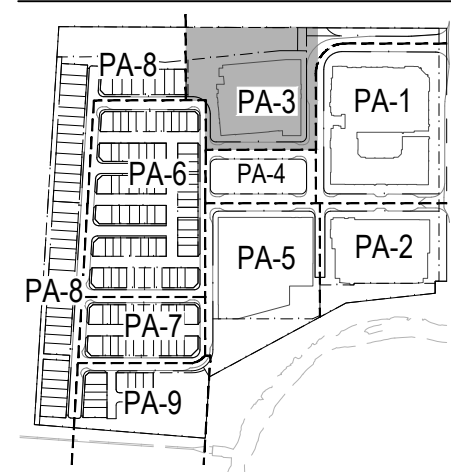
PLACEMAKING CONSIDERATIONS:

This planning area is envisioned as a high density, mixed-use parcel blending multi-family residential with possible retail and commercial uses. The predominant street type will be urban in nature. The area tree lawn between the street and five foot detached walks will be planted with canopy trees, shrubs and ornamental grasses. Bump outs at intersections will increase pedestrian safety and promote walkability. On-street parking is provided on both sides of the street where curb cuts, utilities and other constraints allow for parking to occur. All private streets will be owned and maintained by a Metro District.

The architecture will be highly visible and will require a high level of design on all four sides with quality materials to create an inviting street scene. Architectural details that will drive the design of the mixed-use buildings can be found on sheets 5 - 7 of this document.

To compliment the architecture, the landscape will also be held to a high standard of design. The landscape will incorporate consistent site furnishings, plant material and design elements that create a distinct but unified neighborhood. For additional landscape standards, please refer to sheets 8 and 9 of this document.

KEY MAP 1" = 500'



LEGEND

	PROPERTY BOUNDARY
	PLANNING AREA BOUNDARY
	SETBACK AREA

CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
OWNERS NAME
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK COOF, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

NOT FOR
CONSTRUCTION

DATE:
FDP-01: 03/16/2023
FDP-02: 07/07/2023
FDP-03: 10/23/2023

DRAFT

SHEET TITLE:
PA-3
SITE PLAN

CLEAR CREEK TRANSIT VILLAGE

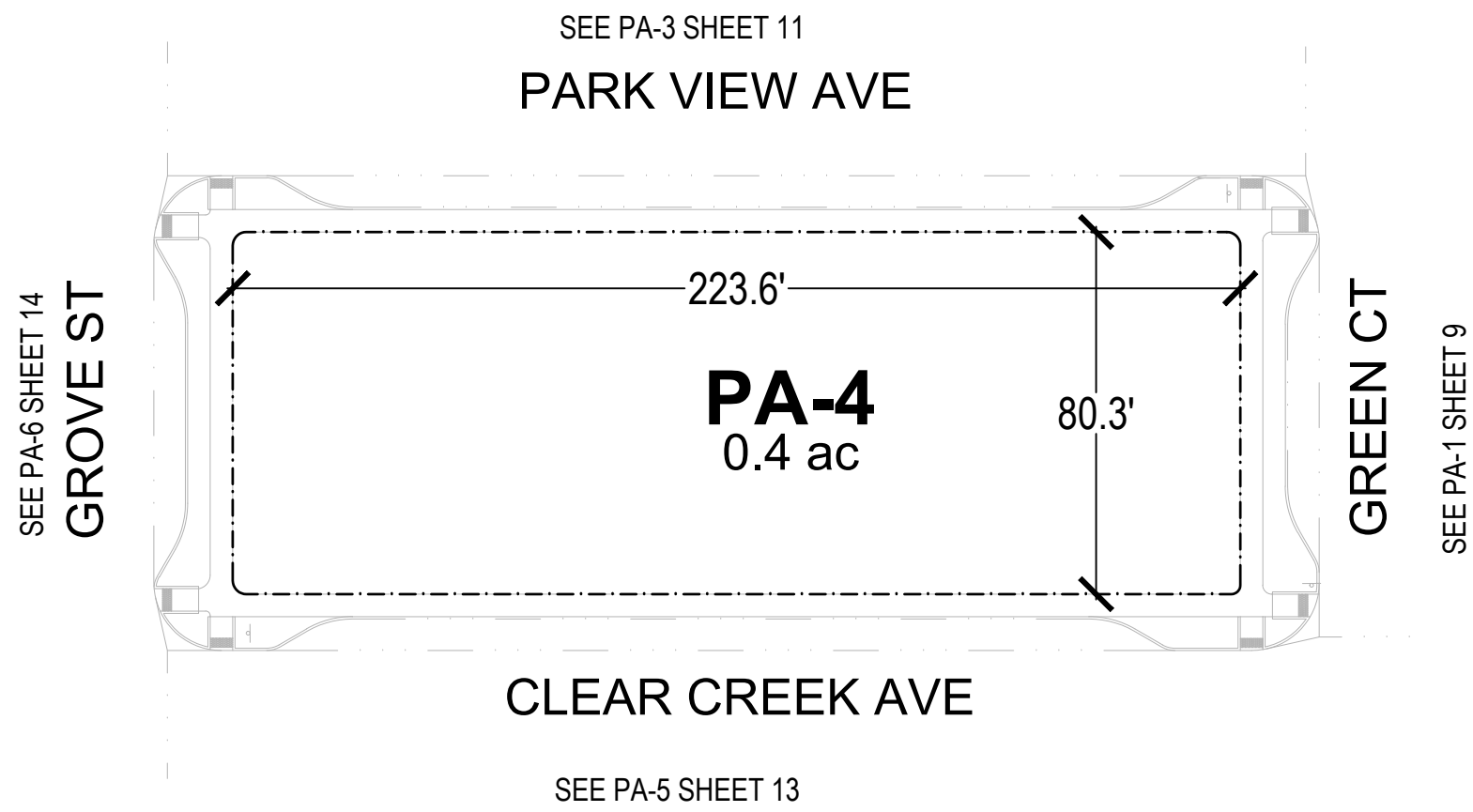
AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:
PRC2023-00011

NORRIS DESIGN
PEOPLE • PLACEMAKING
1101 BANNOCK STREET
DENVER, CO 80204
P. 303.892.1166

NORRIS-DESIGN.COM

PA-4 SITE PLAN



PA-4 DEVELOPMENT STANDARDS							
PA-4 LOT SIZE	PA-4 MAXIMUM DENSITY	NORTH PERIMETER SETBACK (1)	SOUTH PERIMETER SETBACK (1)	EAST PERIMETER SETBACK (1)	WEST PERIMETER SETBACK (1)	MAXIMUM BUILDING HEIGHT (3)	FLOOR AREA RATIO
0.4 ac	N/A	0'-0"	0'-0"	0'-0"	0'-0"	25'-0" (2 Story)	N/A

Development Standard Notes:

- All overhead structures, such as but not limited to, gazebos, shade structures, pergolas or similar structures will be setback a minimum of ten feet (10') from PA boundary.

PLANNING AREA - 4:

PA-4 is intended to be a public park/open space for the community.

LAND USES:

- Park/Open Space 100% (of PA area)

PLACEMAKING CONSIDERATIONS:

The Village Green is intended to provide a place of relaxation and relief for the future residences of the community. A wide ranges of amenities should be included to insure an equitable variety is provided for the population. This could included, but not limited to, open turf area, splash pads, shade structures, small plaza with bistro tables, benches, playground for multiple age ranges, lighting (pedestrian and accent) and possible public art. The landscape will incorporate consistent site furnishings, plant material and design queue that create a distinct but unified neighborhood. For additional landscape standards, please refer to sheets 8 and 9 of this document.

The perimeter is envisioned to have on-street parking with mostly 5' attached walks and bump outs at the intersections to increase pedestrian safety and promote walkability.

CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
OWNERS NAME

CLEAR CREEK VILLAGE, LLC
THISTLE CREEK OOF, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

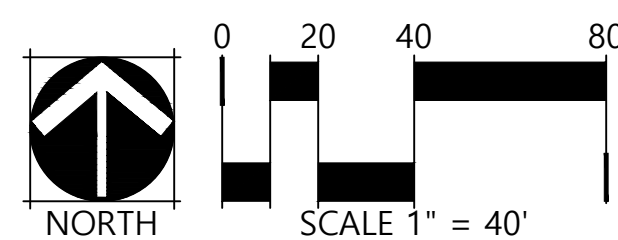
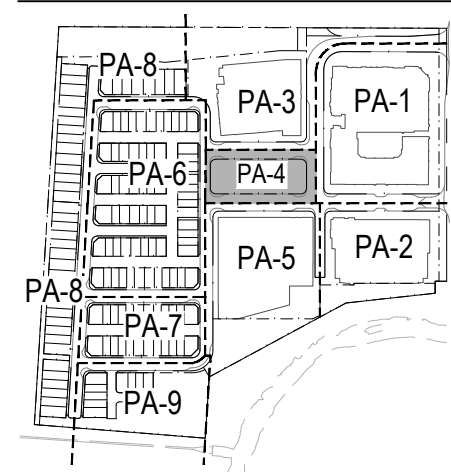
NOT FOR
CONSTRUCTION

DATE:
FDP-01: 03/16/2023
FDP-02: 07/07/2023
FDP-03: 10/23/2023

DRAFT

SHEET TITLE:
PA-4
SITE PLAN

KEY MAP 1" = 500'



LEGEND

- PROPERTY BOUNDARY
- PLANNING AREA BOUNDARY
- SETBACK AREA

CLEAR CREEK TRANSIT VILLAGE

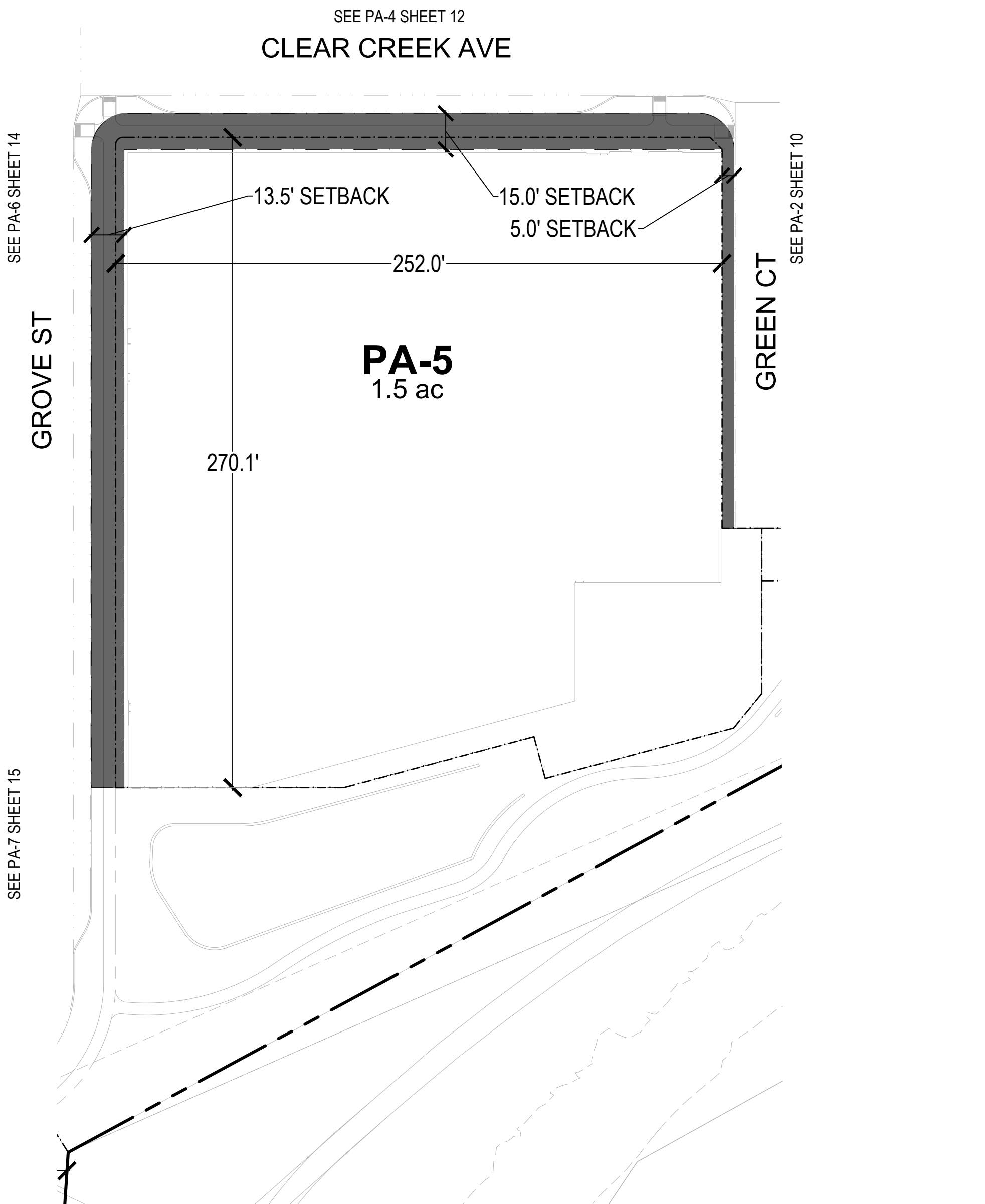
AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:
PRC2023-00011

NORRIS DESIGN
PEOPLE • PLACEMAKING
1101 BANNOCK STREET
DENVER, CO 80204
P 303.892.1166

NORRIS-DESIGN.COM

PA-5 SITE PLAN



PA-5 DEVELOPMENT STANDARDS

HOUSING TYPE	PA-5 LOT SIZE	PA-5 MAXIMUM UNITS	NORTH PERIMETER SETBACK	SOUTH PERIMETER SETBACK	EAST PERIMETER SETBACK	WEST PERIMETER SETBACK	MAXIMUM BUILDING HEIGHT	FLOOR AREA RATIO
MULTI-FAMILY	1.6 ac	255	15'-0"	0'-0"	5'-0"	13'-6"	95'-0" (7 Story)	1.5 - 5.0

PLANNING AREA - 5:

PA-5 is intended to be mixed use with the possibility of ground floor commercial space along Clear Creek Avenue facing the park/open space. Building floors 1-7 are intended to be occupied by residential, commercial and/or mixed-uses.

LAND USES:

- Commercial/Mixed-Uses 0% - 5% (of Gross Building Area)
- Residential 95% - 100% (of Gross Building Area)

PARKING RATIO:

Use	Min Parking Ratio	Max Parking Ratios
Residential	1 spaces per unit	2 spaces per unit
Non-Res	2 spaces per 1,000 sq. ft.	8 spaces per 1,000 sq. ft.

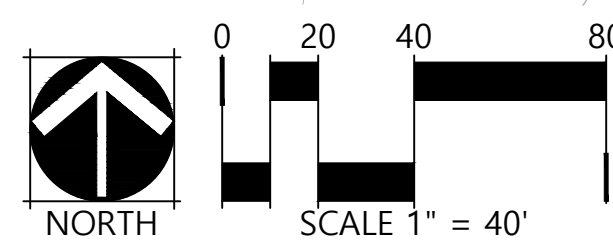
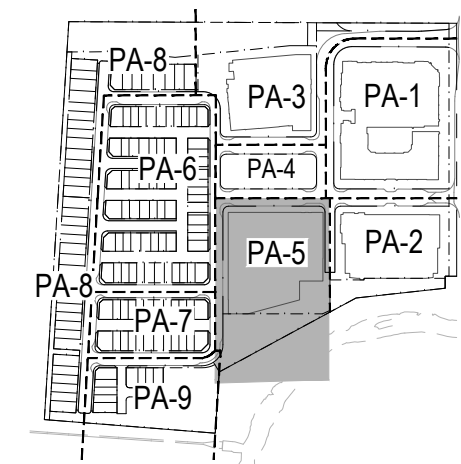
PLACEMAKING CONSIDERATIONS:

This planning area is envisioned as a high density, mixed-use parcel blending multi-family residential with possible retail and commercial uses. The predominant street type will be urban in nature. The area tree lawn between the street and five foot detached walks will be planted with canopy trees, shrubs and ornamental grasses. Bump outs at intersections will increase pedestrian safety and promote walkability. On-street parking is provided on both sides of the street where curb cuts, utilities and other constraints allow for parking to occur. All private streets will be owned and maintained by a Metro District.

The architecture will be highly visible and will require a high level of design on all four sides with quality materials to create an inviting street scene. Architectural standards that will drive the design of the mixed-use buildings can be found on sheets 5 - 7 of this document.

To compliment the architecture, the landscape will also be held to a high standard of design. The landscape will incorporate consistent site furnishings, plant material and design elements that create a distinct but unified neighborhood. For additional landscape standards, please refer to sheets 8 and 9 of this document.

KEY MAP 1" = 500'



LEGEND

- PROPERTY BOUNDARY
- - - PLANNING AREA BOUNDARY
- SETBACK AREA

CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
OWNERS NAME

CLEAR CREEK VILLAGE, LLC
THISTLE CREEK OOF I, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

NOT FOR
CONSTRUCTION

DATE:
FDP-01: 03/16/2023
FDP-02: 07/07/2023
FDP-03: 10/23/2023

DRAFT

SHEET TITLE:
PA-5
SITE PLAN

CLEAR CREEK TRANSIT VILLAGE

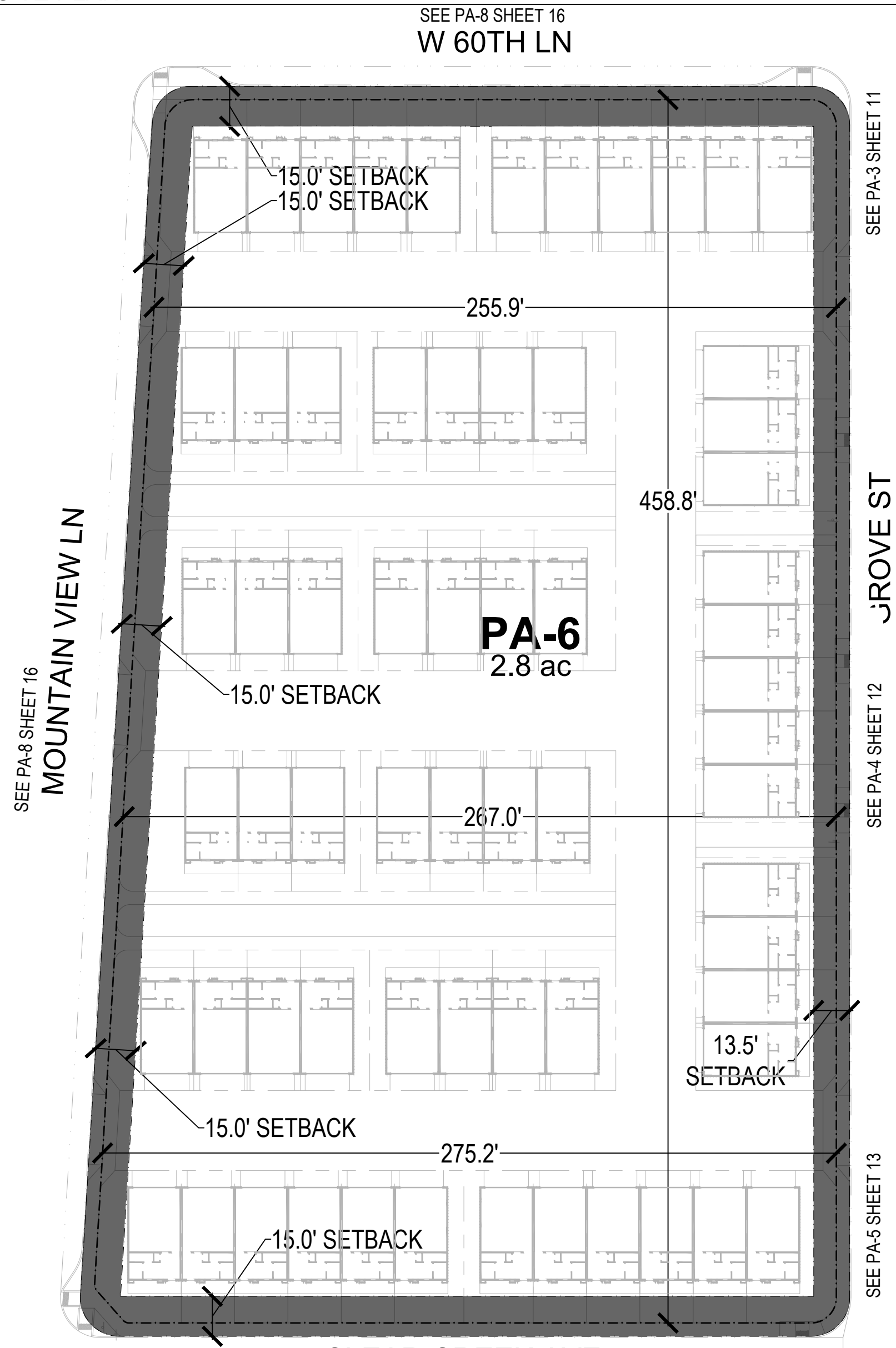
AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:
PRC2023-00011

NORRIS DESIGN
PEOPLE • PLACEMAKING
1101 BANNOCK STREET
DENVER, CO 80204
P 303.892.1166

NORRIS-DESIGN.COM

PA-6 SITE PLAN



HOUSING TYPE	MINIMUM LOT SIZE	MINIMUM LOT WIDTH	PA-6 MAXIMUM UNITS	MINIMUM FRONT YARD SETBACK	MINIMUM REAR YARD SETBACK	MINIMUM SIDE YARD SETBACK	MAXIMUM BUILDING HEIGHT (2)	MAXIMUM LOT COVERAGE
SINGLE FAMILY ATTACHED REAR LOAD	945 sq	20'-0"	64	10'-0"	0'-0"	5'-0" Exterior Wall 0'-0" Interior Wall	35'-0" (3 Story)	85%

ARCHITECTURAL STANDARDS

PA-6 is intended to be single family attached residential use with buildings up to 3 stories.

LAND USES:

- Residential 100% (of PA area)

PARKING RATIO:

Use	Min Parking Ratio	Max Parking Ratios
Residential	1 spaces per unit	2 spaces per unit

PLACEMAKING CONSIDERATIONS:

This planning area is envisioned as a medium density residential block. The predominant street type will be residential in nature with five foot attached walks and bump outs at intersections to increase pedestrian safety and promote walkability. On-street parking is provided on one side of the street where access, utilities and other constraints allow for it to occur. All private streets will owned and maintained by a Metro District.

The architecture for this parcel is transitioning to the lower building heights found on the west side of the community. To continue the spirit of the neighborhood, massing and materials are to appear woven together with other architectural elements. Architectural standards that will drive the design of the residential buildings can be found on sheets 5 - 7 of this document.

To compliment the architecture, the landscape will also be held to a high standard of design. The landscape will incorporate consistent site furnishings, plant material and design elements that create a distinct but unified neighborhood. For additional landscape standards, please refer to sheets 8 and 9 of this document.

CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
OWNERS NAME
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK COOP I, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

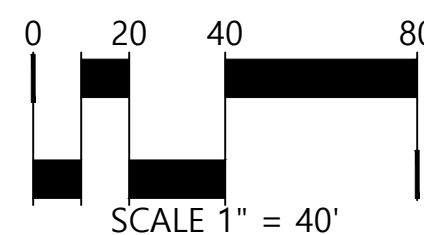
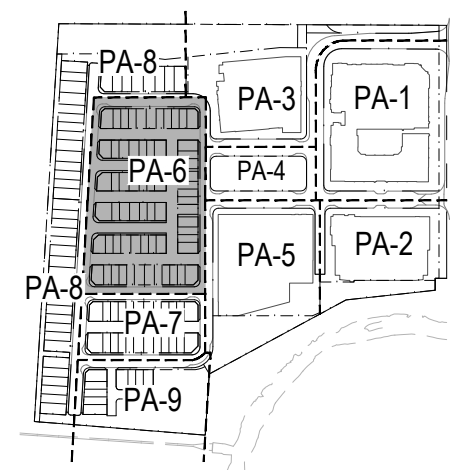
NOT FOR
CONSTRUCTION

DATE:
FDP-01: 03/16/2023
FDP-02: 07/07/2023
FDP-03: 10/23/2023

DRAFT

SHEET TITLE:
PA-6
SITE PLAN

KEY MAP 1" = 500'



LEGEND

- PROPERTY BOUNDARY
- PLANNING AREA BOUNDARY
- SETBACK AREA

CHECKED BY:
DRAWN BY:
XX
XX

CLEAR CREEK TRANSIT VILLAGE

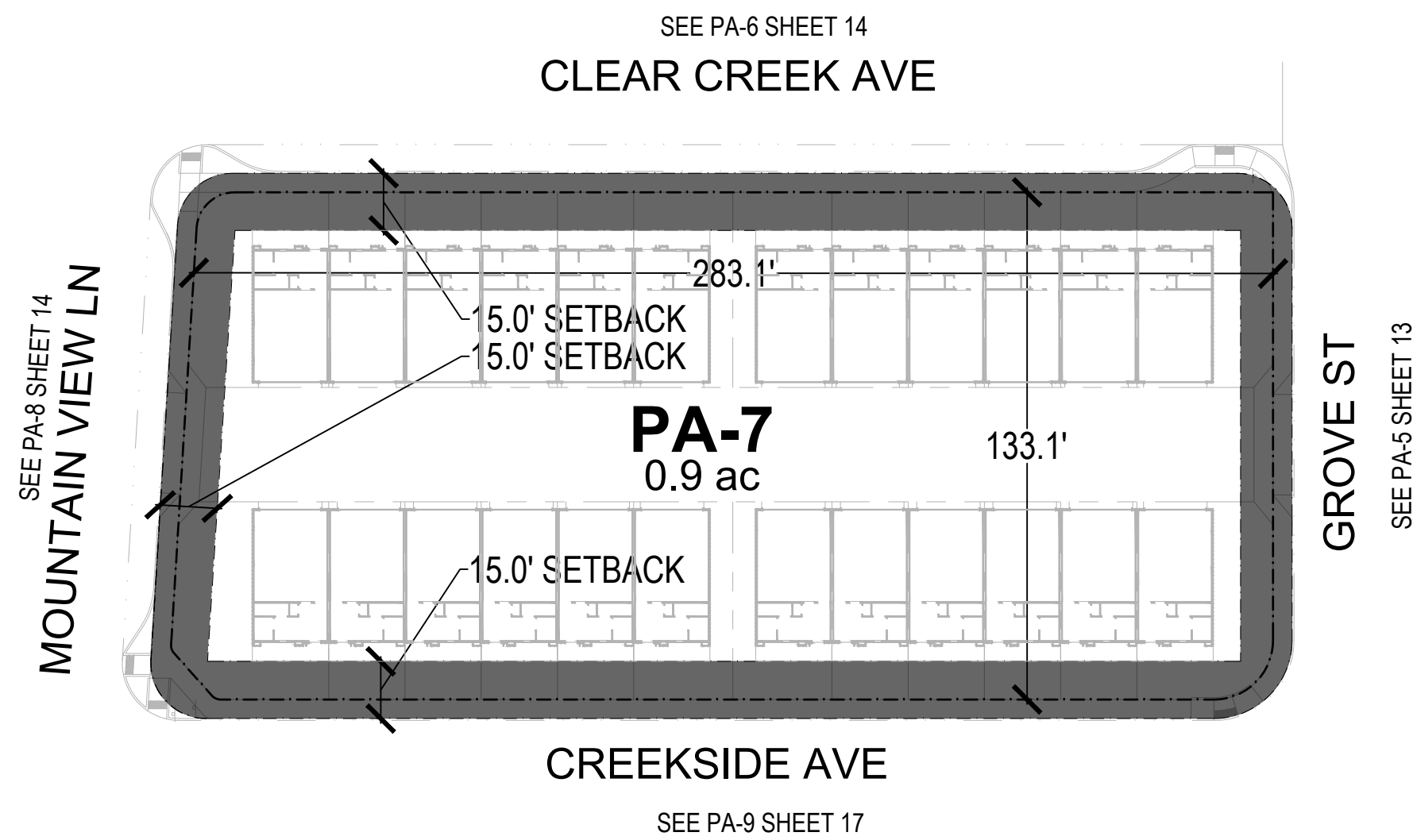
AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:
PRC2023-00011

NORRIS DESIGN
PEOPLE • PLACEMAKING
1101 BANNOCK STREET
DENVER, CO 80204
P 303.892.1166

NORRIS-DESIGN.COM

PA-7 SITE PLAN



PA-7 DEVELOPMENT STANDARDS								
HOUSING TYPE	MINIMUM LOT SIZE	MINIMUM LOT WIDTH	PA-7 MAXIMUM UNITS	MINIMUM FRONT YARD SETBACK	MINIMUM REAR YARD SETBACK	MINIMUM SIDE YARD SETBACK	MAXIMUM BUILDING HEIGHT	MAXIMUM LOT COVERAGE
SINGLE FAMILY ATTACHED REAR LOAD	945 sq	20'-0"	24	10'-0"	0'-0"	5'-0" Exterior Wall 0'-0" Interior Wall	35'-0" (3 Story)	85%

PLANNING AREA - 7:

PA-7 is intended to be single family attached residential use with buildings up to 3 stories.

LAND USES:

- Residential 100% (of PA area)

PARKING RATIO:

Use	Min Parking Ratio	Max Parking Ratios
Residential	1 spaces per unit	2 spaces per unit

PLACEMAKING CONSIDERATIONS:

This planning area is envisioned as a medium density residential block. The predominant street type will be residential in nature with five foot attached walks and bump outs at intersections to increase pedestrian safety and promote walkability. On-street parking is provided on one side of the street where access, utilities and other constraints allow for it to occur. All private streets will owned and maintained by a Metro District.

The architecture for this parcel is transitioning to the lower building heights found on the west side of the community. To the continue the spirit of the neighborhood, massing and materials are to appear woven together with other architectural elements. Architectural standards that will drive the design of the residential buildings can be found on sheets 5 - 7 of this document.

To compliment the architecture, the landscape will also be held to a high standard of design. The landscape will incorporate consistent site furnishings, plant material and design elements that create a distinct but unified neighborhood. For additional landscape standards, please refer to sheets 8 and 9 of this document.

CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
OWNERS NAME

CLEAR CREEK VILLAGE, LLC
THISTLE CREEK OOF I, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

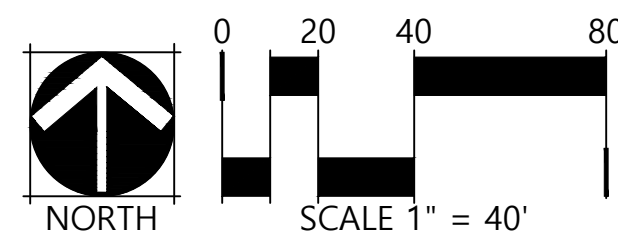
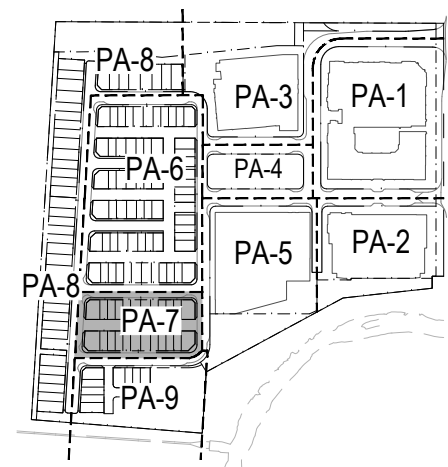
NOT FOR
CONSTRUCTION

DATE:
FDP-01: 03/16/2023
FDP-02: 07/07/2023
FDP-03: 10/23/2023

DRAFT

SHEET TITLE:
PA-7
SITE PLAN

KEY MAP 1" = 500'



LEGEND

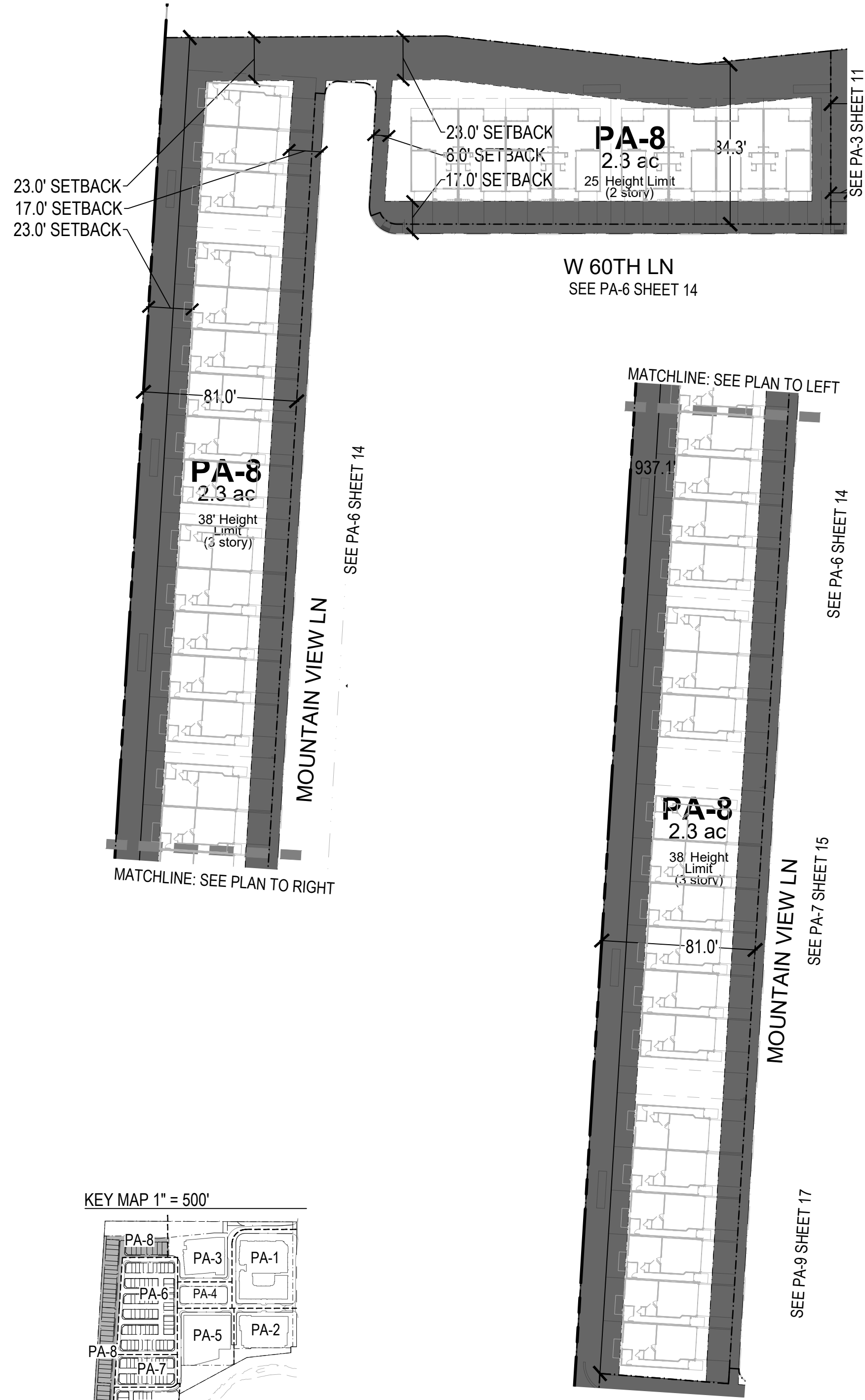
- PROPERTY BOUNDARY
- PLANNING AREA BOUNDARY
- SETBACK AREA

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:
PRC2023-00011

PA-8 SITE PLAN



PA-8 DEVELOPMENT STANDARDS								
HOUSING TYPE	MINIMUM LOT SIZE	MINIMUM LOT WIDTH	PA-8 MAXIMUM UNITS	MINIMUM FRONT YARD SETBACK	MINIMUM REAR YARD SETBACK	MINIMUM SIDE YARD SETBACK	MAXIMUM BUILDING HEIGHT (1)	MAXIMUM LOT COVERAGE
SINGLE FAMILY ATTACHED FRONT LOAD	1,560 sq	23'-0"	43	17'-0"	5'-0"	3'-6" Exterior Wall 0'-0" Interior Wall	35'-0" (3 Story)	75%
SINGLE FAMILY ATTACHED REAR LOAD	1,040 sq	20'-0"		10'-0"	0'-0"	5'-0" Exterior Wall 0'-0" Interior Wall	35'-0" (3 Story)	85%

Development Standard Notes:

- The western portion of the planning area has a maximum height restriction of 35'-0" (3 stories) and the northern portion is limited to 25'-0" (2 stories). Refer to site plan for details.

PLANNING AREA - 8:

PA-8 is intended to be single family attached residential use with buildings up to 3 stories on the western edge and up to 2 stories on the northwestern edge of the site, including garages accessed off of Mountain View Lane and West 60th Lane.

LAND USES:

- Residential 100% (of PA area)

PARKING RATIO:

Use	Min Parking Ratio	Max Parking Ratios
Residential	1 spaces per unit	2 spaces per unit

PLACEMAKING CONSIDERATIONS:

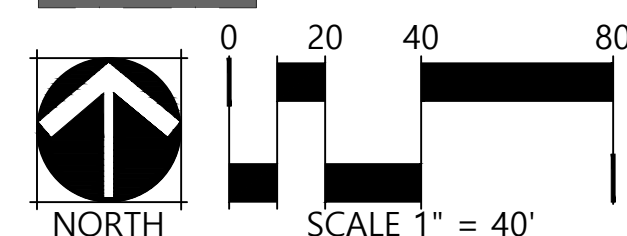
This planning area is envisioned as a medium density residential block. The predominant street type will be residential in nature with five foot attached walks and bump outs at intersections to increase pedestrian safety and promote walkability. On-street parking is provided on one side of the street where access, utilities and other constraints allow for it to occur. All private streets will owned and maintained by a Metro District.

The architecture for this parcel contains of lower building heights consistent with single family attached homes. To the continue the spirit of the neighborhood, massing and materials are to appear woven together with other architectural elements. Architectural standards that will drive the design of the residential buildings can be found on sheets 5 - 7 of this document.

To compliment the architecture, the landscape will also be held to a high standard of design. The landscape will incorporate consistent site furnishings, plant material and design elements that create a distinct but unified neighborhood. For additional landscape standards, please refer to sheets 8 and 9 of this document.

LEGEND

- MATCH LINE
- PROPERTY BOUNDARY
- PLANNING AREA BOUNDARY
- SETBACK AREA



CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
OWNERS NAME
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK COOP, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

NOT FOR
CONSTRUCTION

DATE:
FDP-01: 03/16/2023
FDP-02: 07/07/2023
FDP-03: 10/23/2023

DRAFT

SHEET TITLE:
PA-8
SITE PLAN

CLEAR CREEK TRANSIT VILLAGE

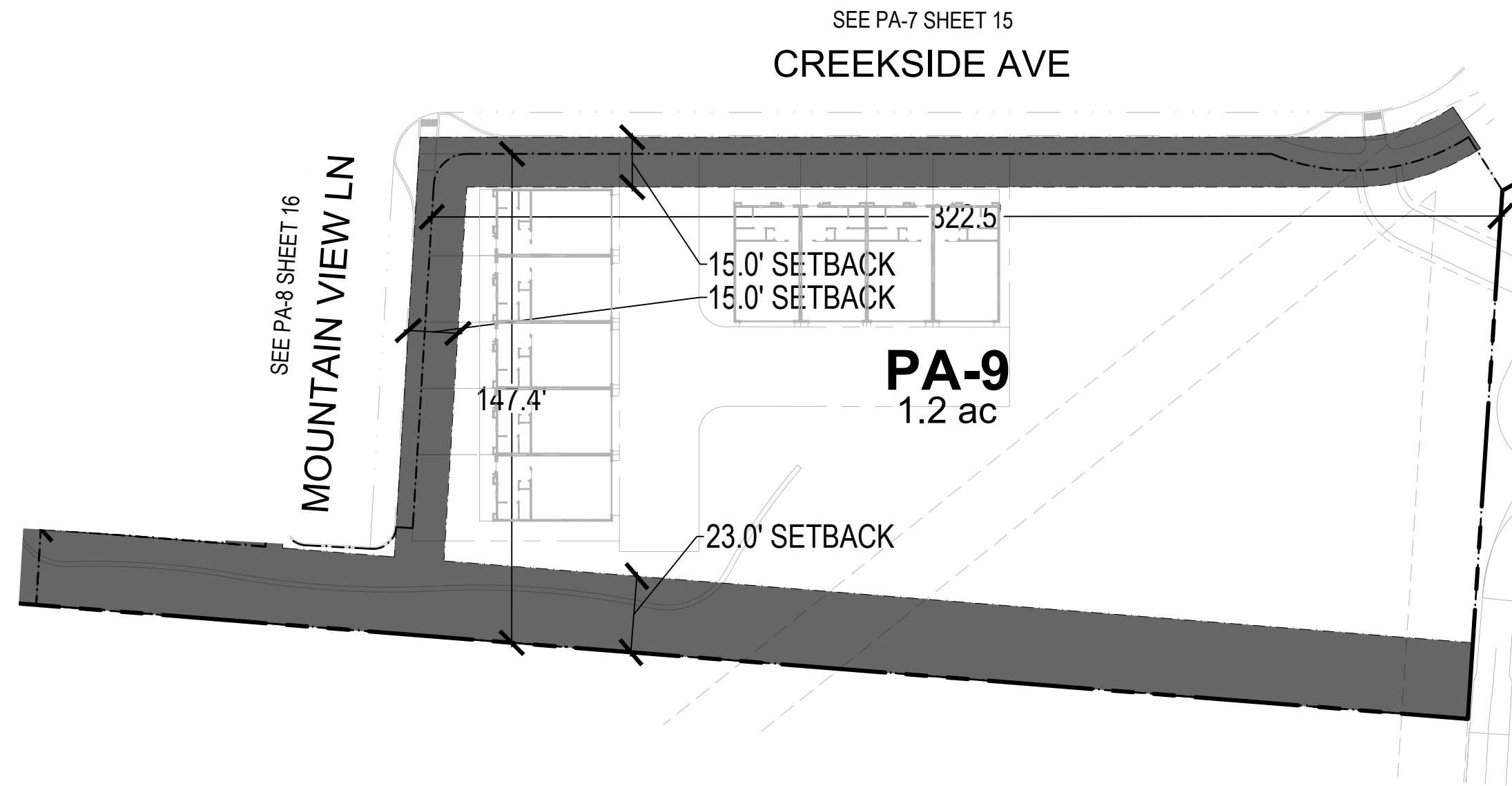
AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:
PRC2023-00011

NORRIS DESIGN
PEOPLE • PLACEMAKING
1101 BANNOCK STREET
DENVER, CO 80204
P. 303.892.1166

NORRIS-DESIGN.COM

PA-9 SITE PLAN



PA-9 DEVELOPMENT STANDARDS

HOUSING TYPE	MINIMUM LOT SIZE	MINIMUM LOT WIDTH	PA-9 MAXIMUM UNITS	MINIMUM FRONT YARD SETBACK	MINIMUM REAR YARD SETBACK	MINIMUM SIDE YARD SETBACK	MAXIMUM BUILDING HEIGHT	MAXIMUM LOT COVERAGE
SINGLE FAMILY ATTACHED REAR LOAD	945 sq	20'-0"	9	10'-0"	0'-0"	5'-0" Exterior Wall 0'-0" Interior Wall	35'-0" (3 Story)	85%

PLANNING AREA - 9:

PA-9 is intended to be single family attached residential use with buildings up to 3 stories.

LAND USES:

- Residential 100% (of PA area)

PARKING RATIO:

Use	Min Parking Ratio	Max Parking Ratios
Residential	1 spaces per unit	2 spaces per unit

PLACEMAKING CONSIDERATIONS:

This planning area is envisioned as a medium density residential block. The predominant street type will be residential in nature with five foot attached walks and bump outs at intersections to increase pedestrian safety and promote walkability. On-street parking is provided on one side of the street where access, utilities and other constraints allow for it to occur. All private streets will owned and maintained by a Metro District.

The architecture for this parcel contains of lower building heights consistent with single family attached homes. To the continue the spirit of the neighborhood, massing and materials are to appear woven together with other architectural elements. Architectural standards that will drive the design of the residential buildings can be found on sheets 5 - 7 of this document.

To compliment the architecture, the landscape will also be held to a high standard of design. The landscape will incorporate consistent site furnishings, plant material and design elements that create a distinct but unified neighborhood. For additional landscape standards, please refer to sheets 8 and 9 of this document.

CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
OWNERS NAME
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK COOP, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

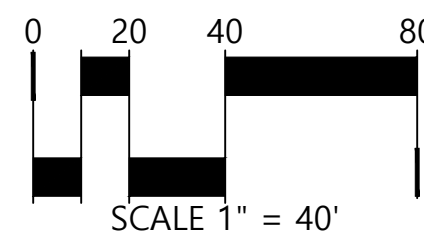
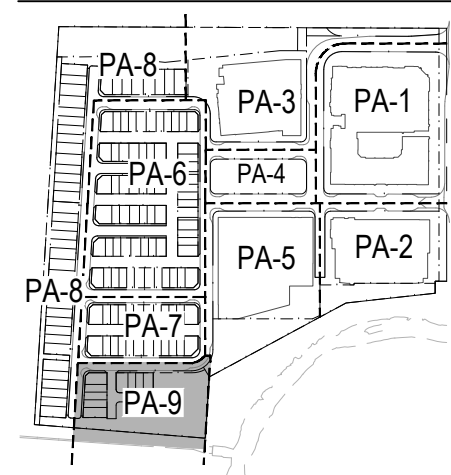
NOT FOR
CONSTRUCTION

DATE:
FDP-01: 03/16/2023
FDP-02: 07/07/2023
FDP-03: 10/23/2023

DRAFT

SHEET TITLE:
PA-9
SITE PLAN

KEY MAP 1" = 500'



LEGEND

- PROPERTY BOUNDARY
- PLANNING AREA BOUNDARY
- SETBACK AREA

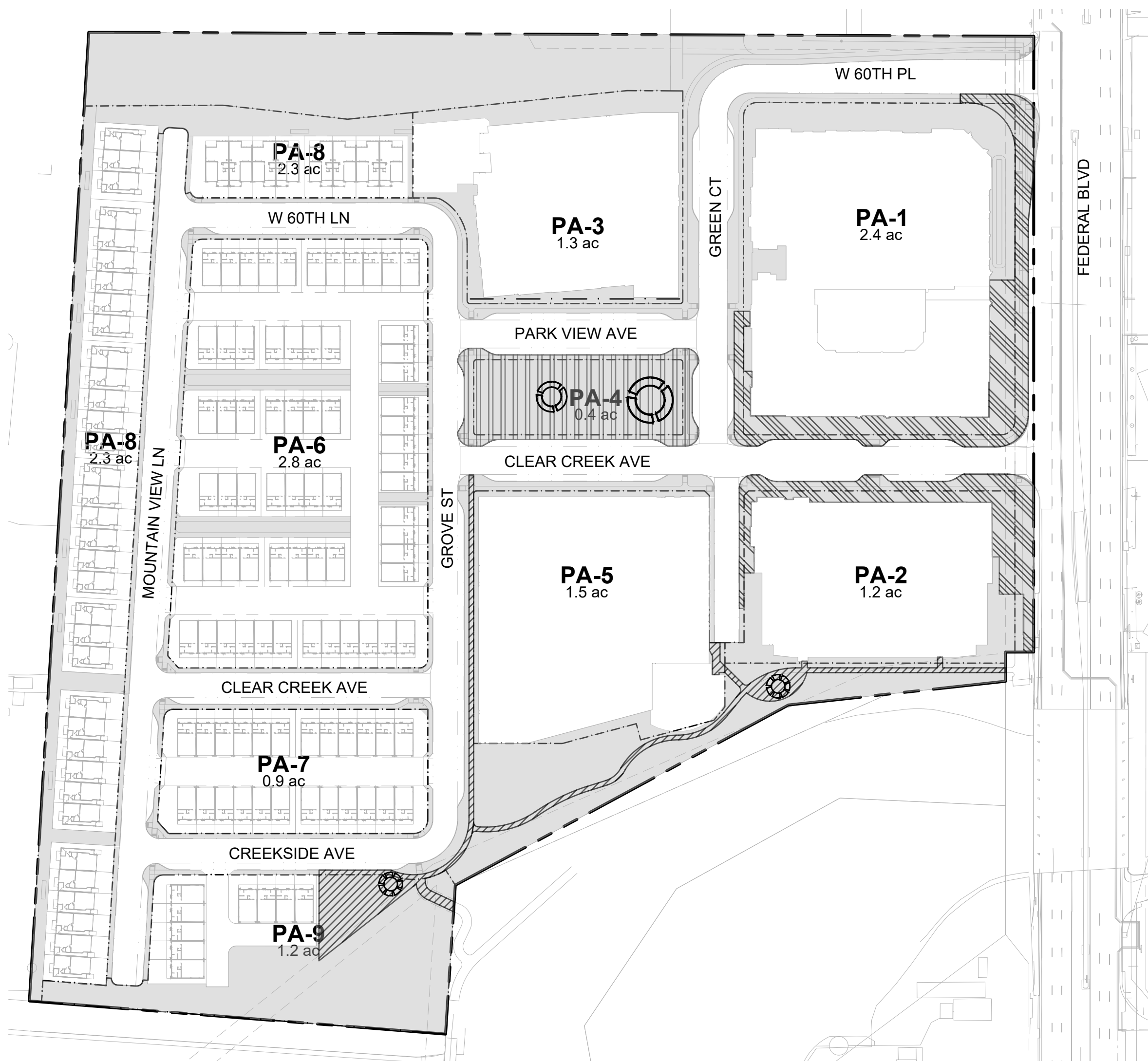
CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:
PRC2023-00011



OPEN SPACE AND ACTIVE RECREATION PLAN



OPEN SPACE REQUIREMENTS

- A. Minimum 5% landscape area required within each planning area.
- B. Minimum one tree per 1,000 square feet of landscape area (with the exception of PA-4).
- C. Minimum one 5 gal. shrub or two 1 gal. perennials / groundcovers per 200 square feet of non-turf landscape area.
- D. All landscape areas shall be planted such that vegetative cover at plant maturity achieves a minimum 70% living coverage.
- E. Turf is permitted where active recreational use is intended.

VILLAGE GREEN ACTIVE RECREATION PROGRAM ELEMENTS

The Village Green will serve as an outdoor living room for the entire community and will be true a destination. The central location is easily accessible to all residences and provides a wide range of active and passive recreational uses. A large turf play area and plaza space will facilitate informal neighborhood interactions while also allowing for larger planned community events. To bridge to residential with mixed-uses, the Village Green will also provide site furniture and other amenities typical to urban parks. Site furnishings will reflect colors and materials incorporated in surrounding architecture. Below are active program elements and amenities that can be expected to activate this area.

- 2,500 square feet of playground surfacing (min)
- Swingset (minimum of two swings, with a minimum of one bucket-style seat)
- A minimum of one 2-5 age play equipment
- A minimum of one 5-12 age play equipment
- Internal Pedestrian Circulation
- Primary Park Plaza
 - A minimum of 1,000 square feet of paving area. Enhanced Paving Surfaces are required for 100% of Primary Park Plaza. (see Enhanced Paving Surfaces definition sh 7)
 - A minimum of one 500 square foot shade shelter is required
 - Seating with table surfaces, and a minimum of three different seating locations are required
 - Landscape Lighting is required (see Landscape Lighting definition sh 7)
- Secondary Plaza
 - A minimum of 500 square feet of paving area. Enhanced Paving Surfaces are required for a minimum of 50% of the Secondary Plaza.
 - A minimum of two seating options, benches are encouraged
 - Landscape Lighting is required (see Landscape Lighting definition sh 7)
- Open Turf Lawn
- Landscape Lighting (see Landscape Lighting definition sh 7)
- Splash Pads (optional)
- Wayfinding Signage (optional)
- Public Art (optional)

MIXED-USE STREETSCAPE ACTIVE RECREATION PROGRAM ELEMENTS

To create an active front door for the community, the mixed-use retail are will feature a variety of urban streetscape elements to encourage economic development. This is a primary multi-modal pedestrian corridor along Federal Blvd as well as linking Federal Blvd to the heart of the community, the Village Green. Below are program elements and amenities to create an engaging mixed-use experience.

- Regional and Internal Pedestrian Circulation
- Seating (a min of two seating options, benches are encouraged)
- Tables (optional, depending on ultimate retail uses)
- Sales Display Area (optional, depending on ultimate retail uses)
- Multi-Family Entry Courtyards (two benches and one trash receptacle)
- Landscape Lighting (optional, see Landscape Lighting definition sh 7)
- Wayfinding Signage (optional)
- Public Art (optional)

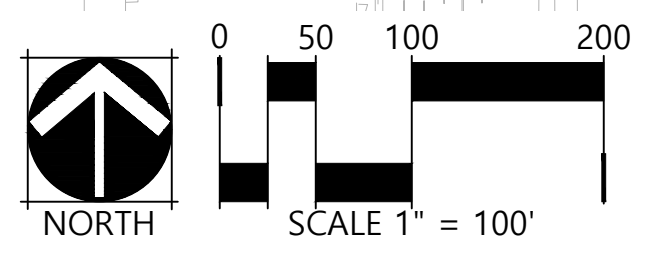
CLEAR CREEK ACTIVE RECREATION PROGRAM ELEMENTS

Clear Creek offers the residence of Clear Creek Transit Village to appreciate nature and have an opportunity for a leisure stroll along internal pathways leading to viewpoints and areas of rest, or

- Regional and Internal Pedestrian Circulation
- Clear Creek Trail Regional Connection
- Gathering Nodes (min two locations)
 - A minimum of 150 square feet of paving area (Enhanced Paving Surfaces optional -see definition sh 7)
 - A minimum of 3 bicycle parking spaces
 - Locations for alternative transportation such as bicycle and scooter (optional)
 - Secondary Signage (optional)
- Seating (min of two locations, benches are encouraged)
- Community Garden (min ten boxes twenty sqft each)
- Shade Structure (optional, eighty sqft min)
- Landscape Lighting (optional, see Landscape Lighting definition sh 7)
- Wayfinding Signage (optional)
- Interpretive Signage (optional)
- Bicycle Repair Station (optional)
- Public Art (optional)
- Outdoor Fitness Stations (optional, min of 3 stations)

LEGEND

- OPEN SPACE AREA
- VILLAGE GREEN ACTIVE OPEN SPACE AREA
- MIXED-USE STREETSCAPE ACTIVE OPEN SPACE AREA
- CLEAR CREEK ACTIVE OPEN SPACE AREA
- PRIMARY PLAZA (APPROX LOCATION)
- SECONDARY PLAZA (APPROX LOCATION)
- GATHERING NODE (APPROX LOCATION)



OPEN SPACE SUMMARY				
SITE	OPEN SPACE REQUIRED (30% MIN)	OPEN SPACE PROVIDED	ACTIVE OPEN SPACE REQUIRED	ACTIVE OPEN SPACE PROVIDED
21.1 ACRES	6.3 ACRES	6.9 ACRES	1.6 ACRES	1.6 ACRES

- NOTES:**
1. Open space includes landscape buffer areas and private access drives.
 2. At least thirty percent (30%) of the site shall be open area (6.3 ac). Twenty five percent (25%) of that open area must be active open space (1.6 ac).
 3. Active open space includes community amenities such as park, walks connecting to the regional Clear Creek Trail, plaza area in front of retail uses, Federal Blvd streetscape and walks connecting to multi-family entrances.

CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
OWNERS NAME
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK COOP I.L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

NOT FOR CONSTRUCTION

DATE:
FDP-01: 03/16/2023
FDP-02: 07/07/2023
FDP-03: 10/23/2023

DRAFT

SHEET TITLE:
OPEN SPACE AND ACTIVE REC PLAN

CHECKED BY:
DRAWN BY:
XX

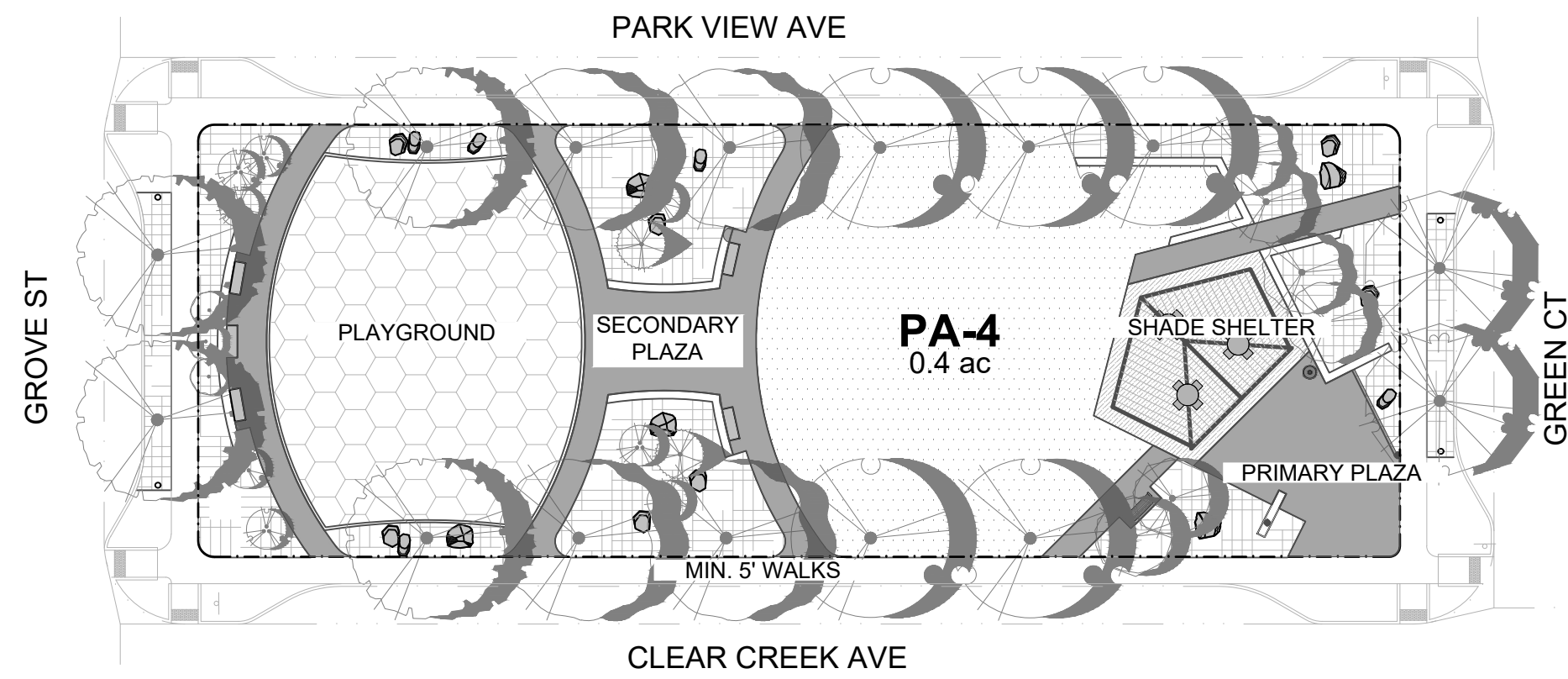
CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:
PRC2023-00011



VILLAGE GREEN ACTIVE RECREATION CONCEPT (FINAL LAYOUT SUBJECT TO CHANGE)



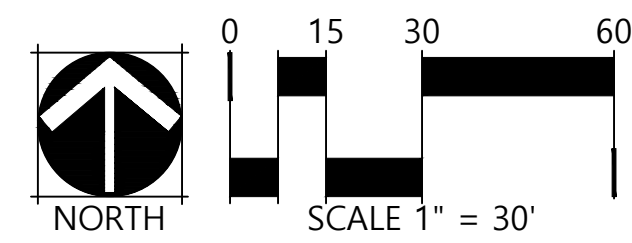
LEGEND

- APPROX. LOCATION OF LANDSCAPE BEDS WITH PLANTING
- APPROX. HARDSCAPE AREAS
- APPROX. ACTIVE RECREATION TURF AREA
- PLAYGROUND SURFACE

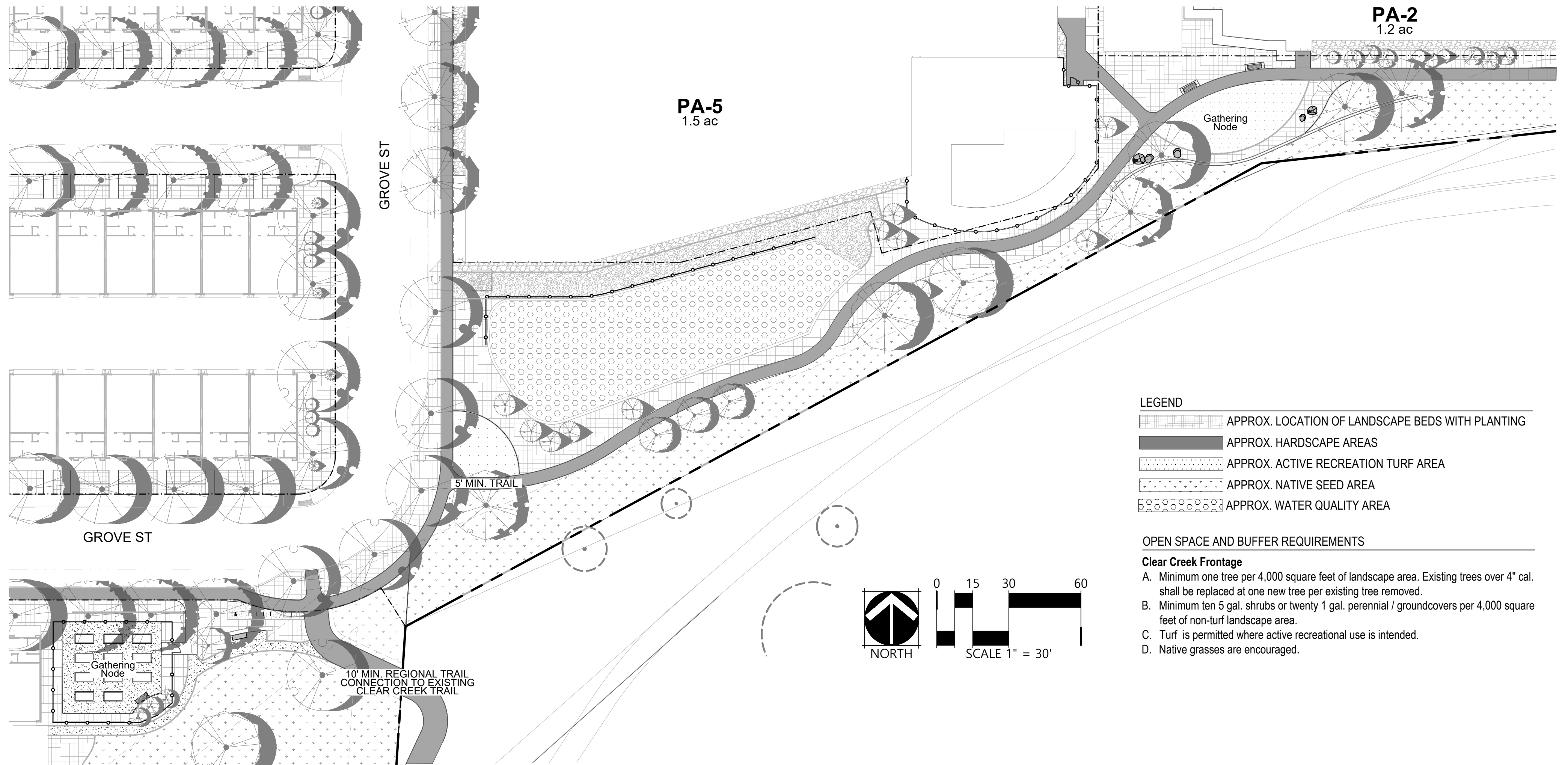
OPEN SPACE AND BUFFER REQUIREMENTS

Village Green (PA-4)

- A. Minimum one 5 gal. shrub or two 1 gal. perennials / groundcovers per 200 square feet of non-turf landscape area.
- B. All landscape areas shall be planted such that vegetative cover at plant maturity achieves a minimum 70% living coverage.
- C. Street trees are required per Street Tree Plan located, refer to sheet 23. Additional trees are recommended within the Village Green to complement amenities and gathering spaces.
- D. Turf is permitted where active recreational use is intended.



CLEAR CREEK FRONTAGE ACTIVE RECREATION CONCEPT (FINAL LAYOUT SUBJECT TO CHANGE)



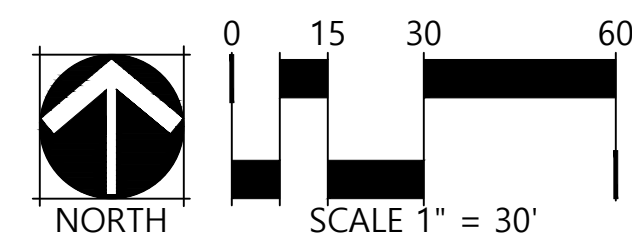
LEGEND

- APPROX. LOCATION OF LANDSCAPE BEDS WITH PLANTING
- APPROX. HARDSCAPE AREAS
- APPROX. ACTIVE RECREATION TURF AREA
- APPROX. NATIVE SEED AREA
- APPROX. WATER QUALITY AREA

OPEN SPACE AND BUFFER REQUIREMENTS

Clear Creek Frontage

- A. Minimum one tree per 4,000 square feet of landscape area. Existing trees over 4" cal. shall be replaced at one new tree per existing tree removed.
- B. Minimum ten 5 gal. shrubs or twenty 1 gal. perennial / groundcovers per 4,000 square feet of non-turf landscape area.
- C. Turf is permitted where active recreational use is intended.
- D. Native grasses are encouraged.



CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
OWNERS NAME
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK COOP I, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

NOT FOR
CONSTRUCTION

DATE:
FDP-01: 03/16/2023
FDP-02: 07/07/2023
FDP-03: 10/23/2023

DRAFT

SHEET TITLE:
ACTIVE
RECREATION
CONCEPTS

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:
PRC2023-00011

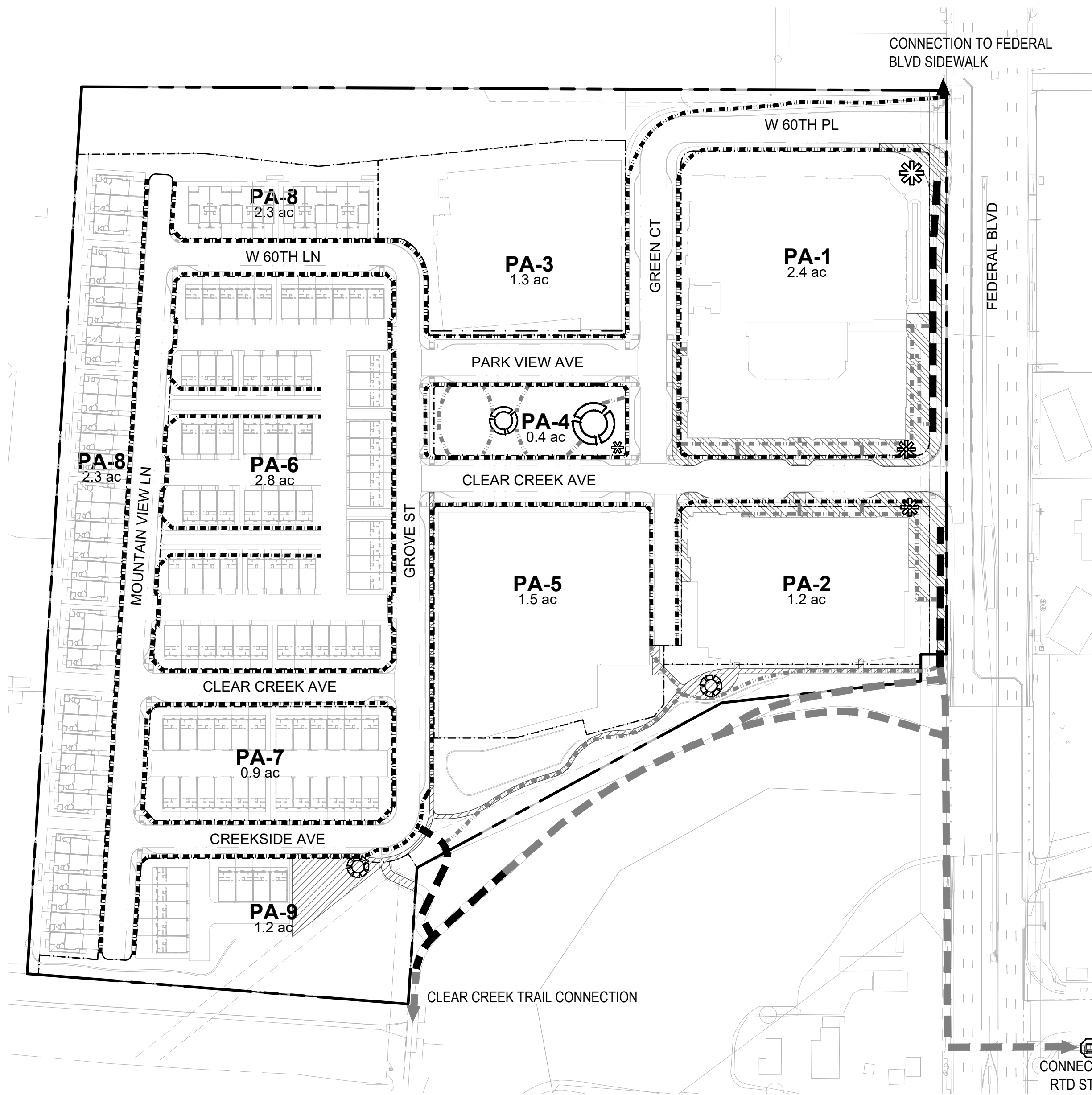


1101 BANNOCK STREET
DENVER, CO 80204
P. 303.892.1166

NORRIS-DESIGN.COM

PLACEMAKING, CIRCULATION, AND SIGNAGE PLAN

PLACEMAKING CONSIDERATIONS:



Mixed-Use Street Area: The Mixed-Use Street Area is comprised of Planning Areas 1-5 and consists of higher-density (what is the DUA for MUSA) buildings and uses including residential and retail. These Planning Areas are generally located adjacent to Federal Boulevard within the eastern half of the Clear Creek Transit Village FDP. The Mixed-Use Street Area allows for a range of uses and emphasizes the pedestrian oriented nature of a TOD district. This area includes multi-modal connections including pedestrian access to transit across Federal Boulevard and the internal pedestrian network of the development, as well as access to the Clear Creek Trail to the south via a new trail connection. The proposed sidewalks meet the typical width standards of a minimum of 5 feet to allow for pedestrian movement and the roads provide the necessary travel lanes and on-street parking is provided where applicable.

Townhome Street Area: The Townhome Street Area is comprised of Planning Areas 6-9 and consists of moderate density townhomes and is strictly residential in nature. These Planning Areas are in the western half of the Clear Creek Transit Village FDP. This area includes multi-modal connections including pedestrian access to the internal pedestrian network of the development, as well as access to the Clear Creek Trail to the south via a new trail connection. To allow for greater traffic control within the Townhome Street Areas, street widths are approximately 33', including 26' of drive lanes and 7' wide parallel on-street parking located on one side of the street, and typically 5' attached sidewalks. Additional private parking is provided for in garages and driveways.

Lighting: Lighting will be provided by either wall mounted, pole mounted, bollard or a combination of to achieve a safe environment.

Bicycle Parking: Bicycle parking is encouraged throughout the project and shall be provided at all multi-family building entrances, Creekside Ave Gathering Node and the Village Green Primary Plaza.

CIRCULATION LEGEND

- SIDEWALK - 5' MIN. PEDESTRIAN (DETACHED)
- - - SIDEWALK - 5' MIN. PEDESTRIAN (ATTACHED)
- · - · - SIDEWALK - 5' MIN. PEDESTRIAN WALK / TRAIL (INTERNAL TO PLANNING AREAS, SEE NOTE BELOW)
- SIDEWALK / TRAIL - 8' MIN. PEDESTRIAN AND BIKE CONNECTION
- - - EXISTING PEDESTRIAN CIRCULATION
- · · · · CROSSWALK
- ⊠ RTD LIGHT RAIL STATION

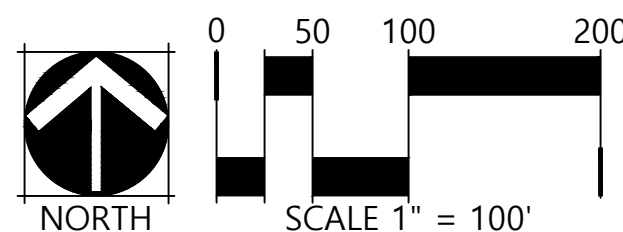
NOTE: WALKS INTERNAL TO PLANNING AREAS SHALL PROVIDE PEDESTRIAN ACCESS TO ALL INGRESS/EGRESS AND ACTIVE RECREATION AREAS - FINAL LOCATIONS MAY VARY.

PLACEMAKING LEGEND

- ⊙ PRIMARY PARK PLAZA
- ⊙ SECONDARY PLAZA
- ⊙ GATHERING NODE

SIGNAGE LEGEND

- ⊛ PRIMARY PROJECT SIGNAGE - WALL MOUNTED MONUMENT
- ⊛ PRIMARY PROJECT SIGNAGE - MONUMENT / WAYFINDING / INFO (Community identity signage)
- ⊛ SECONDARY SIGNAGE - WAYFINDING / INFO (Final locations to be determined in Final Landscape Plans)



CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
OWNERS NAME
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK COOP I, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

NOT FOR
CONSTRUCTION

DATE:
FDP-01: 03/16/2023
FDP-02: 07/07/2023
FDP-03: 10/23/2023

DRAFT

SHEET TITLE:
PLACEMAKING,
CIRCULATION, AND
SIGNAGE PLAN

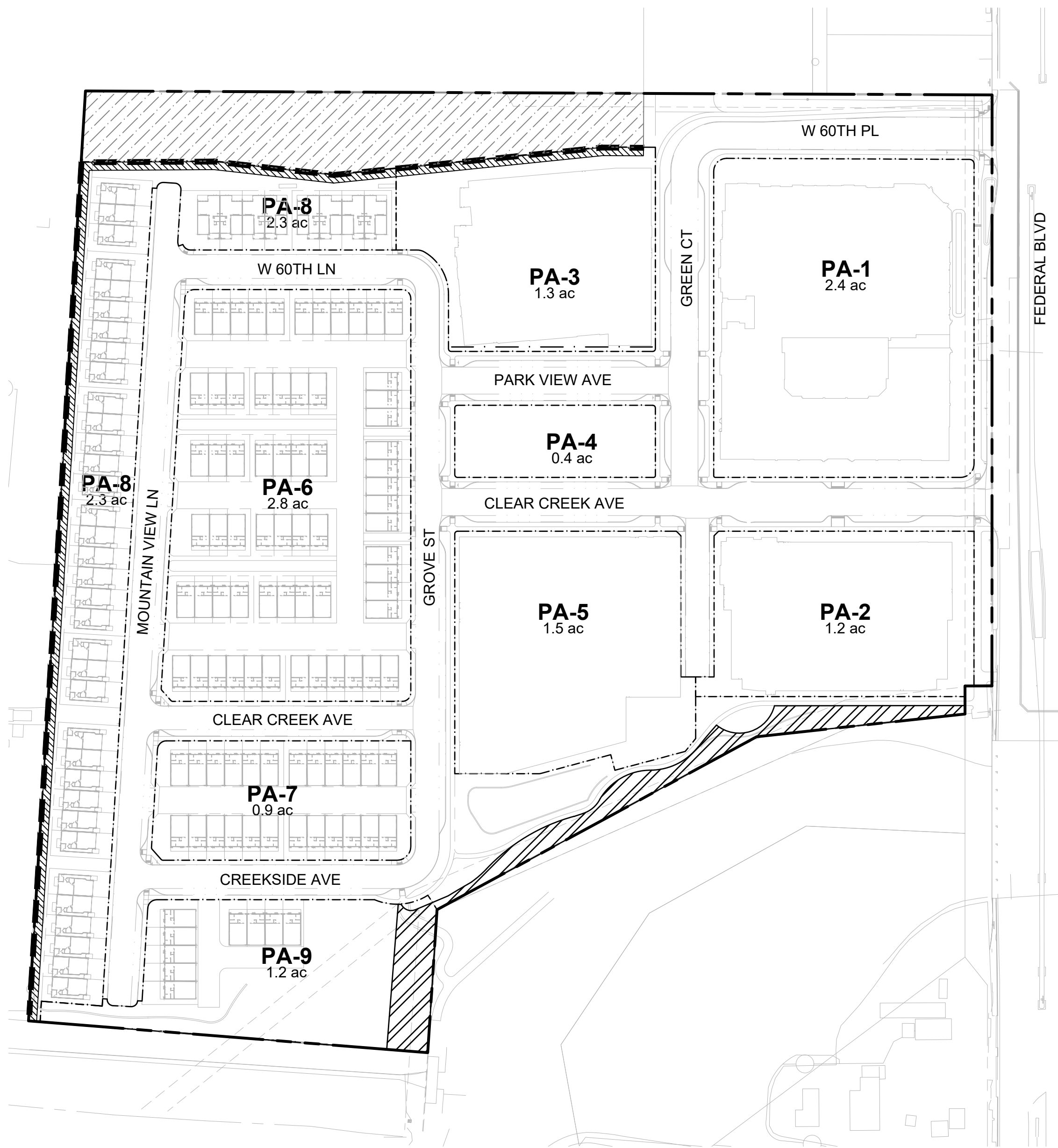
CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:
PRC2023-00011

NORRIS DESIGN
PEOPLE • PLACEMAKING
1101 BANNOCK STREET
DENVER, CO 80204
P 303.892.1166

FENCE, BUFFER AND FRONTAGE PLAN



LANDSCAPE BUFFER AND FRONTAGE AREA CALCULATION			
AREA	REQUIREMENT CALCULATION	LENGTH / AREA	MINIMUM REQUIREMENT
NORTH BUFFER	1 EVERGREEN TREE PER 30 LF	876 LF	30 EVERGREEN TREES
WEST BUFFER	1 EVERGREEN TREE PER 30 LF	958 LF	32 EVERGREEN TREES
CLEAR CREEK FRONTAGE	1 TREE PER 4000 SF, 10 (5) GAL. SHRUBS OR 20 (1) GAL. PERENNIALS PER 4000 SF OF NON-TURF LANDSCAPE AREA	18,720 SF	5 TREES AND 47 SHRUBS OR 94 PERENNIALS

BUFFER AND FRONTAGE REQUIREMENTS

North Landscape Buffer

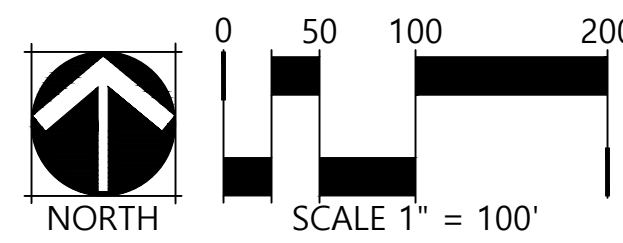
- A. Minimum one evergreen tree per 30 linear feet
- B. Minimum six foot metal fence.

West Landscape Buffer

- A. Minimum one evergreen tree per 30 linear feet
- B. Minimum six foot metal fence.

Clear Creek Frontage

- A. Minimum one tree per 4,000 square feet of landscape area. Existing trees over 4" cal. shall be replaced at one new tree per existing tree removed.
- B. Minimum ten 5 gal. shrubs or twenty 1 gal. perennial / groundcovers per 4,000 square feet of non-turf landscape area.
- C. Turf is permitted where active recreational use is intended.
- D. Native grasses are encouraged.



LEGEND

- FENCE - 6' HT. MIN. METAL FENCE
- EXISTING LANDSCAPE BERM AND FENCE EASEMENT (BOOK 4701, PAGE 983 - ADAMS COUNTY CLERK AND RECORDER) - TO REMAIN AS IS
- PROPOSED WEST AND NORTH LANDSCAPE BUFFER AREA
- CLEAR CREEK FRONTAGE AREA (FINAL AREA MAY VARY)

CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
OWNERS NAME
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK COOP I, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

NOT FOR
CONSTRUCTION

DATE:
FDP-01: 03/16/2023
FDP-02: 07/07/2023
FDP-03: 10/23/2023

DRAFT

SHEET TITLE:
FENCE, BUFFER
AND FRONTAGE
PLAN

CLEAR CREEK TRANSIT VILLAGE

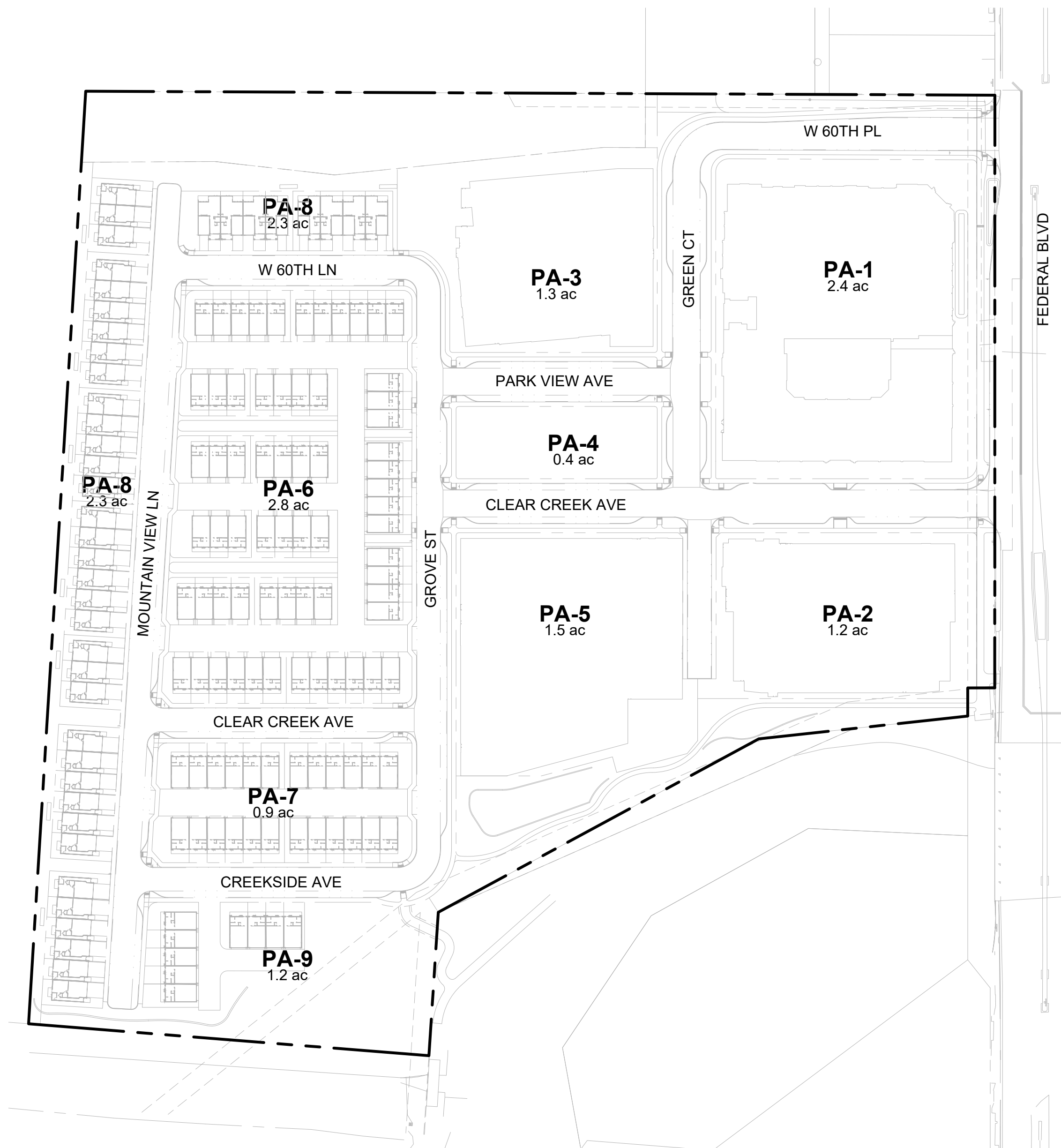
AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:
PRC2023-00011

NORRIS DESIGN
PEOPLE • PLACEMAKING
1101 BANNOCK STREET
DENVER, CO 80204
P. 303.892.1166

NORRIS-DESIGN.COM

STREETSCAPE TREE REQUIREMENT PLAN



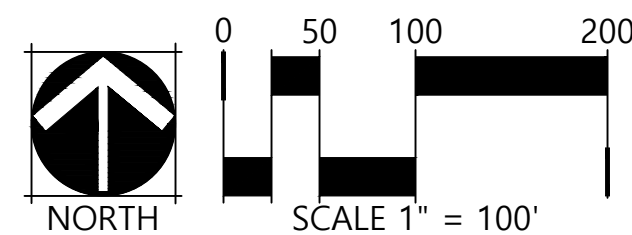
Standard Rights-of-Way Street Tree Table		
Street Tree Description	Length (Linear Feet)	Trees Required
W 60TH LN (1 Tree / 40 LF)	501	13
MOUNTAIN VIEW AVE (1 Tree / 40 LF)	897	23
CLEAR CREEK AVE (1 Tree / 40 LF)	1,547	39
CREEKSIDE AVE (1 Tree / 40 LF)	547	14
N GROVE ST (1 Tree / 40 LF)	930	24
PARK VIEW AVE (1 Tree / 40 LF)	452	12
GREEN CT (1 Tree / 40 LF)	600	15
WEST 60TH PL (1 Tree / 40 LF)	621	16
FEDERAL BLVD (1 Tree / 40 LF)	483	12
Totals:	6,578	168

Notes:

- Streetscape lengths shall be calculated per Adams County code, with 1 tree provided per 40 linear feet of streetscape.
- Intersection tangents, private drive intersections, and driveway intersections shall be excluded from calculations. Hardship for easement locations, raingardens or other site infrastructure elements shall be considered, and in instances of hardships required trees shall be relocated to adjacent Planning Areas.
- Trees placed in front of lots fronting along private streets may be counted towards street tree calculation for private streets.
- Final street length calculations shall be determined at time of construction documents and subject to change.

LEGEND

- LF OF ROAD
- - - - - PROPERTY BOUNDARY



CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
OWNERS NAME
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK COOP L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

NOT FOR
CONSTRUCTION

DATE:
FDP-01: 03/16/2023
FDP-02: 07/07/2023
FDP-03: 10/23/2023

DRAFT

SHEET TITLE:
STREETSCAPE
TREE PLAN

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:
PRC2023-00011



NORRIS-DESIGN.COM

POTENTIAL PLANT SCHEDULE

DECIDUOUS CANOPY TREES

BOTANICAL NAME	COMMON NAME	ROOT	SIZE
ACER MIYABEI 'JFS-KW3AMI' TM	RUGGED RIDGE MIYABE MAPLE	B & B	2" CAL.
ACER SACCHARUM 'JFS-CADDO2' TM	FLASHFIRE SUGAR MAPLE	B & B	2" CAL.
ACER X FREEMANII 'JEFFERSRED' TM	AUTUMN BLAZE FREEMAN MAPLE	B & B	2" CAL.
CATALPA SPECIOSA	NORTHERN CATALPA	B & B	2" CAL.
CELTIS OCCIDENTALIS	COMMON HACKBERRY	B & B	2" CAL.
GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER' TM	SHADEMASTER LOCUST	B & B	2" CAL.
GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE' TM	SKYLINE HONEY LOCUST	B & B	2" CAL.
GYMNOCLADUS DIOICA 'ESPRESSO'	KENTUCKY COFFEETREE	B & B	2" CAL.
QUERCUS MUEHLENBERGII	CHINKAPIN OAK	B & B	2" CAL.
QUERCUS ROBUR	ENGLISH OAK	B & B	2" CAL.
TILIA X EUCHLORA 'REDMOND'	REDMOND LINDEN	B & B	2" CAL.
ULMUS AMERICANA 'NEW HORIZON'	NEW HORIZON ELM	B & B	2" CAL.
ULMUS AMERICANA 'VALLEY FORGE'	VALLEY FORGE AMERICAN ELM	B & B	2" CAL.
ULMUS JAPONICA X WILSONIANA 'MORTON' TM	ACCOLADE ELM	B & B	2" CAL.

EVERGREEN TREES

BOTANICAL NAME	COMMON NAME	ROOT	SIZE
PICEA PUNGENS	COLORADO SPRUCE	B & B	6' HT.
PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	VANDERWOLF'S PYRAMID LIMBER PINE	B & B	6' HT.
PINUS NIGRA	AUSTRIAN PINE	B & B	6' HT.
PINUS SYLVESTRIS	SCOTCH PINE	B & B	6' HT.

BOTANICAL NAME	COMMON NAME	ROOT	SIZE
JUNIPERUS CHINENSIS 'SPARTAN'	SPARTAN JUNIPER	B & B	5' HT.
JUNIPERUS SCOPULORUM 'COLOGREEN'	COLOGREEN JUNIPER	B & B	5' HT.
JUNIPERUS SCOPULORUM 'MOONGLOW'	MOONGLOW JUNIPER	B & B	5' HT.

BOTANICAL NAME	COMMON NAME	ROOT	SIZE
PICEA GLAUCA 'DENSATA'	BLACK HILLS SPRUCE	B & B	6' HT.
PICEA PUNGENS 'BAKERI'	BAKER COLORADO SPRUCE	B & B	6' HT.
PINUS EDULIS	PINYON PINE	B & B	6' HT.

BOTANICAL NAME	COMMON NAME	ROOT	SIZE
PINUS LEUCODERMIS 'ISELI FASTIGIATE'	ISELI FASTIGIATE BOSNIAN PINE	B & B	5' HT.
PINUS NIGRA 'FRANK'	FRANK AUSTRIAN PINE	B & B	5' HT.

DECIDUOUS ORNAMENTAL TREES

BOTANICAL NAME	COMMON NAME	ROOT	SIZE
ACER GINNALA 'FLAME'	FLAME AMUR MAPLE	B & B	1.5" CAL.
ACER TATARICUM 'HOT WINGS'	HOT WINGS TATARIAN MAPLE	B & B	1.5" CAL.
PRUNUS CERASIFERA 'NEWPORT'	NEWPORT FLOWERING PLUM	B & B	1.5" CAL.
PRUNUS CERASIFERA 'THUNDERCLOUD'	THUNDERCLOUD PURPLE-LEAF PLUM	B & B	1.5" CAL.
PYRUS CALLERYANA CHANTICLEER	CHANTICLEER PEAR	B & B	1.5" CAL.
SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK JAPANESE TREE LILAC	B & B	1.5" CAL.

BOTANICAL NAME	COMMON NAME	ROOT	SIZE
AMELANCHIER CANADENSIS	CANADIAN SERVICEBERRY	B & B	1" CAL.
AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	B & B	1" CAL.
QUERCUS ROBUR X ALBA 'CRIMSCHMIDT' TM	CRIMSON SPIRE OAK	B & B	1" CAL.

DECIDUOUS SHRUBS

BOTANICAL NAME	COMMON NAME	ROOT	SIZE
AMELANCHIER ALNIFOLIA 'REGENT'	REGENT SERVICEBERRY	CONT.	5 GAL.
CORNUS SERICEA 'BAILEYI'	BAYLEY'S RED TWIG DOGWOOD	CONT.	5 GAL.
LIGUSTRUM VULGARE 'CHEYENNE'	CHEYENNE PRIVET	CONT.	5 GAL.
PHYSOCARPUS OPULIFOLIUS 'COPPERTINA'	COPPERTINA NINEBARK	CONT.	5 GAL.
PHYSOCARPUS OPULIFOLIUS 'DIABOLO'	DIABLO NINEBARK	CONT.	5 GAL.
RHUS TRILOBATA 'AUTUMN AMBER'	AUTUMN AMBER SUMAC	CONT.	5 GAL.
SYRINGA X PRESTONIAE 'MISS CANADA'	MISS CANADA PRESTON LILAC	CONT.	5 GAL.
VIBURNUM LANTANA 'MOHICAN'	MOHICAN WAYFARING TREE	CONT.	5 GAL.

BOTANICAL NAME	COMMON NAME	ROOT	SIZE
AMELANCHIER ALNIFOLIA 'STANDING OVATION' TM	STANDING OVATION SERVICEBERRY	CONT.	5 GAL.
ARONIA MELANOCARPA 'ELATA'	GLOSSY BLACK CHOKEBERRY	CONT.	5 GAL.
COTINUS COGGYGRIA 'NCC01' TM	WINECRAFT BLACK SMOKE TREE	CONT.	5 GAL.
ERICAMERIA NAUSEOSA VAR. NAUSEOSIA	TALL BLUE RABBITBRUSH	CONT.	5 GAL.
PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	CONT.	5 GAL.
PHILADELPHUS LEWISII 'CHEYENNE'	LEWIS MOCK ORANGE	CONT.	5 GAL.

DECIDUOUS SHRUBS (CONTINUED)

SYRINGA MEYERI 'PALIBIN'	DWARF KOREAN LILAC	CONT.	5 GAL.
SYRINGA PATULA 'MISS KIM'	MISS KIM LILAC	CONT.	5 GAL.

BOTANICAL NAME	COMMON NAME	ROOT	SIZE
CARYOPTERIS X CLANDONENSIS 'BLUE MIST'	BLUE MIST BLUEBEARD	CONT.	5 GAL.
CORNUS SERICEA 'ARCTIC FIRE'	ARCTIC FIRE DOGWOOD	CONT.	5 GAL.
ERICAMERIA NAUSEOSA SPECIOSA	DWARF BLUE RABBITBRUSH	CONT.	5 GAL.
FRANGULA ALNUS 'COLUMNARIS'	TALL HEDGE BUCKTHORN	CONT.	5 GAL.
LIGUSTRUM VULGARE 'LODENSE'	LODENSE PRIVET	CONT.	5 GAL.
PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE' TM	LITTLE SPIRE RUSSIAN SAGE	CONT.	5 GAL.
POTENTILLA FRUTICOSA 'MCKAY'S WHITE'	MCKAY'S WHITE BUSH CINQUEFOIL	CONT.	5 GAL.

EVERGREEN SHRUBS

BOTANICAL NAME	COMMON NAME	ROOT	SIZE
JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR CREEPING JUNIPER	CONT.	5 GAL.
JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP JUNIPER	CONT.	5 GAL.

BOTANICAL NAME	COMMON NAME	ROOT	SIZE
JUNIPERUS SABINA 'BUFFALO'	BUFFALO JUNIPER	CONT.	5 GAL.
PICEA ABIES 'PUMILA'	DWARF GLOBE NORWAY SPRUCE	CONT.	5 GAL.
PINUS MUGO 'PUMILIO'	DWARF MUGO PINE	CONT.	5 GAL.

ORNAMENTAL GRASSES

BOTANICAL NAME	COMMON NAME	ROOT	SIZE
ANDROPOGON GERARDII	BIG BLUESTEM	CONT.	1 GAL.
MISCANTHUS SINENSIS 'PURPURESCENS'	FLAME GRASS	CONT.	1 GAL.
SCHIZACHYRIUM SCOPARIUM 'BLAZE'	BLAZE LITTLE BLUESTEM	CONT.	1 GAL.

BOTANICAL NAME	COMMON NAME	ROOT	SIZE
CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	CONT.	1 GAL.
PANICUM VIRGATUM 'HEAVY METAL'	BLUE SWITCH GRASS	CONT.	1 GAL.
PANICUM VIRGATUM 'PRAIRIE SKY'	PRAIRIE SKY SWITCH GRASS	CONT.	1 GAL.

PERENNIALS

BOTANICAL NAME	COMMON NAME	ROOT	SIZE
AGASTACHE RUPESTRIS	LICORICE MINT HYSSOP	CONT.	1 GAL.
AGASTACHE X 'BLUE FORTUNE'	BLUE FORTUNE ANISE HYSSOP	CONT.	1 GAL.
AMSONIA HUBRICHTII	ARKANSAS BLUESTAR	CONT.	1 GAL.
ARTEMISIA X 'POWIS CASTLE'	POWIS CASTLE ARTEMISIA	CONT.	1 GAL.
LAVANDULA X INTERMEDIA 'NIKO' TM	PHENOMENAL LAVENDIN	CONT.	1 GAL.
NEPETA FAASSENII 'SIX HILLS GIANT'	SIX HILLS GIANT CATMINT	CONT.	1 GAL.
PENSTEMON STRICTUS	ROCKY MOUNTAIN PENSTEMON	CONT.	1 GAL.
SALVIA X SYLVESTRIS 'MAINACHT'	MAINACHT SAGE	CONT.	1 GAL.
SALVIA X SYLVESTRIS 'SNOW HILL'	SNOW HILL MEADOW SAGE	CONT.	1 GAL.

BOTANICAL NAME	COMMON NAME	ROOT	SIZE
AGASTACHE CANA	TEXAS HUMMINGBIRD MINT	CONT.	1 GAL.
COREOPSIS VERTICILLATA 'MOONBEAM'	MOONBEAM TICKSEED	CONT.	1 GAL.
ECHINACEA PURPUREA	PURPLE CONEFLOWER	CONT.	1 GAL.
GAILLARDIA ARISTATA	NATIVE BLANKET FLOWER	CONT.	1 GAL.
LINUM LEWISII 'BLUE FLAX'	BLUE FLAX	CONT.	1 GAL.

CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
OWNERS NAME
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK COOP, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

NOT FOR
CONSTRUCTION

DATE:
FDP-01: 03/16/2023
FDP-02: 07/07/2023
FDP-03: 10/23/2023

DRAFT

SHEET TITLE:
POTENTIAL
PLANT SCHEDULE

**CLEAR CREEK TRANSIT VILLAGE
*** FINAL PLAT *****

PRC2023-00011

A PORTION OF THE WEST HALF (W 1/2) OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO
SHEET 1 OF 16

CERTIFICATE OF DEDICATION AND OWNERSHIP

KNOW ALL MEN BY THESE PRESENTS, THAT THE UNDERSIGNED, CLEAR CREEK DEVELOPMENT, LLC, A DELAWARE LIMITED LIABILITY COMPANY, BEING THE OWNER OF THE LAND DESCRIBED AND CONVEYED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED JUNE 23, 2020 AT RECEPTION No. 2020000056492, AS SHOWN IN THIS PRELIMINARY PLAT AND DESCRIBED AS FOLLOWS:

LOT 2, BLOCK 1, BRANNAN'S SUBDIVISION FILING NO. 2, ACCORDING TO THE PLAT RECORDED MAY 12, 1994 AT RECEPTION NO/ B1247454, AND AS AMENDED BY AFFIDAVIT OF CORRECTION RECORDED JANUARY 19, 1995 IN BOOK 4455 AT PAGE 542, EXCEPT THAT PART CONVEYED TO THE COUNTY OF ADAMS BY WARRANTY DEED MADE A PART OF RESOLUTION RECORDED MAY 25, 1995 IN BOOK 4518 AT PAGE 777, COUNTY OF ADAMS, STATE OF COLORADO.

TOGETHER WITH TRACT A, BRANNAN'S SUBDIVISION - FILING NO. 1, ACCORDING TO THE PLAT RECORDED OCTOBER 31, 1973 AT RECEPTION NO. A020815, COUNTY OF ADAMS, STATE OF COLORADO.

THE ABOVE DESCRIBED SUBJECT PROPERTY IS ALSO DESCRIBED AS FOLLOWS:

A PORTION OF THE WEST HALF (W 1/2) OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF THE NORTHWEST QUARTER (NW 1/4) OF SAID SECTION 8, FROM WHENCE THE SOUTHEAST CORNER OF SAID NORTHWEST QUARTER (NW 1/4) BEARS SOUTH 00°00'36" WEST A DISTANCE OF 2635.75 FEET, WITH ALL BEARINGS HEREIN RELATED THERETO; THENCE ALONG THE EAST LINE OF SAID NORTHWEST QUARTER (NW 1/4), SOUTH 00°00'36" WEST, 1977.44 FEET TO A POINT;

THENCE LEAVING SAID EAST LINE, NORTH 89°45'17" WEST, 50.00 FEET TO THE WEST LINE OF FEDERAL BOULEVARD, AND BEING THE NORTHEAST CORNER OF TRACT A OF BRANNAN'S SUBDIVISION FILING No. 1, AND BEING THE POINT OF BEGINNING;

THENCE ALONG SAID WEST LINE, SOUTH 00°00'36" WEST, 658.53 FEET TO A POINT;
THENCE LEAVING SAID WEST LINE, SOUTH 89°51'23" WEST, 30.00 FEET TO A POINT;
THENCE SOUTH 00°00'04" WEST, 31.23 FEET TO A POINT;
THENCE SOUTH 83°46'03" WEST, 233.62 FEET TO A POINT;
THENCE SOUTH 61°35'26" WEST, 404.96 FEET TO A POINT ON THE BOUNDARY OF LOT 2 OF BRANNAN'S SUBDIVISION FILING No. 2;
THENCE ALONG SAID BOUNDARY THE FOLLOWING FOUR (4) COURSES:

1. SOUTH 03°44'30" WEST, 159.68 FEET TO A POINT;
2. NORTH 85°27'01" WEST, 446.37 FEET TO A POINT;
3. NORTH 03°30'34" EAST, 1038.07 FEET TO A POINT;
4. SOUTH 89°45'17" EAST, 1010.39 FEET TO THE POINT OF BEGINNING.

CONTAINING ±918,826 SQUARE FEET OR ±21.093 ACRES OF LAND, MORE OR LESS.

HAS BY THESE PRESENTS LAID OUT, PLATTED, AND SUBDIVIDED THE SAME INTO LOTS, STREETS, TRACTS AND EASEMENTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF CLEAR CREEK TRANSIT VILLAGE, AND DOES HEREBY DEDICATE ALL PUBLIC STREETS TO ADAMS COUNTY FOR PUBLIC USE. THE UNDERSIGNED DOES HEREBY DEDICATE, GRANT AND CONVEY TO ADAMS COUNTY, THOSE PUBLIC EASEMENTS AS SHOWN ON THE PLAT; AND FURTHER RESTRICTS THE USE OF ALL PUBLIC EASEMENTS TO ADAMS COUNTY AND/OR ITS ASSIGNS, PROVIDED HOWEVER, THAT THE SOLE RIGHT AND AUTHORITY TO RELEASE OR QUITCLAIM ALL OR ANY SUCH PUBLIC EASEMENTS SHALL REMAIN EXCLUSIVELY VESTED IN ADAMS COUNTY.

FOR: CLEAR CREEK DEVELOPMENT, LLC, A DELAWARE LIMITED LIABILITY COMPANY;

BY: THISTLE CREEK QOF I, L.P., A DELAWARE LIMITED PARTNERSHIP, ITS MANAGING MEMBER;

BY: THISTLE CREEK QOF I GP, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS GENERAL PARTNER

BY: MICHAEL CHRISTENSEN, MANAGER DATE _____

NOTARY ACKNOWLEDGMENT

STATE OF _____)
) SS.
COUNTY OF _____)

THE FOREGOING CERTIFICATE OF DEDICATION AND OWNERSHIP WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____, BY MICHAEL CHRISTENSEN, MANAGER OF THISTLE CREEK QOF I GP, LLC, A DELAWARE LIMITED LIABILITY COMPANY, GENERAL PARTNER OF THISTLE CREEK QOF I, L.P., A DELAWARE LIMITED PARTNERSHIP, MANAGING MEMBER OF CLEAR CREEK DEVELOPMENT, LLC, A DELAWARE LIMITED LIABILITY COMPANY.

WITNESS MY HAND AND SEAL:

NOTARY PUBLIC MY COMMISSION EXPIRES _____
ADDRESS OF NOTARY: _____



VICINITY MAP
Not to scale

TABLE OF CONTENTS	
1	COVER SHEET
2	COVER SHEET NOTES
3	EXISTING CONDITIONS
4	PROPOSED CONDITIONS
5	ADDRESS MAP
6	LAND USE TABLES & LINE AND CURVE TABLES
7-14	FINAL PLAT
15-16	TRACT, DEDICATION AND EASEMENT DETAILS

ADAMS COUNTY ATTORNEY'S OFFICE

APPROVED AS TO FORM _____

BOARD OF COUNTY COMMISSIONERS APPROVAL

APPROVED BY THE ADAMS COUNTY BOARD OF COMMISSIONERS THIS ____ DAY OF _____, A.D. 202__.

CHAIR _____

HOLDER OF DEED OF TRUST CERTIFICATE

THE UNDERSIGNED, AS LEGAL HOLDER OF THE DEED OF TRUST RECORDED ON SEPTEMBER 22, 2022 AT RECEPTION NUMBER 2022000079140, OF THE RECORDS OF THE ADAMS COUNTY COLORADO CLERK & RECORDER, HEREBY CONSENTS TO THE WITHIN PLAT.

SIGNED THIS _____ DAY OF _____, 202__.

FOR: MSH CAPITAL, LLC

BY: _____

TITLE: _____

NOTARY PUBLIC

STATE OF _____)
) SS.
COUNTY OF _____)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____, BY _____.

WITNESS MY HAND AND SEAL:

NOTARY PUBLIC MY COMMISSION EXPIRES _____

ADDRESS OF NOTARY: _____

SURVEYOR'S CERTIFICATE

I, RICHARD B. GABRIEL, A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS LAND SURVEY PLAT CORRECTLY REPRESENTS THE RESULTS OF A SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION ON OCTOBER 11, 2019, THAT THE MONUMENTS SHOWN HEREON ARE OF THE CHARACTER SHOWN AND OCCUPY THE POSITIONS INDICATED AND THAT ALL NOTES, DIMENSIONS AND IMPROVEMENTS ARE CORRECTLY SHOWN HEREIN TO THE BEST OF MY KNOWLEDGE AND BELIEF.

RICHARD B. GABRIEL, P.L.S.
Colorado License No. 37929
For and on behalf of
Power Surveying Company, Inc.

CLERK AND RECORDER

THIS FINAL PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE ADAMS COUNTY CLERK AND RECORDER IN THE STATE OF COLORADO, AT _____ M. ON THIS _____, DAY OF _____, A.D. 202__.

DEPUTY CLERK AND RECORDER _____

RECEPTION NUMBER _____

COVER SHEET
FINAL PLAT

	TYPE OF SUBMITTAL:	FINAL PLAT
	PREPARATION DATE:	JANUARY 31, 2023
	REVISION DATE:	JULY 12, 2023
	REVISION DATE:	OCTOBER 24, 2023
JOB NO. 19-260	DWG: 19-260 FINAL.dwg	
SHEET 1 OF 16		

CLEAR CREEK TRANSIT VILLAGE

*** FINAL PLAT ***

PRC2023-00011

A PORTION OF THE WEST HALF (W 1/2) OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 2 OF 16

STORM DRAINAGE FACILITIES STATEMENT

THE POLICY OF THE COUNTY REQUIRES THAT MAINTENANCE ACCESS SHALL BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY THE SUBDIVISION DEVELOPMENT AGREEMENT. TRACTS THAT WILL CONTAIN STORM DRAINAGE AND WATER QUALITY INFRASTRUCTURE WILL BE OWNED AND MAINTAINED BY THE CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1. SHOULD THE OWNER FAIL TO MAINTAIN SAID FACILITIES, THE COUNTY SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE SOLE PURPOSE OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COST WILL BE ASSESSED TO THE PROPERTY OWNERS.

TRACT MAINTENANCE NOTE

BY THIS PLAT INGRESS, EGRESS AND REGRESS FOR TRACT C IS LIMITED TO FEDERAL BOULEVARD AS SHOWN ON SHEETS 4, 5, 9 AND 12 OF 16 AND ACCESS IS APPROVED BY CDOT AND ADAMS COUNTY, COLORADO AND WILL BE OWNED AND MAINTAINED BY CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1.

TRACT A IS CREATED FOR LANDSCAPE AND WILL BE OWNED BY THE CLEAR CREEK DEVELOPMENT LLC AND MAINTAINED BY GRANTEE.

TRACTS B AND D ARE CREATED FOR LANDSCAPE AND WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS' ASSOCIATION.

TRACTS E, F, G AND H ARE CREATED FOR PEDESTRIAN, ACCESS AND UTILITIES AND WILL BE OWNED AND MAINTAINED BY THE CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1.

TRACT I AND J ARE CREATED FOR OPEN SPACE AND WILL BE OWNED AND MAINTAINED BY THE CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1.

TRACT K AND M ARE CREATED FOR LANDSCAPE WILL BE OWNED AND MAINTAINED BY THE CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1.

TRACT L IS CREATED FOR FUTURE ACCESS TO THE ADJACENT PROPERTY AND WILL BE OWNED AND MAINTAINED BY CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1.

ADAMS COUNTY ASSUMES NO RESPONSIBILITY OR LIABILITY REGARDING STREETS, CDOT ACCESS, PRIVATE DRIVES, AND SIDEWALKS, AND WILL NOT PERFORM MAINTENANCE OPERATIONS INCLUDING SNOW REMOVAL.

UTILITY EASEMENT NOTES

- ALL TRACTS ARE HEREBY DEDICATED FOR UTILITY USE.
- UTILITY EASEMENTS ARE DEDICATED TO ADAMS COUNTY FOR THE BENEFIT OF THE APPLICABLE UTILITY PROVIDERS FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF ELECTRIC, GAS, TELEVISION, CABLE, AND TELECOMMUNICATIONS FACILITIES (DRY UTILITIES). UTILITY EASEMENTS SHALL ALSO BE GRANTED WITHIN ANY ACCESS EASEMENTS AND PUBLIC STREETS IN THE SUBDIVISION. PERMANENT STRUCTURES, IMPROVEMENTS, OBJECTS, BUILDINGS, WELLS, AND OTHER OBJECTS THAT MAY INTERFERE WITH THE UTILITY FACILITIES OR USE THEREOF (INTERFERING OBJECTS) SHALL NOT BE PERMITTED WITHIN SAID UTILITY EASEMENTS AND THE UTILITY PROVIDERS, AS GRANTEES, MAY REMOVE ANY INTERFERING OBJECTS AT NO COST TO SUCH GRANTEES, INCLUDING, WITHOUT LIMITATION, VEGETATION. PUBLIC SERVICE COMPANY OF COLORADO (PSCO) AND ITS SUCCESSORS RESERVE THE RIGHT TO REQUIRE ADDITIONAL EASEMENTS AND TO REQUIRE THE PROPERTY OWNER TO GRANT PSCO AN EASEMENT ON ITS STANDARD FORM.
- FIVE-FOOT (5') WIDE UTILITY EASEMENTS ARE HEREBY DEDICATED ON PRIVATE PROPERTY ADJACENT TO THE FRONT LOT LINES AND SIDE LOT LINES AS SHOWN HEREON. IN ADDITION, TEN-FOOT (10') WIDE DRY UTILITY EASEMENTS ARE HEREBY DEDICATED ALONG THE EAST LOT LINES OF BLOCKS 1 AND BLOCK 2. THESE EASEMENTS ARE DEDICATED TO ADAMS COUNTY FOR THE BENEFIT OF THE APPLICABLE UTILITY PROVIDERS FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF UTILITIES. UTILITY EASEMENTS SHALL ALSO BE GRANTED WITHIN ANY ACCESS EASEMENTS AND PRIVATE STREETS IN THE SUBDIVISION. PERMANENT STRUCTURES, IMPROVEMENTS, OBJECTS, BUILDINGS, WELLS, WATER METERS AND OTHER OBJECTS THAT MAY INTERFERE WITH THE UTILITY FACILITIES OR USE THEREOF (INTERFERING OBJECTS) SHALL NOT BE PERMITTED WITHIN SAID UTILITY EASEMENTS AND THE UTILITY PROVIDERS, AS GRANTEES, MAY REMOVE ANY INTERFERING OBJECTS AT NO COST TO SUCH GRANTEES, INCLUDING, WITHOUT LIMITATION, VEGETATION.

BASIS OF BEARINGS

BEARINGS ARE BASED UPON THE EAST LINE OF THE NORTHWEST QUARTER OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN ASSUMED TO BEAR SOUTH 00°00'36" WEST A DISTANCE OF 2,635.75 FEET, AS DEFINED AND MEASURED BETWEEN A FOUND 3-1/4" DIAMETER ALUMINUM CAP STAMPED "PLS 26288 COLO DEPT OF TRANSPORTATION" IN A RANGE BOX AT THE NORTH 1/4 CORNER SAID SECTION 8 AND THE CENTER 1/4 SAID SECTION 8 BY A FOUND 3-1/4" DIAMETER ALUMINUM CAP STAMPED "PLS 23519 CHARLES H RUSSELL ADAMS COUNTY" IN A RANGE BOX, AS SHOWN HEREON.

SURVEYOR'S NOTES

- ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
- ANY PERSON WHO KNOWINGLY REMOVES, ALTERS, OR DEFACTS ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, CRS.
- THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY POWER SURVEYING COMPANY INC. TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD, RIGHT-OF-WAY, AND TITLE OF RECORD. POWER SURVEYING COMPANY INC. RELIED UPON OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY'S ORDER NO. ABC70787447.1, EFFECTIVE DATE OF MARCH 6, 2023 AT 5:00 P.M. FOR THIS INFORMATION.
- FLOOD ZONE DESIGNATION: AS SHOWN ON F.I.R.M. MAP PANEL #08001C0592H, WITH AN EFFECTIVE REVISION DATE OF MARCH 5, 2007, THE SUBJECT PROPERTY LIES WITHIN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AND WITHIN ZONE "AE" (SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY THE 1% PERCENT ANNUAL CHANCE FLOOD - BASE FLOOD ELEVATIONS DETERMINED). REFER TO MAP SHEETS FOR APPROXIMATE LOCATIONS OF FLOOD ZONE BOUNDARIES.
- FIELD SURVEY COMPLETION DATE: OCTOBER 11, 2019.
- THE LINEAR UNIT OF MEASUREMENT FOR THIS FINAL PLAT IS THE INTERNATIONAL FOOT, DEFINED AS EXACTLY 0.3048 METER.
- STATEMENT RESTRICTING ACCESS: INGRESS, EGRESS, AND REGRESS ARE LIMITED TO FEDERAL BLVD. UNLESS APPROVED BY CDOT AND ADAMS COUNTY, COLORADO.
- PROPERTY ADDRESS: 6001 FEDERAL BLVD, DENVER, CO 80221.
- THE SUBJECT PROPERTY CONTAINS ±918,827 SQUARE FEET OR ±21.093 ACRES OF LAND.

COVER SHEET - NOTES
FINAL PLAT

 6911 BROADWAY DENVER, COLORADO 80221 Established 1988 PH: 303-702-1517 FAX: 303-702-1438 WWW.POWERSURVEYING.COM	TYPE OF SUBMITTAL:	FINAL PLAT
	PREPARATION DATE:	JANUARY 31, 2023
	REVISION DATE:	JULY 12, 2023
	REVISION DATE:	OCTOBER 24, 2023
JOB NO. 19-260	DWG: 19-260 FINAL.dwg	

SHEET 2 OF 16

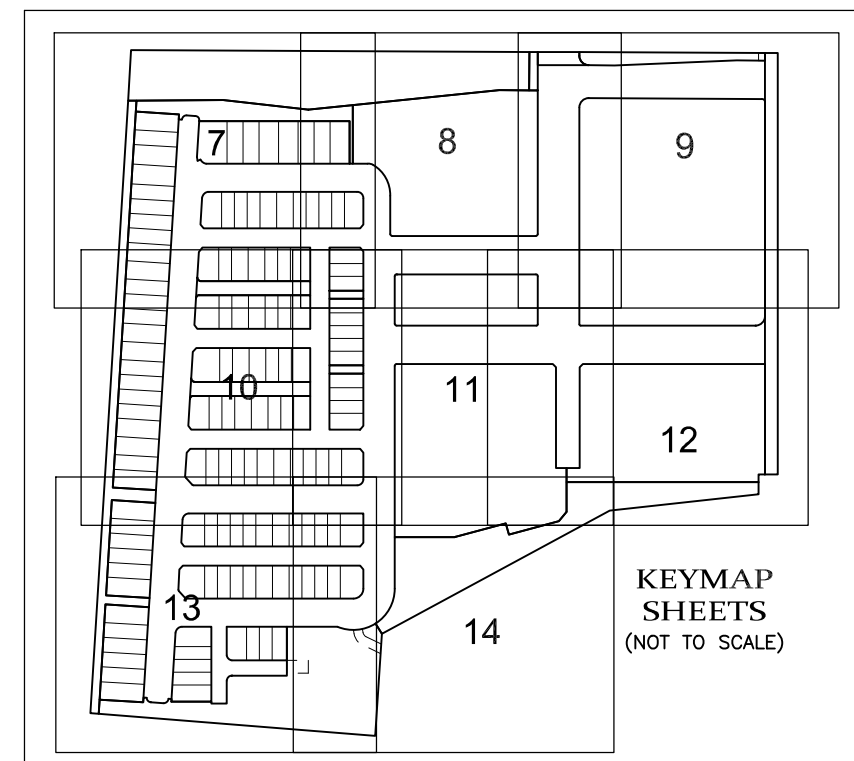
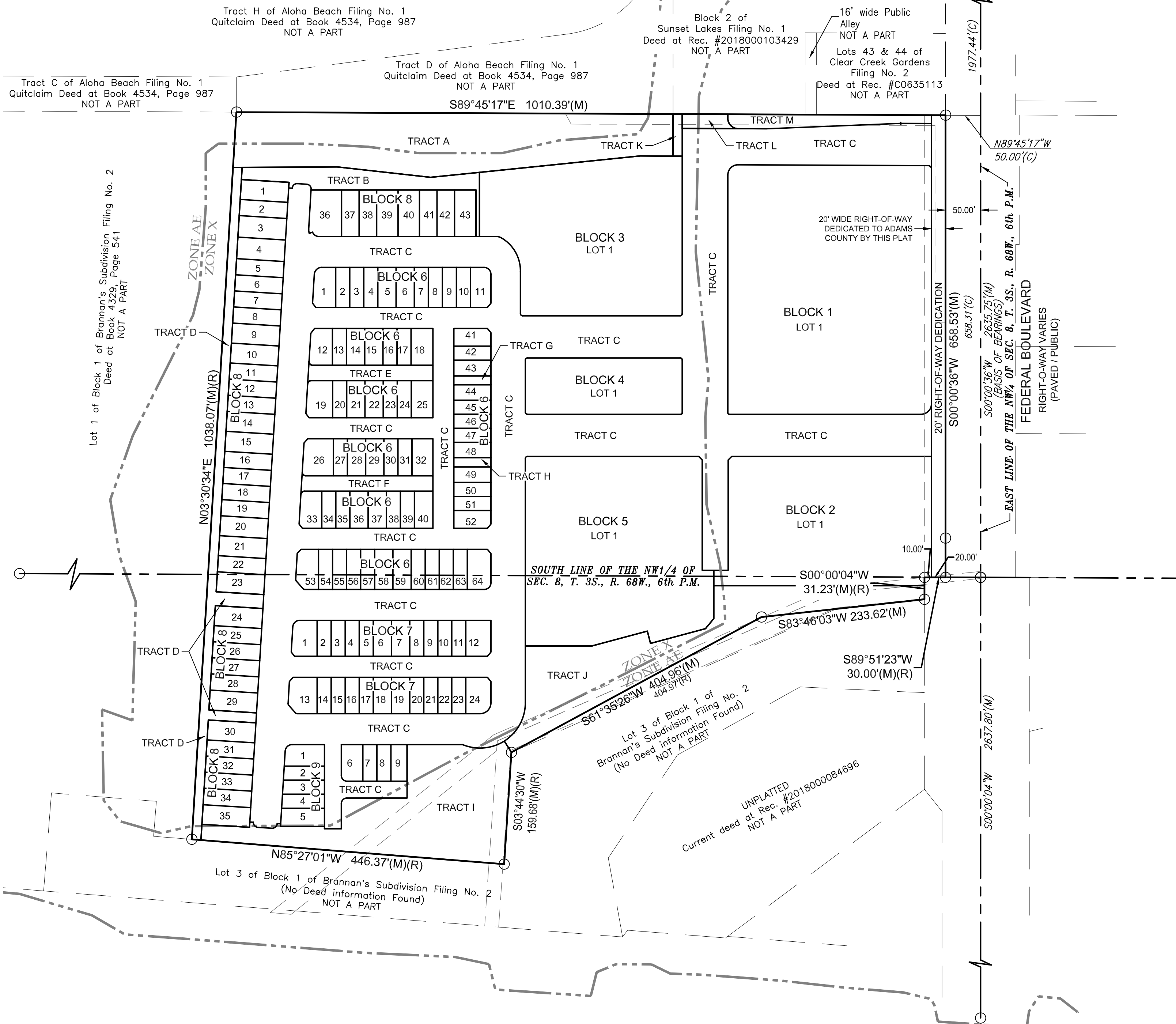
CLEAR CREEK TRANSIT VILLAGE

*** FINAL PLAT ***

A PORTION OF THE WEST HALF (W 1/2) OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 4 OF 16

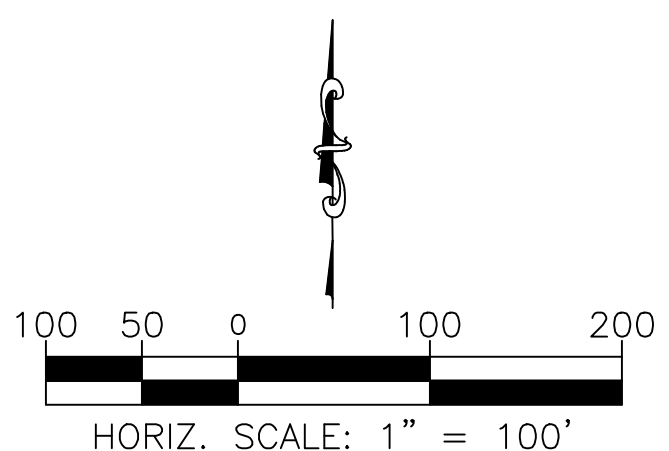
PRC2023-00011



LEGEND OF SYMBOLS & ABBREVIATIONS

- SET REBAR & 1-1/2" DIAMETER YELLOW PLASTIC CAP, PLS 37929, TYPICAL UNLESS NOTED OTHERWISE
- MONUMENT FOUND, AS NOTED
- DIAM DIAMETER
- (C) CALCULATED
- (M) MEASURED
- (R) RECORD
- U.E. UTILITY EASEMENT
- BLOCK # LOT OR BLOCK NUMBER
- PUBLIC LANDS SURVEY SECTION LINE
- PLAT BOUNDARY LIMITS
- NEW LOT & TRACT LINE PER THIS PLAT
- PROPOSED EASEMENT
- EXISTING RECORD EASEMENT LINE
- ADJOINING PARCEL OR LOT LINE
- F.E.M.A. FLOOD BOUNDARY (AS NOTED)

FOR ADAMS COUNTY ROAD DEDICATION AND TRACTS B, D AND E DETAILS, SEE SHEET 15.



PROPOSED CONDITIONS
FINAL PLAT

	TYPE OF SUBMITTAL:	FINAL PLAT
	PREPARATION DATE:	JANUARY 31, 2023
	REVISION DATE:	JULY 12, 2023
	REVISION DATE:	OCTOBER 24, 2023
JOB NO. 19-260	DWG: 19-260 FINAL.dwg	
SHEET 4 OF 16		

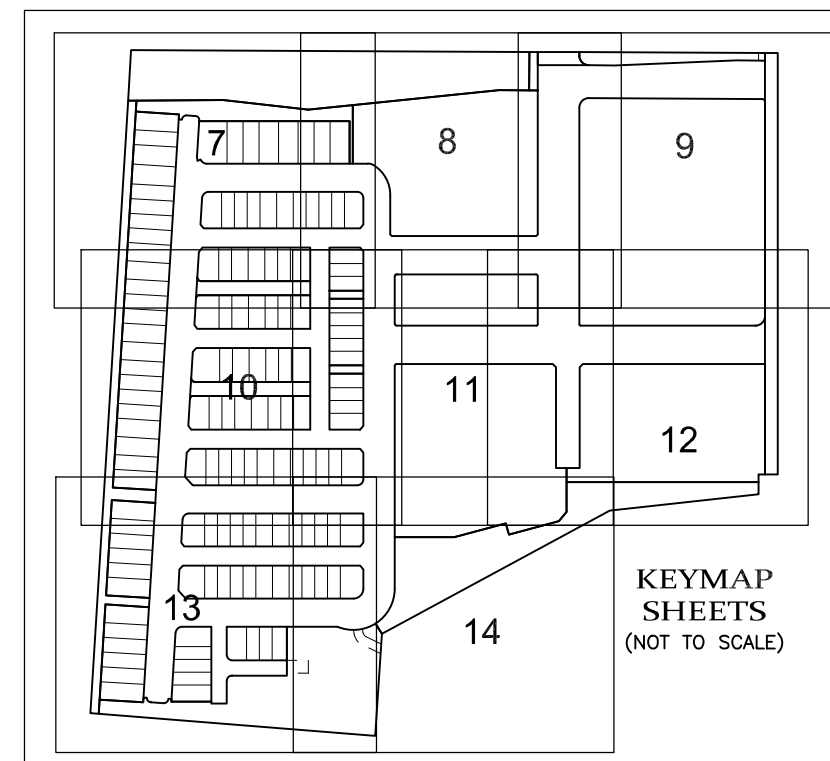
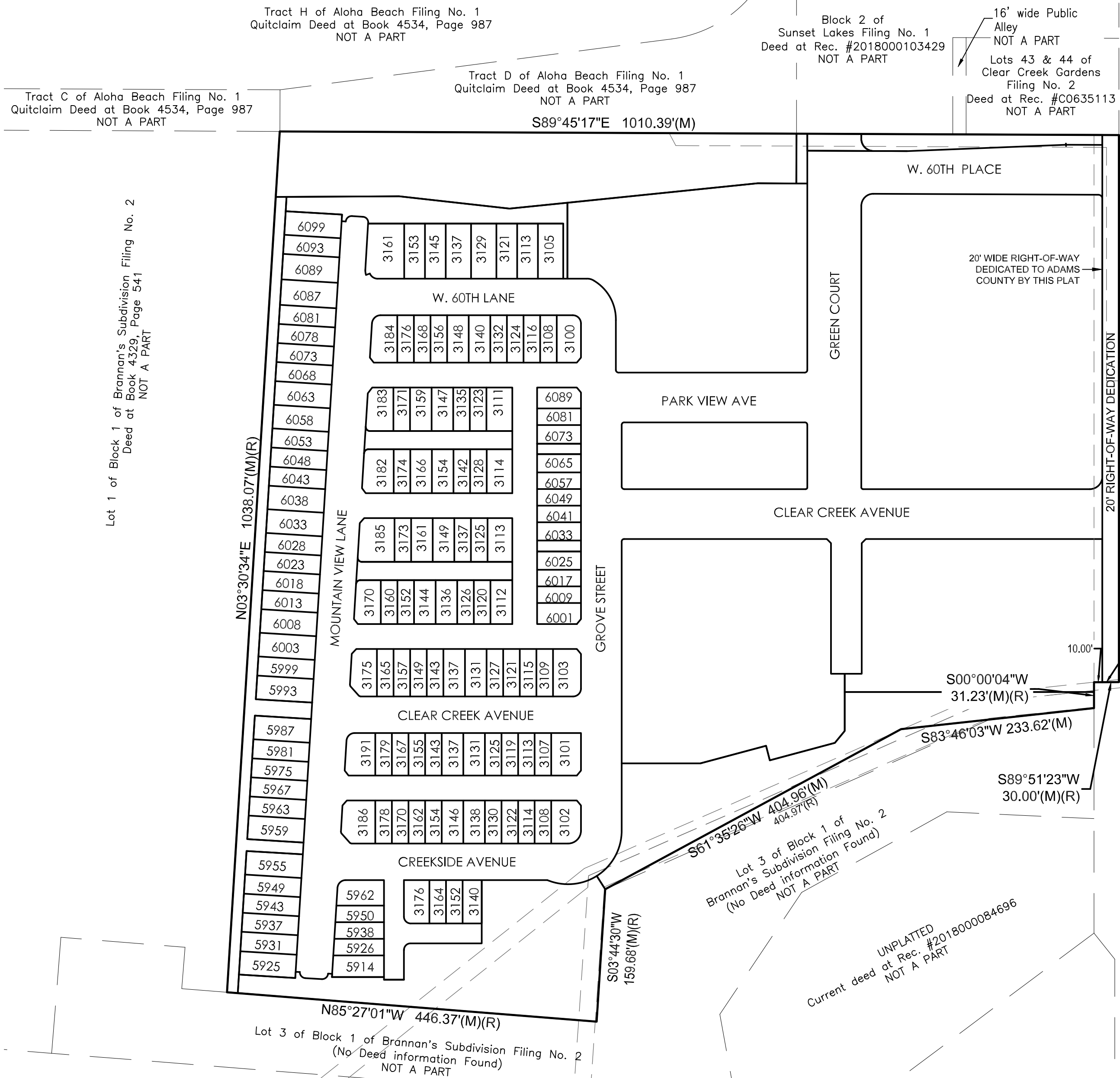
CLEAR CREEK TRANSIT VILLAGE

*** FINAL PLAT ***

A PORTION OF THE WEST HALF (W 1/2) OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 5 OF 16

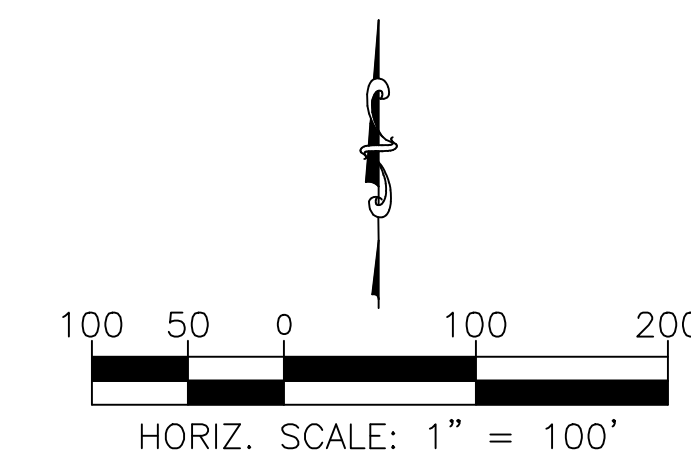
PRC2023-00011



LEGEND OF SYMBOLS & ABBREVIATIONS

- SET REBAR & 1-1/2" DIAMETER YELLOW PLASTIC CAP, PLS 37929, TYPICAL UNLESS NOTED OTHERWISE
- MONUMENT FOUND, AS NOTED
- DIAM DIAMETER
- (C) CALCULATED
- (M) MEASURED
- (R) RECORD
- U.E. UTILITY EASEMENT
- BLOCK # LOT OR BLOCK NUMBER
- PUBLIC LANDS SURVEY SECTION LINE
- PLAT BOUNDARY LIMITS
- NEW LOT & TRACT LINE PER THIS PLAT
- PROPOSED EASEMENT
- EXISTING RECORD EASEMENT LINE
- ADJOINING PARCEL OR LOT LINE
- F.E.M.A. FLOOD BOUNDARY (AS NOTED)

FOR ADAMS COUNTY ROAD DEDICATION AND TRACTS B, D AND E DETAILS, SEE SHEET 15.



ADDRESS MAP
FINAL PLAT

	TYPE OF SUBMITTAL:	FINAL PLAT
	PREPARATION DATE:	JANUARY 31, 2023
	REVISION DATE:	JULY 12, 2023
	REVISION DATE:	OCTOBER 24, 2023
JOB NO. 19-260	DWG: 19-260 FINAL.dwg	

ESTABLISHED 1988
6911 BROADWAY DENVER, COLORADO 80221
PH: 303-750-9517 FAX: 303-750-1438 WWW.POWERSURVEYING.COM

CLEAR CREEK TRANSIT VILLAGE

*** FINAL PLAT ***

PRC2023-00011

A PORTION OF THE WEST HALF (W 1/2) OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 6 OF 16

BLOCK / LOT DATA

BLOCK NO.	±SQ. FT.	±ACRES
BLOCK 1	102,894	2.362
BLOCK 2	53,694	1.233
BLOCK 3	56,950	1.307
BLOCK 4	17,955	0.412
BLOCK 5	67,451	1.549
BLOCK 6	81,987	1.882
BLOCK 7	29,247	0.671
BLOCK 8	75,953	1.744
BLOCK 9	11,744	0.270
TOTAL AREA	497,876	11.430

BLOCK 6		
LOT NO.	±SQ. FT.	±ACRES
LOT 1	1,768	0.041
LOT 2	1,140	0.026
LOT 3	1,140	0.026
LOT 4	1,140	0.026
LOT 5	1,482	0.034
LOT 6	1,482	0.034
LOT 7	1,140	0.026
LOT 8	1,140	0.026
LOT 9	1,140	0.026
LOT 10	1,140	0.026
LOT 11	1,620	0.037
LOT 12	1,661	0.038
LOT 13	1,048	0.024
LOT 14	1,363	0.031
LOT 15	1,363	0.031
LOT 16	1,048	0.024
LOT 17	1,048	0.024
LOT 18	1,628	0.037
LOT 19	1,936	0.044
LOT 20	1,056	0.024
LOT 21	1,372	0.032
LOT 22	1,372	0.032
LOT 23	1,056	0.024
LOT 24	1,056	0.024
LOT 25	1,620	0.037
LOT 26	2,253	0.052
LOT 27	1,054	0.024
LOT 28	1,371	0.031
LOT 29	1,371	0.031
LOT 30	1,054	0.024
LOT 31	1,054	0.024
LOT 32	1,565	0.036
LOT 33	1,621	0.037
LOT 34	1,054	0.024
LOT 35	1,054	0.024
LOT 36	1,370	0.031
LOT 37	1,370	0.031
LOT 38	1,054	0.024
LOT 39	1,054	0.024
LOT 40	1,385	0.032
LOT 41	1,316	0.030
LOT 42	1,054	0.024
LOT 43	1,178	0.027
LOT 44	1,160	0.027
LOT 45	1,054	0.024
LOT 46	1,054	0.024
LOT 47	1,054	0.024
LOT 48	1,160	0.027
LOT 49	1,160	0.027
LOT 50	1,054	0.024
LOT 51	1,054	0.024
LOT 52	1,316	0.030
LOT 53	1,711	0.039
LOT 54	1,144	0.026
LOT 55	1,144	0.026
LOT 56	1,144	0.026
LOT 57	1,144	0.026
LOT 58	1,487	0.034
LOT 59	1,487	0.034
LOT 60	1,144	0.026
LOT 61	1,144	0.026
LOT 62	1,144	0.026
LOT 63	1,144	0.026
LOT 64	1,893	0.043
TOTAL AREA	81,987	1.882

BLOCK 7		
LOT NO.	±SQ. FT.	±ACRES
LOT 1	1,790	0.041
LOT 2	1,024	0.024
LOT 3	1,024	0.024
LOT 4	1,024	0.024
LOT 5	1,024	0.024
LOT 6	1,331	0.031
LOT 7	1,331	0.031
LOT 8	1,024	0.024
LOT 9	1,024	0.024
LOT 10	1,024	0.024
LOT 11	1,024	0.024
LOT 12	1,813	0.042
LOT 13	2,009	0.046
LOT 14	1,037	0.024
LOT 15	1,037	0.024
LOT 16	1,037	0.024
LOT 17	1,037	0.024
LOT 18	1,348	0.031
LOT 19	1,348	0.031
LOT 20	1,037	0.024
LOT 21	1,037	0.024
LOT 22	1,037	0.024
LOT 23	1,037	0.024
LOT 24	1,785	0.041
TOTAL AREA	29,247	0.671

BLOCK 8		
LOT NO.	±SQ. FT.	±ACRES
LOT 1	1,938	0.044
LOT 2	1,564	0.036
LOT 3	2,090	0.048
LOT 4	2,090	0.048
LOT 5	1,564	0.036
LOT 6	1,564	0.036
LOT 7	1,564	0.036
LOT 8	1,564	0.036
LOT 9	1,938	0.044
LOT 10	1,938	0.044
LOT 11	1,564	0.036
LOT 12	1,564	0.036
LOT 13	1,564	0.036
LOT 14	1,938	0.044
LOT 15	1,938	0.044
LOT 16	1,564	0.036
LOT 17	1,564	0.036
LOT 18	1,564	0.036
LOT 19	1,564	0.036
LOT 20	1,938	0.044
LOT 21	1,938	0.044
LOT 22	1,564	0.036
LOT 23	1,938	0.044
LOT 24	1,938	0.044
LOT 25	1,564	0.036
LOT 26	1,564	0.036
LOT 27	1,564	0.036
LOT 28	1,564	0.036
LOT 29	1,938	0.044
LOT 30	1,938	0.044
LOT 31	1,564	0.036
LOT 32	1,564	0.036
LOT 33	1,564	0.036
LOT 34	1,598	0.037
LOT 35	1,904	0.044
LOT 36	2,966	0.068
LOT 37	1,659	0.038
LOT 38	1,659	0.038
LOT 39	2,024	0.046
LOT 40	2,024	0.046
LOT 41	1,659	0.038
LOT 42	1,659	0.038
LOT 43	2,024	0.046
TOTAL AREA	75,953	1.744

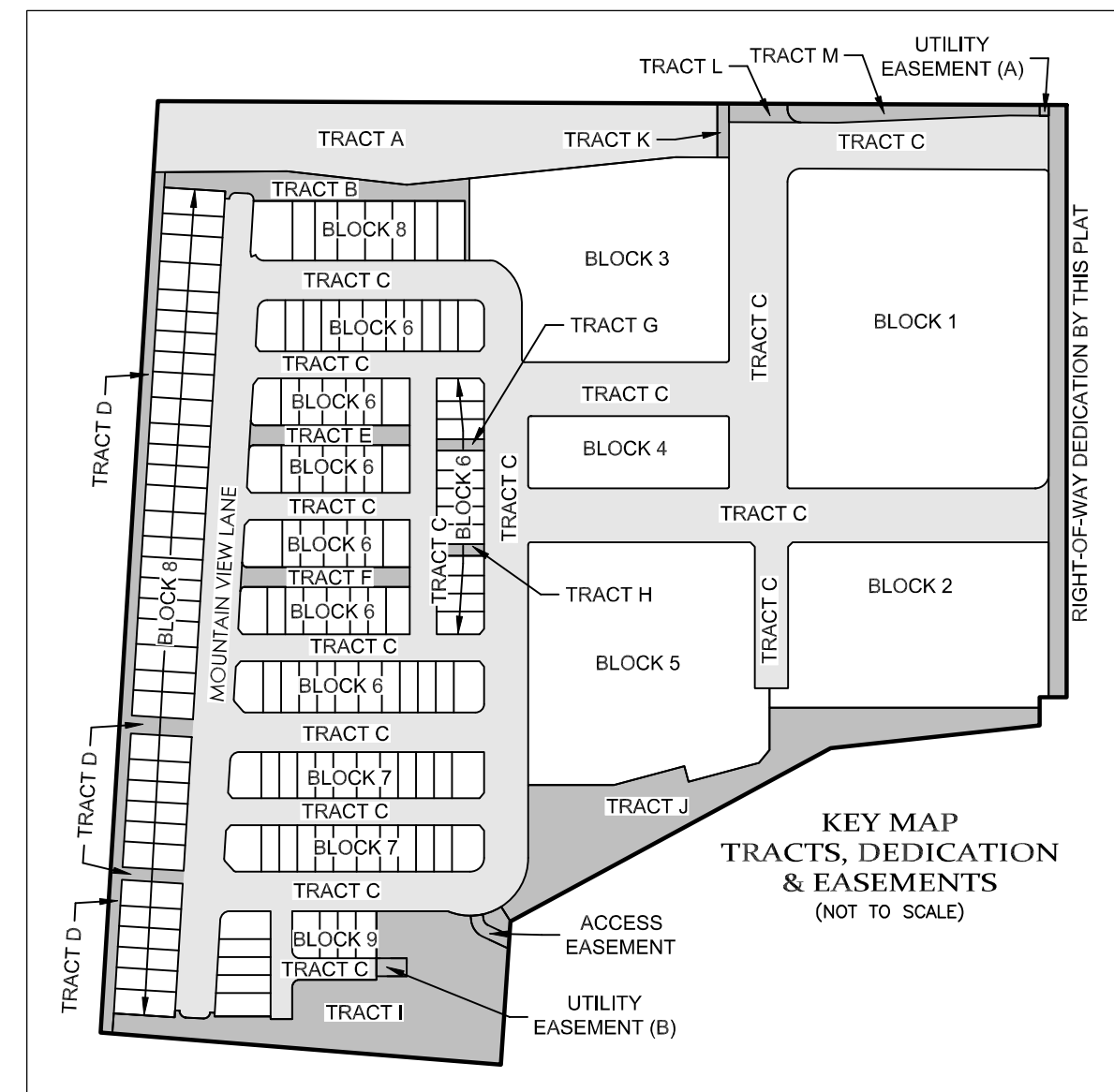
BLOCK 9		
LOT NO.	±SQ. FT.	±ACRES
LOT 1	1,714	0.039
LOT 2	1,159	0.027
LOT 3	1,184	0.027
LOT 4	1,208	0.028
LOT 5	1,607	0.037
LOT 6	1,587	0.036
LOT 7	1,043	0.024
LOT 8	1,043	0.024
LOT 9	1,199	0.028
TOTAL AREA	11,744	0.270

LAND USE TABLE

	± SQ. FT.	± ACRES
BLOCKS	497,876	11.430
TRACTS	407,779	9.361
DEDICATION	13,172	0.302
SITE TOTAL	918,827	21.093
TRACT & DEDICATION TOTAL	420,951	9.664

TRACT & DEDICATION DATA

TRACTS & DEDICATION				
TRACT	±SQ. FT.	±ACRES	LAND USE	OWNERSHIP
TRACT A	48,131	1.105	LANDSCAPE & UTILITY	CLEAR CREEK DEVELOPMENT, LLC
TRACT B	8,541	0.196	LANDSCAPE, UTILITIES & DRAINAGE	HOMEOWNERS' ASSOCIATION
TRACT C	250,391	5.748	METRO DISTRICT ROADS FOR PUBLIC ACCESS	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
TRACT D	14,763	0.339	LANDSCAPE, UTILITIES & DRAINAGE	HOMEOWNERS' ASSOCIATION
TRACT E	3,915	0.09	ACCESS & UTILITIES	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
TRACT F	4,127	0.095	ACCESS & UTILITIES	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
TRACT G	666	0.015	ACCESS & UTILITIES	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
TRACT H	692	0.016	ACCESS & UTILITIES	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
TRACT I	36,451	0.837	UTILITIES, ACCESS, DRAINAGE & LANDSCAPE	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
TRACT J	33,209	0.762	UTILITIES, ACCESS, DRAINAGE & LANDSCAPE	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
TRACT K	786	0.018	LANDSCAPE & UTILITY	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
TRACT L	1,378	0.032	FUTURE ACCESS	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
TRACT M	4,727	0.109	LANDSCAPE	CLEAR CREEK TRANSIT METROPOLITAN DISTRICT NO. 1
DEDICATION	13,172	0.302	RIGHT-OF-WAY DEDICATION	ADAMS COUNTY



TRACT & EASEMENT SHEET 15

TRACT	AREA (SQ.FT.)	AREA (ACRES)
TRACT B	8,541	0.196
TRACT D	14,764	0.339
TRACT I	36,451	0.837
DEDICATION	13,172	0.302

EASEMENTS	AREA (SQ.FT.)	AREA (ACRES)
ACCESS EASEMENT	701	0.016
UTILITY EASEMENT (A)	120	0.003
UTILITY EASEMENT (B)	672	0.015

TRACT & EASEMENT SHEET 16

TRACT	AREA (SQ.FT.)	AREA (ACRES)
TRACT E	3,915	0.090
TRACT F	4,127	0.095
TRACT G	666	0.015
TRACT H	692	0.016
TRACT J	33,209	0.762
TRACT K	786	0.018
TRACT L	1,378	0.032
TRACT M	4,727	0.109

TRACT A: SEE SHEETS 7 & 8
TRACT C: SEE SHEETS 7-14
SEE TRACT / DEDICATION DETAILS
SHEETS 15 & 16

LINE	BEARING	DISTANCE
L1	N03°30'20"E	0.79'
L2	N86°29'40"W	13.00'
L3	N86°29'40"W	5.00'
L4	N03°30'20"E	8.01'
L5	N03°30'20"E	7.50'
L6	S86°29'40"E	5.00'
L7	S86°55'09"E	20.00'
L8	S86°29'40"E	5.00'
L9	S03°30'20"W	3.86'
L10	N90°00'00"E	62.61'
L11	S00°00'00"E	3.21'
L12	N90°00'00"E	24.00'
L13	N00°00'00"W	35.78'

LINE AND CURVE TABLE (NORTH & SOUTH END MOUNTAIN VIEW LANE)

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	7.00'	11.00'	90°00'00"	N41°29'40"W	9.90'
C2	7.00'	11.00'	90°00'00"	N48°30'20"E	9.90'
C3	7.00'	11.05'	90°22'11"	S41°41'50"E	9.94'
C4	7.00'	10.94'	89°34'31"	N48°17'35"E	9.86'
C5	8.00'	12.57'	90°02'57"	N45°01'29"E	11.32'

LAND USE TABLES
FINAL PLAT



TYPE OF SUBMITTAL:	FINAL PLAT
PREPARATION DATE:	JANUARY 31, 2023
REVISION DATE:	JULY 12, 2023
REVISION DATE:	OCTOBER 24, 2023
REVISION DATE:	
JOB NO. 19-260	DWG: 19-260 FINAL.dwg

CLEAR CREEK TRANSIT VILLAGE

*** FINAL PLAT ***

A PORTION OF THE WEST HALF (W 1/2) OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 7 OF 16

PRC2023-00011

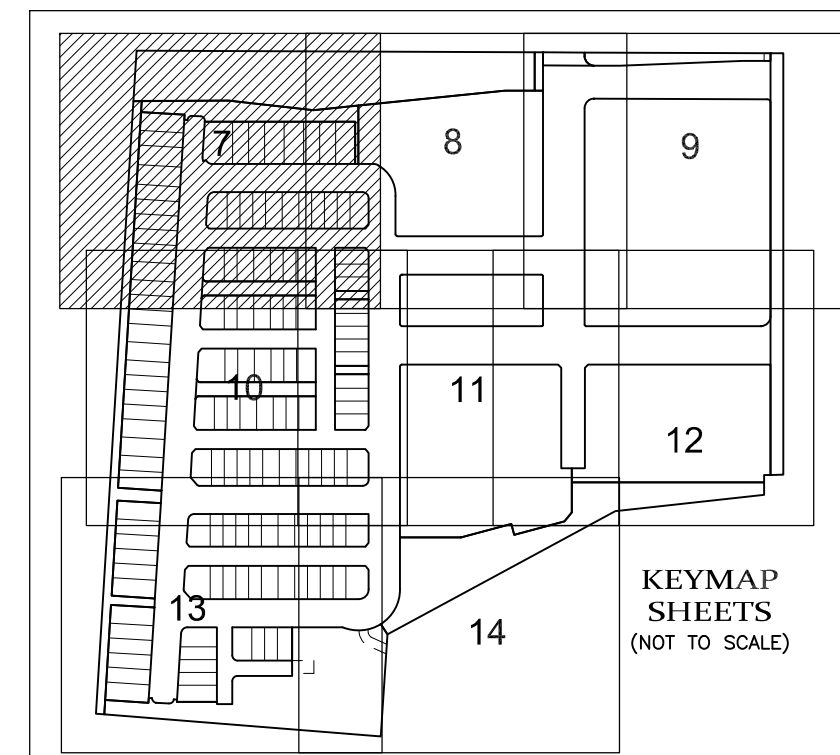
Tract C of Aloha Beach Filing No. 1
Quitclaim Deed at Book 4534, Page 987
NOT A PART

Tract D of Aloha Beach Filing No. 1
Quitclaim Deed at Book 4534, Page 987
NOT A PART

LEGEND OF SYMBOLS & ABBREVIATIONS

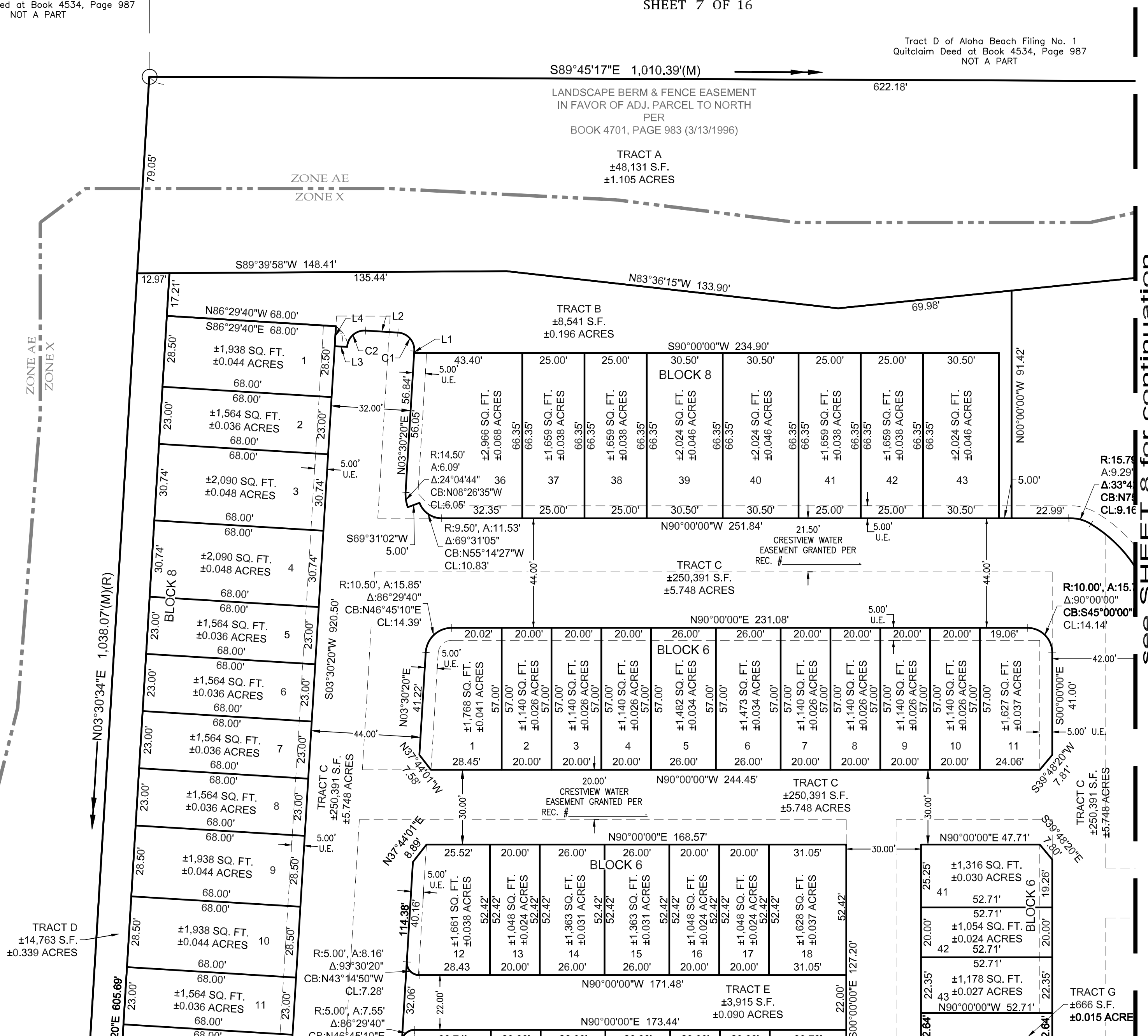
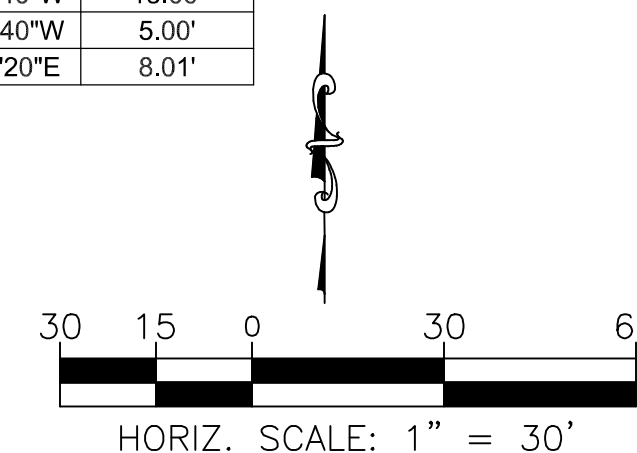
- SET REBAR & 1-1/2" DIAMETER YELLOW PLASTIC CAP, PLS 37929, TYPICAL UNLESS NOTED OTHERWISE
- MONUMENT FOUND, AS NOTED
- DIAM DIAMETER
- (C) CALCULATED
- (M) MEASURED
- (R) RECORD
- U.E. UTILITY EASEMENT
- BLOCK # LOT OR BLOCK NUMBER
- PUBLIC LANDS SURVEY SECTION LINE
- PLAT BOUNDARY LIMITS
- NEW LOT & TRACT LINE PER THIS PLAT
- PROPOSED EASEMENT
- EXISTING RECORD EASEMENT LINE
- ADJOINING PARCEL OR LOT LINE
- F.E.M.A. FLOOD BOUNDARY (AS NOTED)

FOR ADAMS COUNTY ROAD DEDICATION AND TRACTS B, D AND E DETAILS, SEE SHEET 15.



CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	7.00'	11.00'	90°00'00"	N41°29'40"W	9.90'
C2	7.00'	11.00'	90°00'00"	N48°30'20"E	9.90'

LINE	BEARING	DISTANCE
L1	N03°30'20"E	0.79'
L2	N86°29'40"W	13.00'
L3	N86°29'40"W	5.00'
L4	N03°30'20"E	8.01'



see SHEET 10 for continuation

see SHEET 8 for continuation

POWER
Surveying Company, Inc.
Established 1988
6911 BROADWAY
DENVER, COLORADO 80221

TYPE OF SUBMITTAL:	FINAL PLAT
PREPARATION DATE:	JANUARY 31, 2023
REVISION DATE:	JULY 12, 2023
REVISION DATE:	OCTOBER 24, 2023
REVISION DATE:	
JOB NO. 19-260	DWG: 19-260 FINAL.dwg

SHEET 7 OF 16

CLEAR CREEK TRANSIT VILLAGE

*** FINAL PLAT ***

A PORTION OF THE WEST HALF (W 1/2) OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

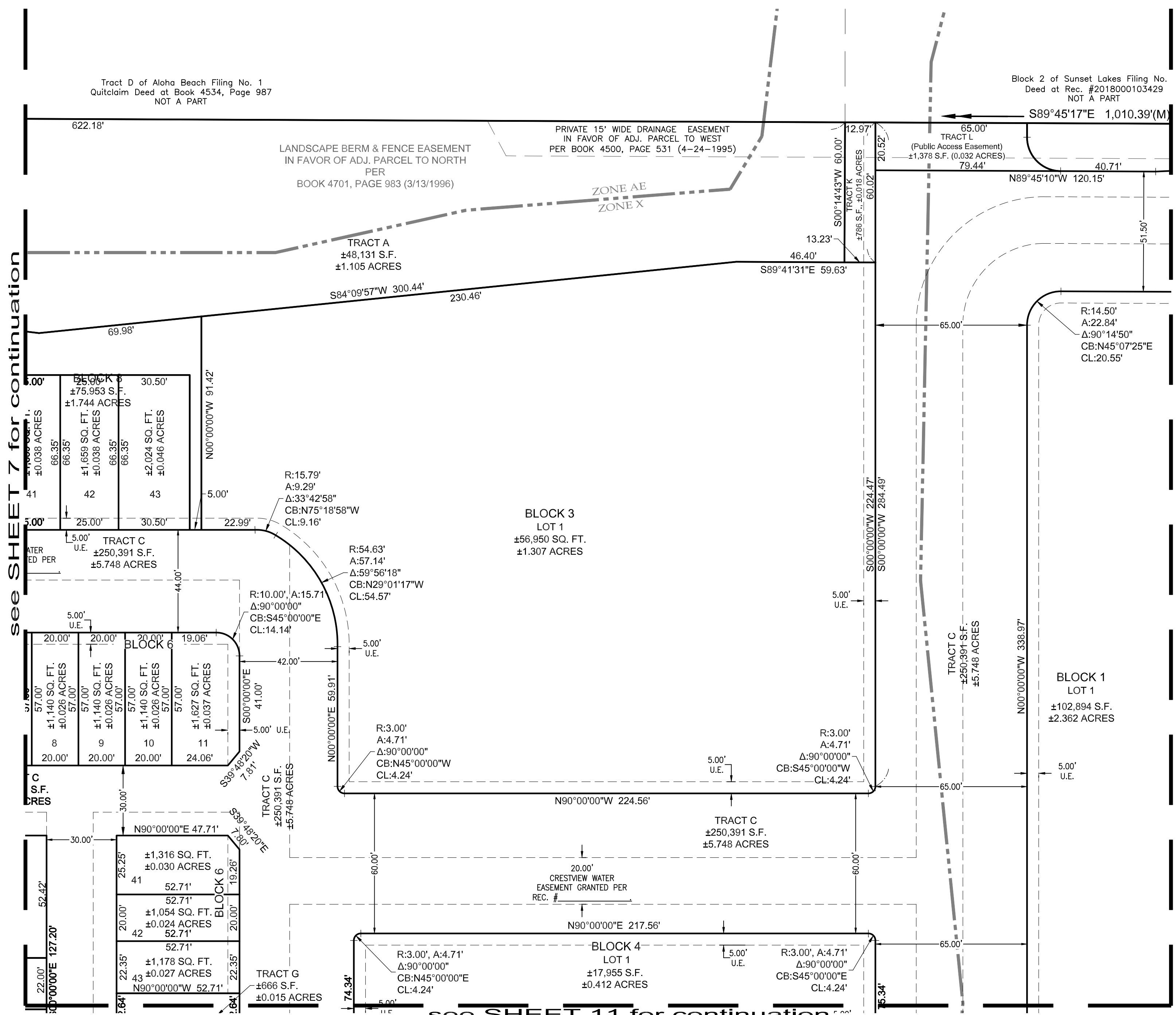
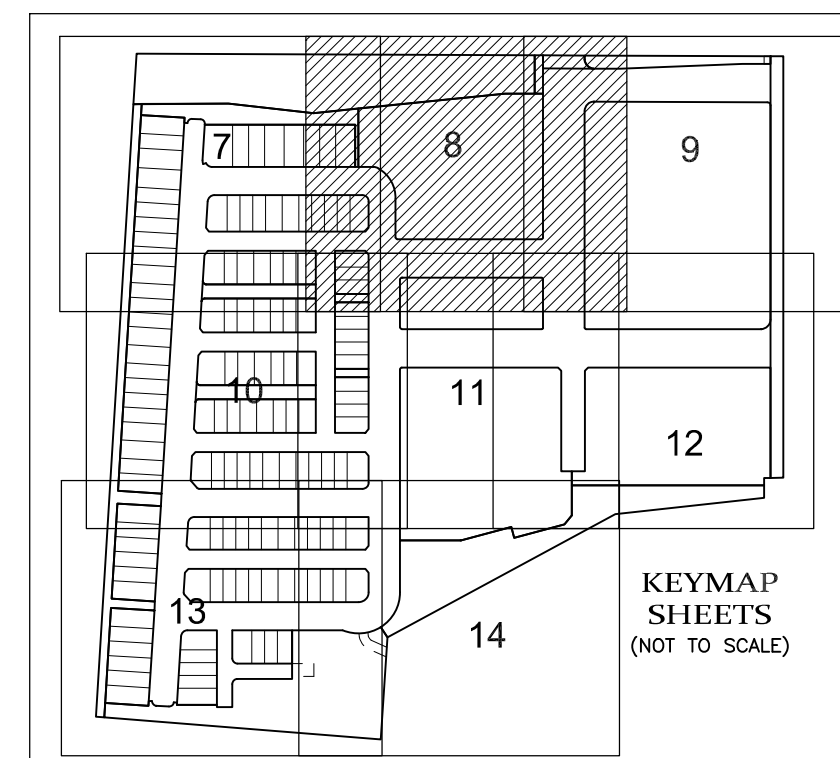
SHEET 8 OF 16

PRC2023-00011

LEGEND OF SYMBOLS & ABBREVIATIONS

- SET REBAR & 1-1/2" DIAMETER YELLOW PLASTIC CAP, PLS 37929, TYPICAL UNLESS NOTED OTHERWISE
- MONUMENT FOUND, AS NOTED
- DIAM DIAMETER
- (C) CALCULATED
- (M) MEASURED
- (R) RECORD
- U.E. UTILITY EASEMENT
- BLOCK # LOT OR BLOCK NUMBER
- PUBLIC LANDS SURVEY SECTION LINE
- PLAT BOUNDARY LIMITS
- NEW LOT & TRACT LINE PER THIS PLAT
- PROPOSED EASEMENT
- EXISTING RECORD EASEMENT LINE
- ADJOINING PARCEL OR LOT LINE
- F.E.M.A. FLOOD BOUNDARY (AS NOTED)

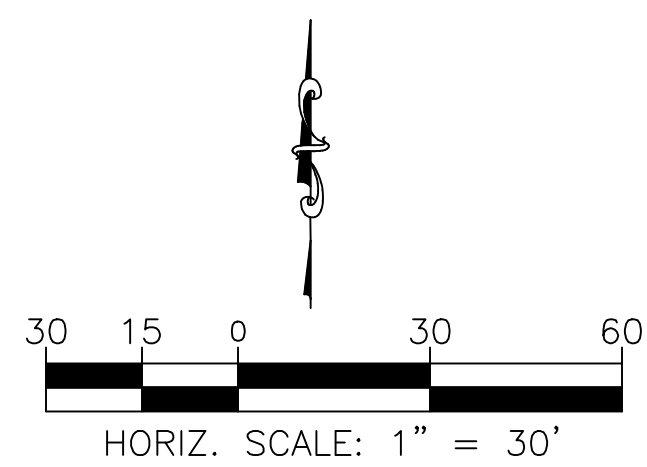
FOR ADAMS COUNTY ROAD DEDICATION AND TRACTS B, D AND E DETAILS, SEE SHEET 15.



see SHEET 7 for continuation

see SHEET 9 for continuation

see SHEET 11 for continuation



POWER Surveying Company, Inc.
Established 1988
6911 BROADWAY DENVER, COLORADO 80221
TEL: 303-702-1517 FAX: 303-702-1438 WWW.POWERSURVEYING.COM

TYPE OF SUBMITTAL:	FINAL PLAT
PREPARATION DATE:	JANUARY 31, 2023
REVISION DATE:	JULY 12, 2023
REVISION DATE:	OCTOBER 24, 2023
REVISION DATE:	
JOB NO. 19-260	DWG: 19-260 FINAL.dwg

SHEET 8 OF 16

CLEAR CREEK TRANSIT VILLAGE

*** FINAL PLAT ***

A PORTION OF THE WEST HALF (W 1/2) OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

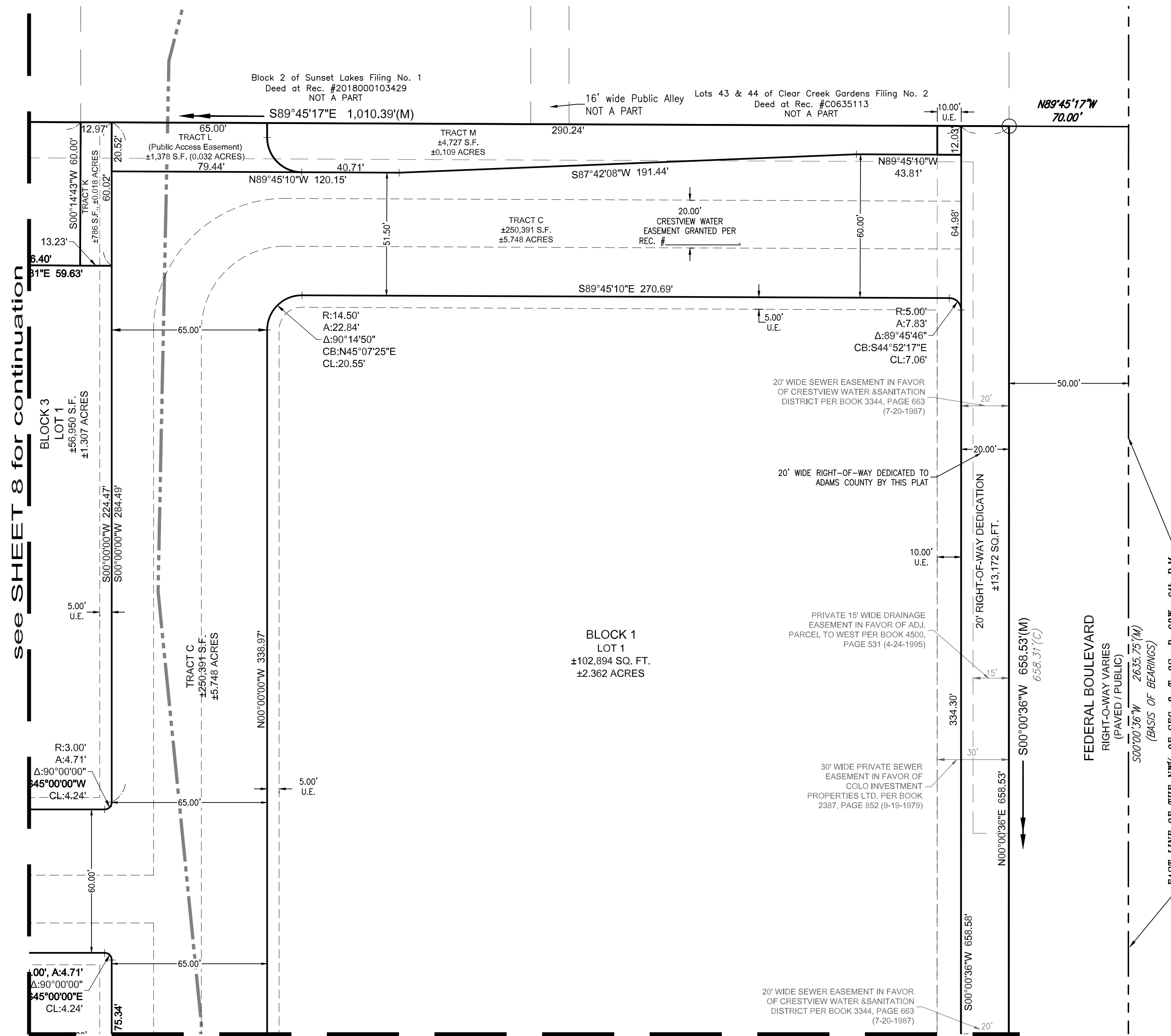
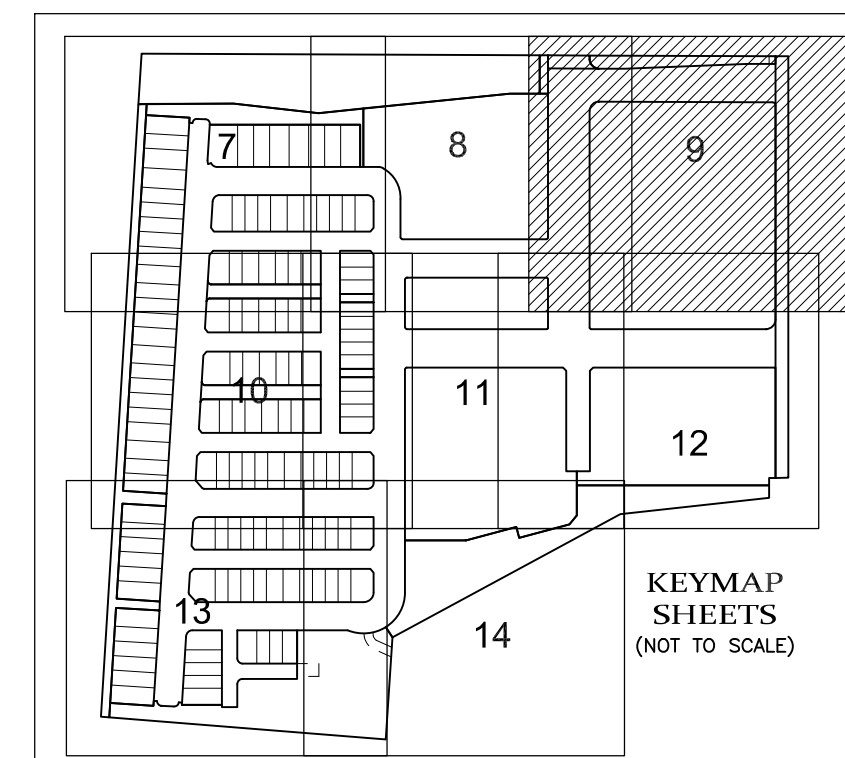
SHEET 9 OF 16

PRC2023-00011

LEGEND OF SYMBOLS & ABBREVIATIONS

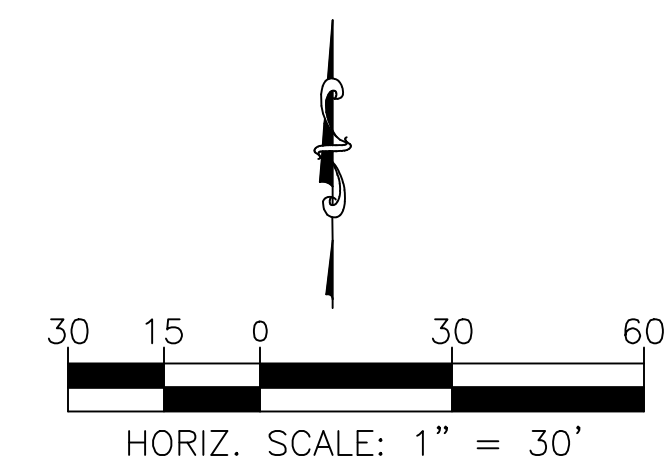
- SET REBAR & 1-1/2" DIAMETER YELLOW PLASTIC CAP, PLS 37929, TYPICAL UNLESS NOTED OTHERWISE
- MONUMENT FOUND, AS NOTED
- DIAM DIAMETER
- (C) CALCULATED
- (M) MEASURED
- (R) RECORD
- U.E. UTILITY EASEMENT
- BLOCK # LOT OR BLOCK NUMBER
- PUBLIC LANDS SURVEY SECTION LINE
- PLAT BOUNDARY LIMITS
- NEW LOT & TRACT LINE PER THIS PLAT
- PROPOSED EASEMENT
- - - EXISTING RECORD EASEMENT LINE
- - - ADJOINING PARCEL OR LOT LINE
- F.E.M.A. FLOOD BOUNDARY (AS NOTED)

FOR ADAMS COUNTY ROAD DEDICATION AND TRACTS B, D AND E DETAILS, SEE SHEET 15.



see SHEET 8 for continuation

see SHEET 12 for continuation



POWER
Surveying Company, Inc.
Established 1988
9611 BROADWAY
DENVER, COLORADO 80221

TYPE OF SUBMITTAL:	FINAL PLAT
PREPARATION DATE:	JANUARY 31, 2023
REVISION DATE:	JULY 12, 2023
REVISION DATE:	OCTOBER 24, 2023
REVISION DATE:	
JOB NO. 19-260	DWG: 19-260 FINAL.dwg

SHEET 9 OF 16

CLEAR CREEK TRANSIT VILLAGE

*** FINAL PLAT ***

PRC2023-00011

A PORTION OF THE WEST HALF (W 1/2) OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

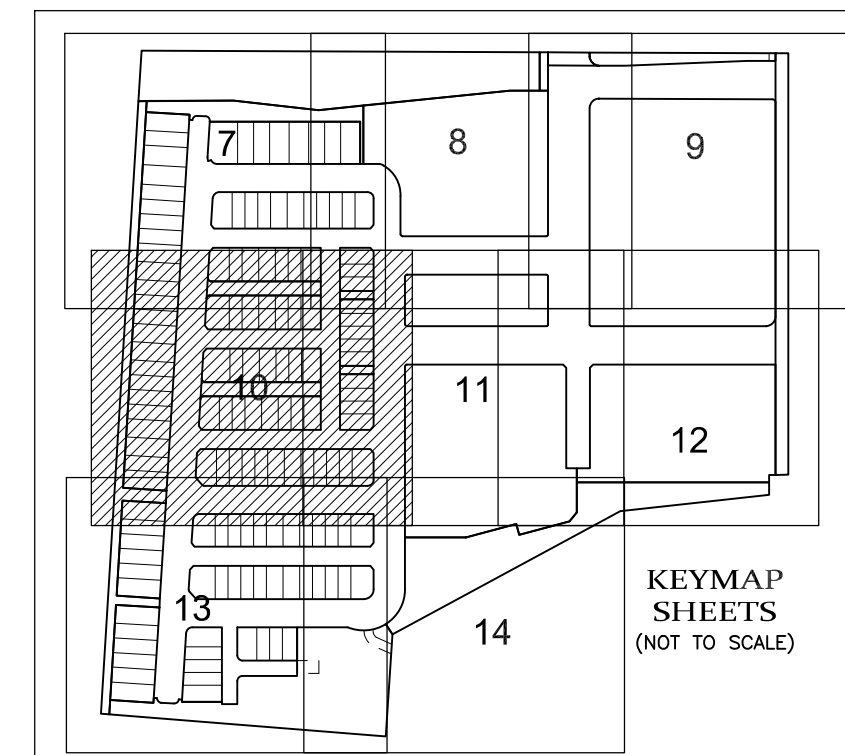
SHEET 10 OF 16

see SHEET 7 for continuation

LEGEND OF SYMBOLS & ABBREVIATIONS

- SET REBAR & 1-1/2" DIAMETER YELLOW PLASTIC CAP, PLS 37929, TYPICAL UNLESS NOTED OTHERWISE
- MONUMENT FOUND, AS NOTED
- DIAM DIAMETER
- (C) CALCULATED
- (M) MEASURED
- (R) RECORD
- U.E. UTILITY EASEMENT
- BLOCK # LOT OR BLOCK NUMBER
- PUBLIC LANDS SURVEY SECTION LINE
- PLAT BOUNDARY LIMITS
- NEW LOT & TRACT LINE PER THIS PLAT
- PROPOSED EASEMENT
- EXISTING RECORD EASEMENT LINE
- ADJOINING PARCEL OR LOT LINE
- F.E.M.A. FLOOD BOUNDARY (AS NOTED)

FOR ADAMS COUNTY ROAD DEDICATION AND TRACTS B, D AND E DETAILS, SEE SHEET 15.



see SHEET 11 for continuation

see SHEET 13 for continuation

Lot 1 of Block 1 of Bronnan's Subdivision Filing No. 2
Deed at Book 4329, Page 541
NOT A PART

POWER Surveying Company, Inc.
Established 1988
6911 BROADWAY DENVER, COLORADO 80221
TEL: 303-750-8117 FAX: 303-750-1438 WWW.POWERSURVEYING.COM

TYPE OF SUBMITTAL:	FINAL PLAT
PREPARATION DATE:	JANUARY 31, 2023
REVISION DATE:	JULY 12, 2023
REVISION DATE:	OCTOBER 24, 2023
REVISION DATE:	
JOB NO. 19-260	DWG: 19-260 FINAL.dwg

SHEET 10 OF 16

CLEAR CREEK TRANSIT VILLAGE

*** FINAL PLAT ***

PRC2023-00011

A PORTION OF THE WEST HALF (W 1/2) OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

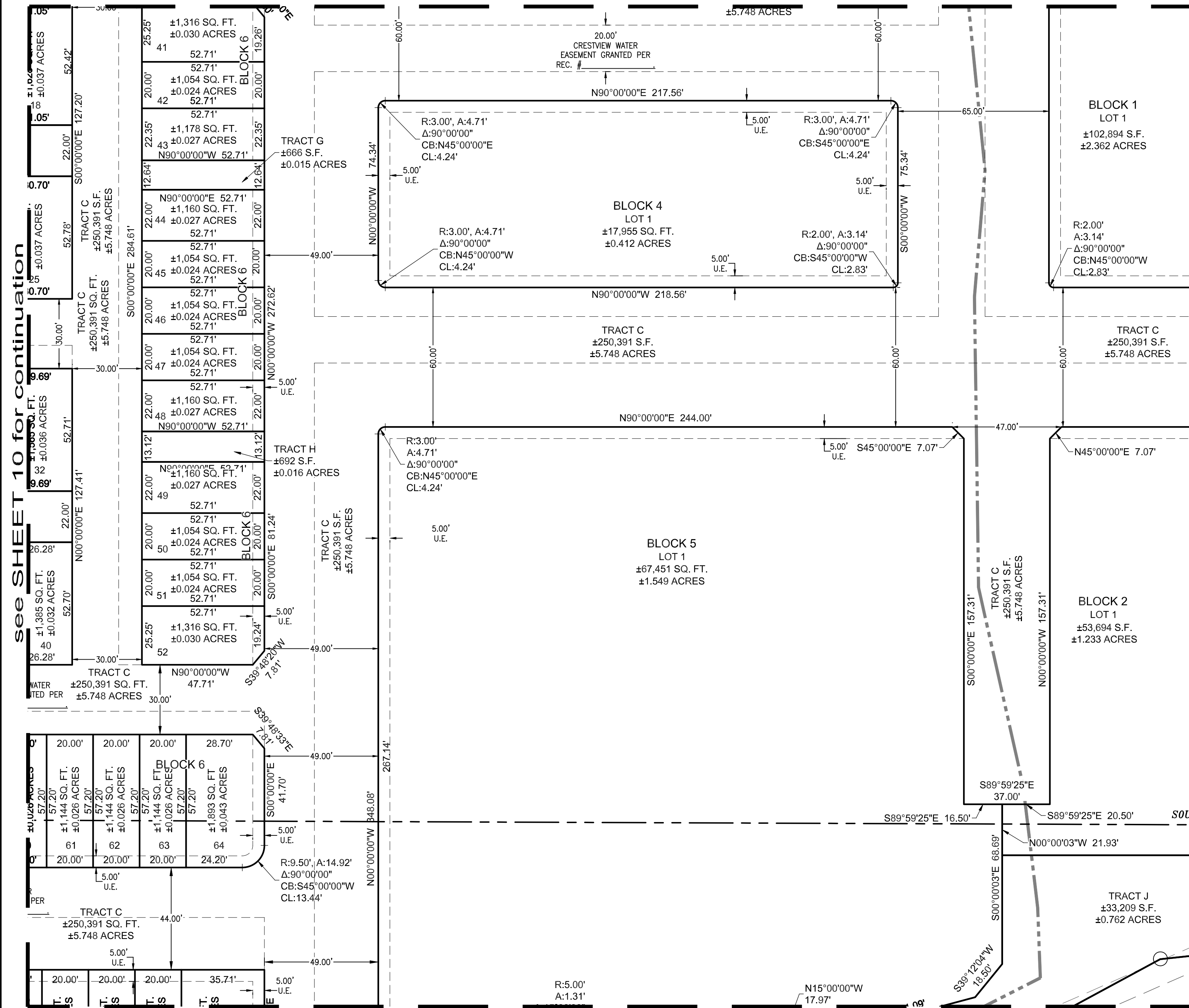
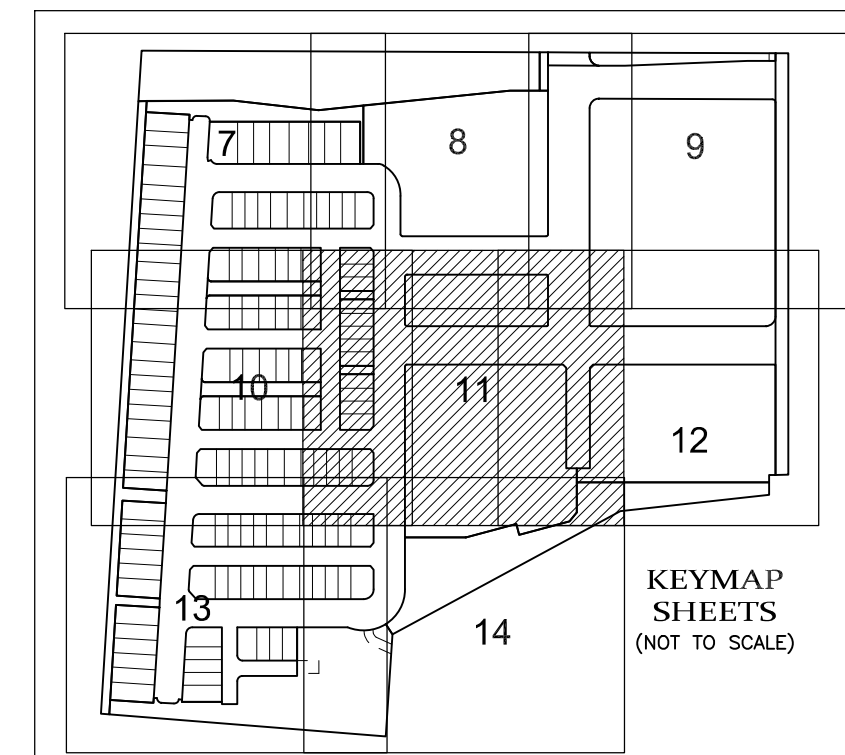
SHEET 11 OF 16

see SHEET 8 for continuation

LEGEND OF SYMBOLS & ABBREVIATIONS

- SET REBAR & 1-1/2" DIAMETER YELLOW PLASTIC CAP, PLS 37929, TYPICAL UNLESS NOTED OTHERWISE
- MONUMENT FOUND, AS NOTED
- DIAM DIAMETER
- (C) CALCULATED
- (M) MEASURED
- (R) RECORD
- U.E. UTILITY EASEMENT
- BLOCK # LOT OR BLOCK NUMBER
- PUBLIC LANDS SURVEY SECTION LINE
- PLAT BOUNDARY LIMITS
- NEW LOT & TRACT LINE PER THIS PLAT
- PROPOSED EASEMENT
- EXISTING RECORD EASEMENT LINE
- ADJOINING PARCEL OR LOT LINE
- F.E.M.A. FLOOD BOUNDARY (AS NOTED)

FOR ADAMS COUNTY ROAD DEDICATION AND TRACTS B, D AND E DETAILS, SEE SHEET 15.

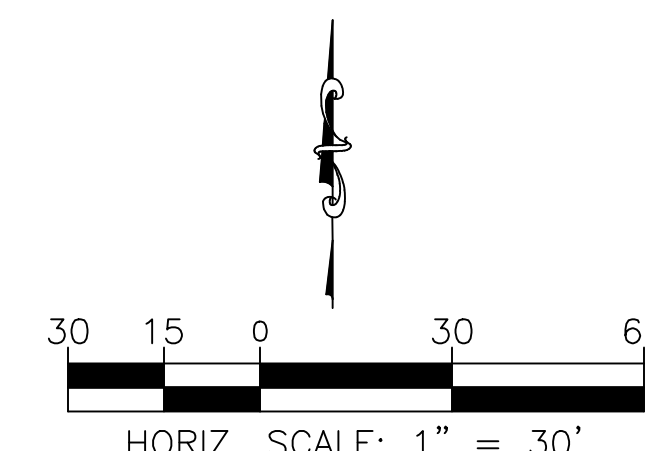


see SHEET 10 for continuation

see SHEET 12 for continuation

see SHEET 10 for continuation

see SHEET 14 for continuation



POWER
Surveying Company, Inc.
Established 1988
9611 BROADWAY
DENVER, COLORADO 80231

TYPE OF SUBMITTAL:	FINAL PLAT
PREPARATION DATE:	JANUARY 31, 2023
REVISION DATE:	JULY 12, 2023
REVISION DATE:	OCTOBER 24, 2023
REVISION DATE:	
JOB NO. 19-260	DWG: 19-260 FINAL.dwg

SHEET 11 OF 16

CLEAR CREEK TRANSIT VILLAGE

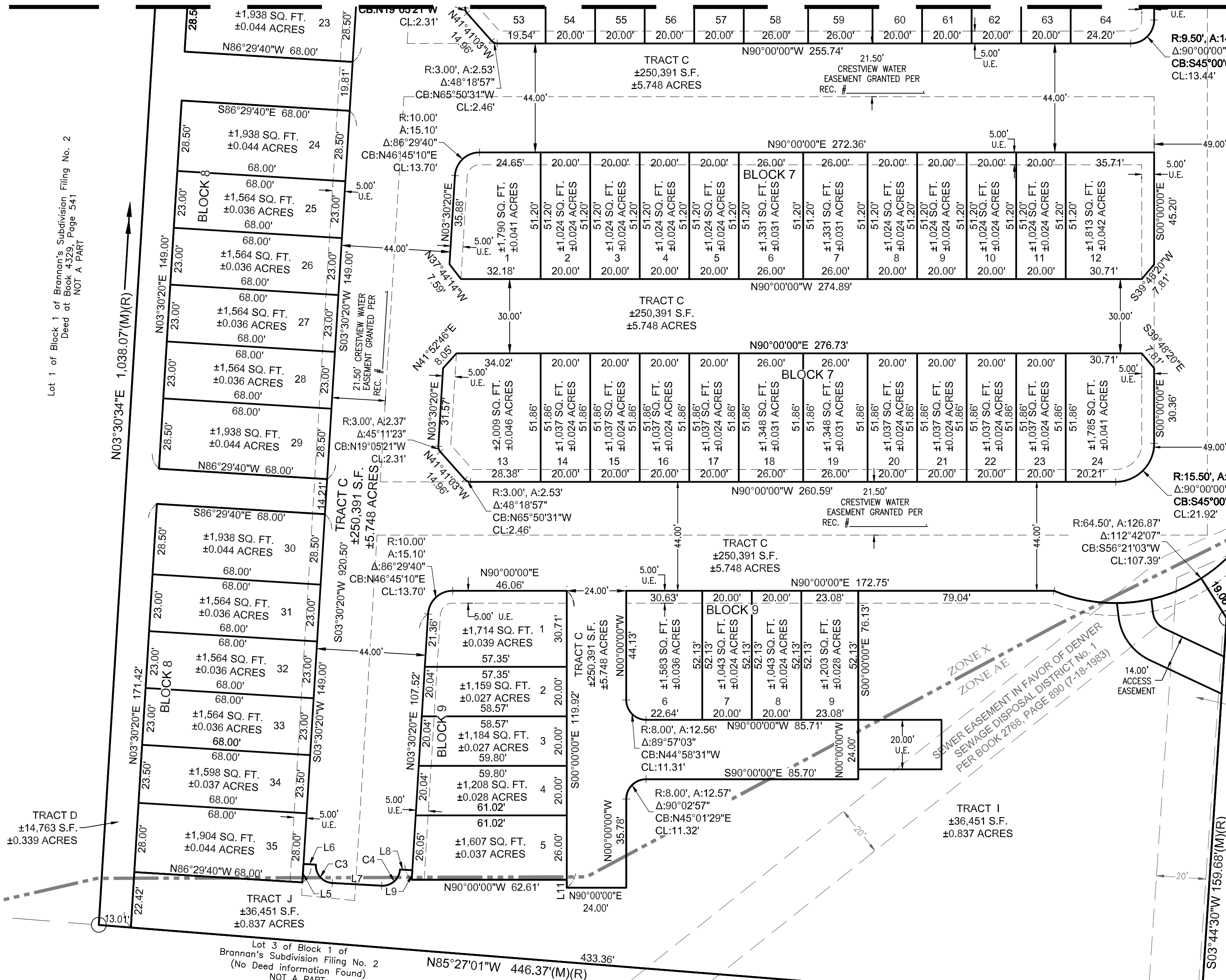
*** FINAL PLAT ***

A PORTION OF THE WEST HALF (W 1/2) OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 13 OF 16

PRC2023-00011

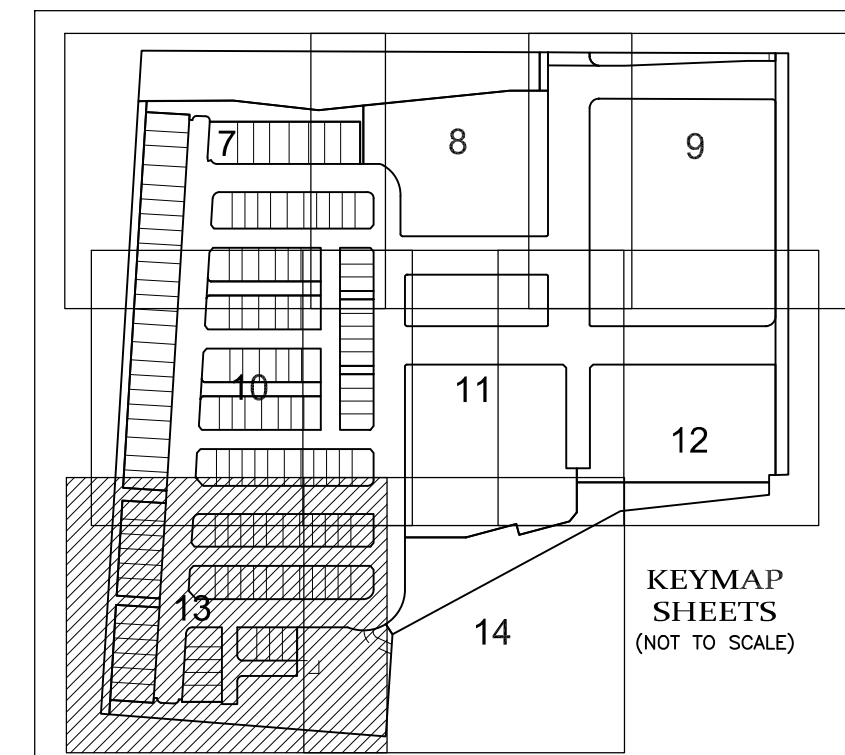
see SHEET 10 for continuation



LEGEND OF SYMBOLS & ABBREVIATIONS

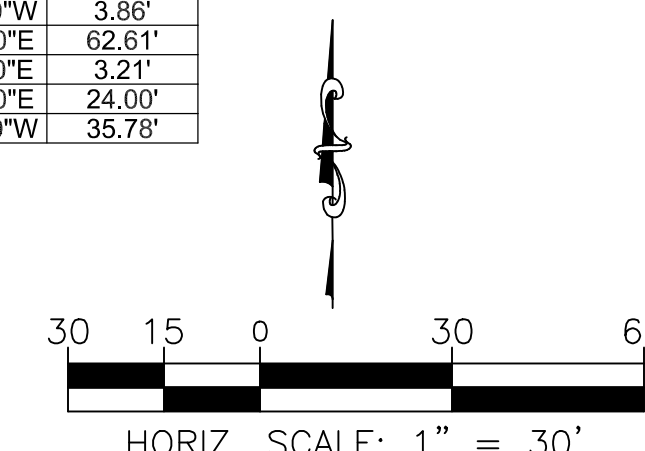
- SET REBAR & 1-1/2" DIAMETER YELLOW PLASTIC CAP, PLS 37929, TYPICAL UNLESS NOTED OTHERWISE
- MONUMENT FOUND, AS NOTED
- DIAM DIAMETER
- (C) CALCULATED
- (M) MEASURED
- (R) RECORD
- U.E. UTILITY EASEMENT
- BLOCK # LOT OR BLOCK NUMBER
- PUBLIC LANDS SURVEY SECTION LINE
- PLAT BOUNDARY LIMITS
- NEW LOT & TRACT LINE PER THIS PLAT
- PROPOSED EASEMENT
- EXISTING RECORD EASEMENT LINE
- ADJOINING PARCEL OR LOT LINE
- F.E.M.A. FLOOD BOUNDARY (AS NOTED)

FOR ADAMS COUNTY ROAD DEDICATION AND TRACTS B, D AND E DETAILS, SEE SHEET 15.



CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C3	7.00'	11.05'	90°22'11"	S41°41'50"E	9.94'
C4	7.00'	10.94'	89°34'31"	N48°17'35"E	9.86'
C5	8.00'	12.57'	90°02'57"	N45°01'29"E	11.32'

LINE	BEARING	DISTANCE
L5	N03°30'20"E	7.50'
L6	S86°29'40"E	5.00'
L7	S86°55'09"E	20.00'
L8	S86°29'40"E	5.00'
L9	S03°30'20"W	3.86'
L10	N90°00'00"E	62.61'
L11	S00°00'00"E	3.21'
L12	N90°00'00"E	24.00'
L13	N00°00'00"W	35.78'



Lot 1 of Block 1 of Brannan's Subdivision Filing No. 2
Deed at Book 4329, Page 541
NOT A PART

Lot 3 of Block 1 of Brannan's Subdivision Filing No. 2
(No Deed information Found)
NOT A PART

see SHEET 14 for continuation

POWER Surveying Company, Inc.
Established 1988
6911 BROADWAY DENVER, COLORADO 80221
TEL: 303-733-1517 FAX: 303-733-1438 WWW.POWERSURVEYING.COM

TYPE OF SUBMITTAL:	FINAL PLAT
PREPARATION DATE:	JANUARY 31, 2023
REVISION DATE:	JULY 12, 2023
REVISION DATE:	OCTOBER 24, 2023
REVISION DATE:	
JOB NO. 19-260	DWG: 19-260 FINAL.dwg

SHEET 13 OF 16

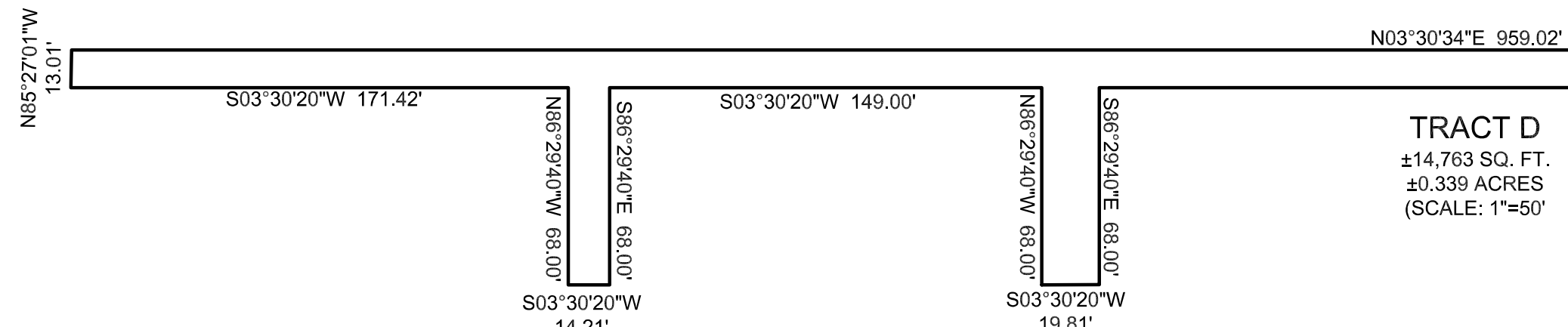
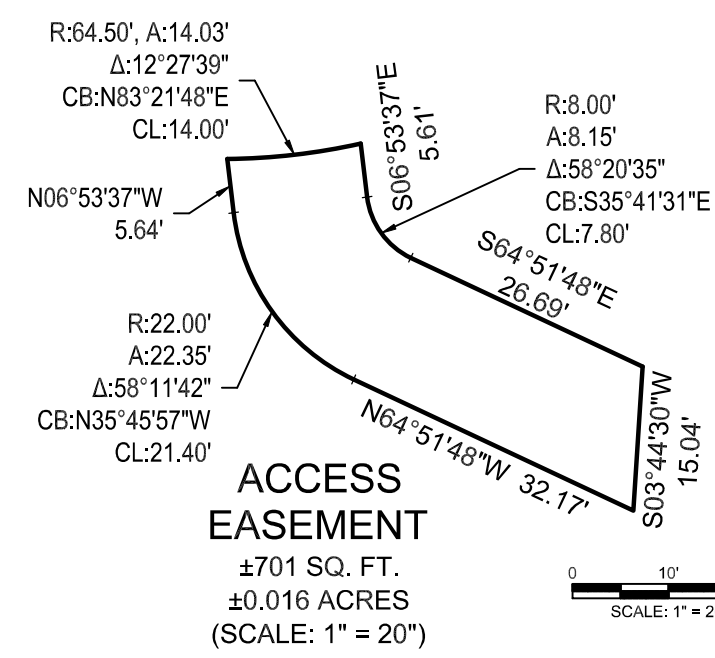
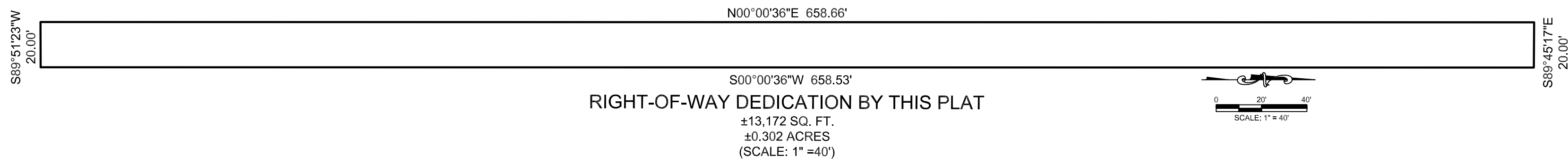
CLEAR CREEK TRANSIT VILLAGE

*** FINAL PLAT ***

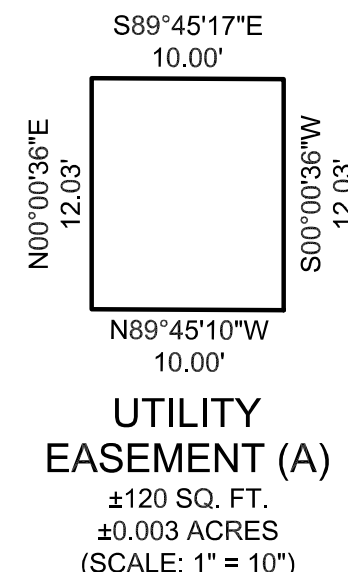
A PORTION OF THE WEST HALF (W 1/2) OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 15 OF 16

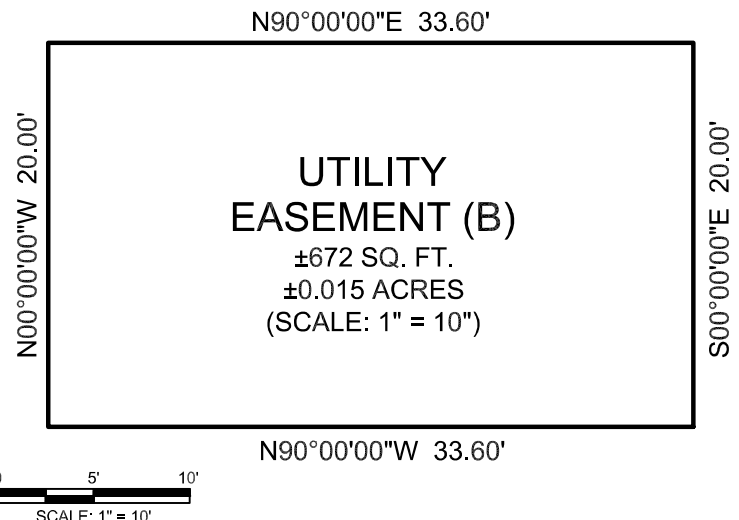
PRC2023-00011



TRACT D
±14,763 SQ. FT.
±0.339 ACRES
(SCALE: 1"=50')



UTILITY EASEMENT (A)
±120 SQ. FT.
±0.003 ACRES
(SCALE: 1" = 10')



UTILITY EASEMENT (B)
±672 SQ. FT.
±0.015 ACRES
(SCALE: 1" = 10')

TRACT & EASEMENT TABLE
(TRACTS/EASEMENTS SHOWN ON THIS SHEET.
SEE SHEET 6 FOR LAND USE TABLES)

TRACT	AREA (SQ.FT.)	AREA (ACRES)
TRACT B	8,541	0.196
TRACT D	14,763	0.339
TRACT I	36,451	0.837
DEDICATION	13,172	0.302

EASEMENTS	AREA (SQ.FT.)	AREA (ACRES)
ACCESS EASEMENT	701	0.016
UTILITY EASEMENT (A)	120	0.003
UTILITY EASEMENT (B)	672	0.015

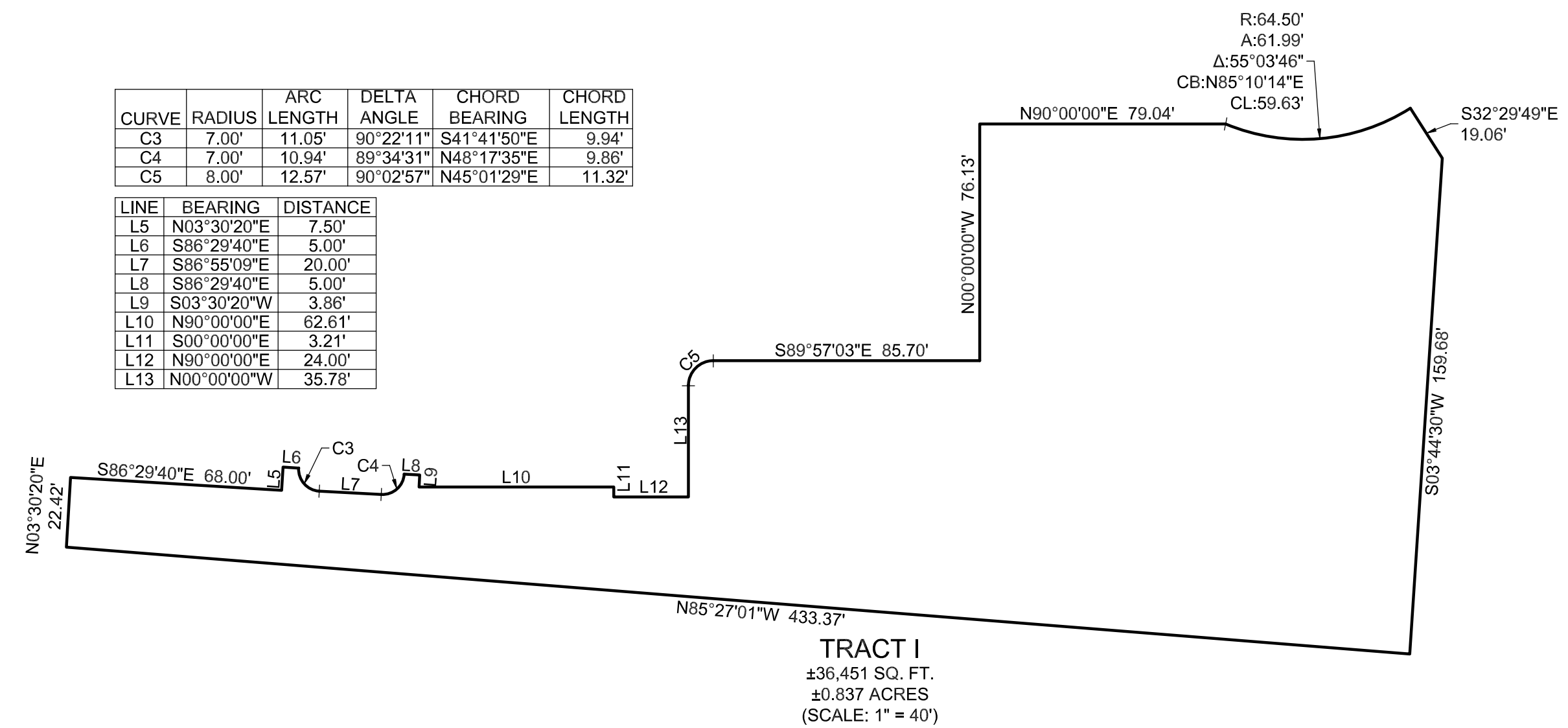
CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	7.00'	11.00'	90°00'00"	N41°29'40"W	9.90'
C2	7.00'	11.00'	90°00'00"	N48°30'20"E	9.90'

LINE	BEARING	DISTANCE
L1	N03°30'20"E	0.79'
L2	N86°29'40"W	13.00'
L3	N86°29'40"W	5.00'
L4	N03°30'20"E	8.01'

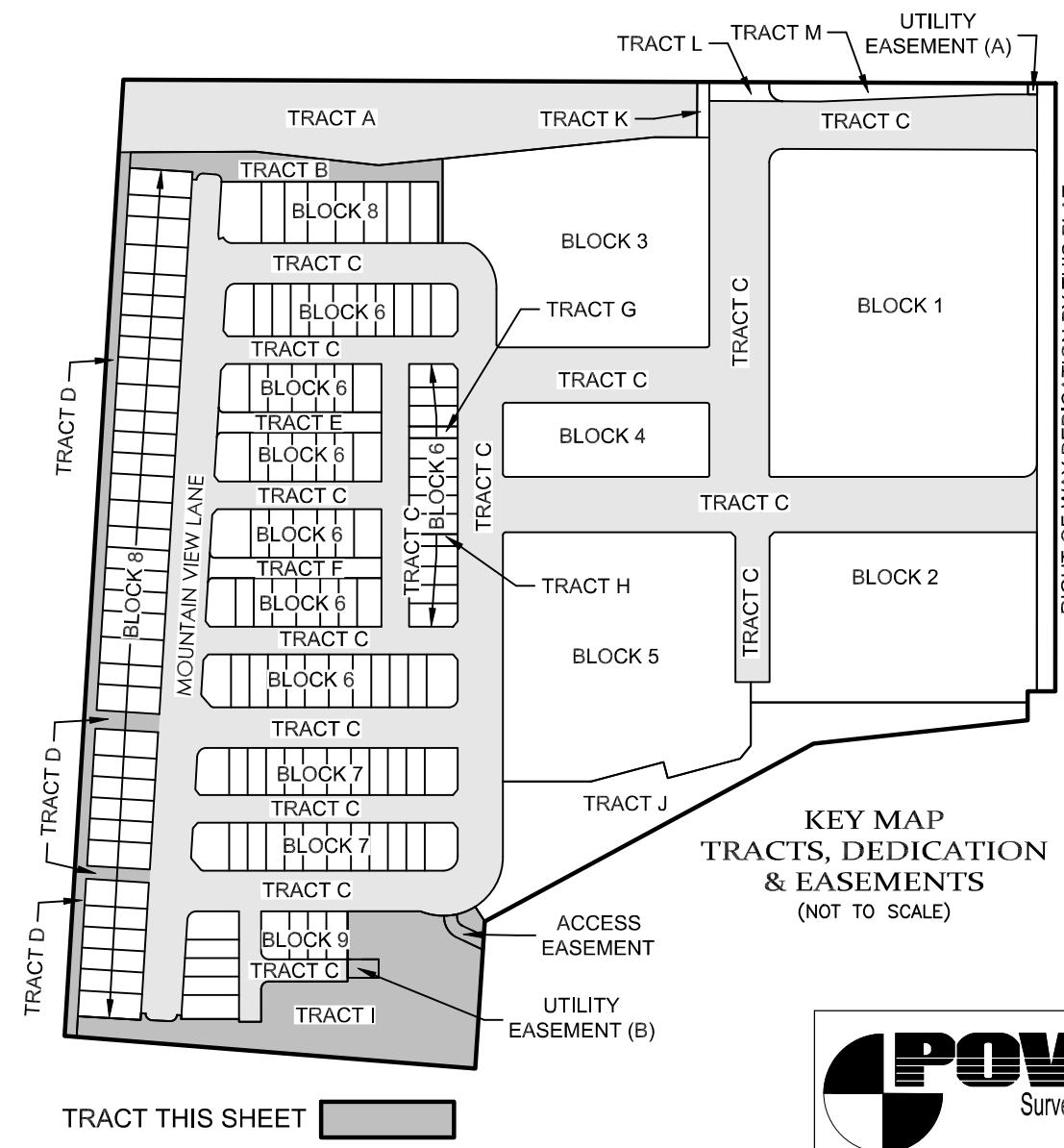
TRACT B
±8,541 SQ. FT.
±0.196 ACRES
(SCALE: 1" = 40')

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C3	7.00'	11.05'	90°22'11"	S41°41'50"E	9.94'
C4	7.00'	10.94'	89°34'31"	N48°17'35"E	9.86'
C5	8.00'	12.57'	90°02'57"	N45°01'29"E	11.32'

LINE	BEARING	DISTANCE
L5	N03°30'20"E	7.50'
L6	S86°29'40"E	5.00'
L7	S86°55'09"E	20.00'
L8	S86°29'40"E	5.00'
L9	S03°30'20"W	3.86'
L10	N90°00'00"E	62.61'
L11	S00°00'00"E	3.21'
L12	N90°00'00"E	24.00'
L13	N00°00'00"W	35.78'



TRACT I
±36,451 SQ. FT.
±0.837 ACRES
(SCALE: 1" = 40')



KEY MAP
TRACTS, DEDICATION & EASEMENTS
(NOT TO SCALE)

SCALE: 1" = 40'
40' 0 20' 40'
UNLESS NOTED OTHERWISE

TRACT DETAILS
FINAL PLAT

	TYPE OF SUBMITTAL:	FINAL PLAT
	PREPARATION DATE:	JANUARY 31, 2023
	REVISION DATE:	JULY 12, 2023
	REVISION DATE:	OCTOBER 24, 2023
JOB NO. 19-260	DWG: 19-260 FINAL.dwg	

Established 1988
6911 BROADWAY
DENVER, COLORADO 80221
PH: 303-750-9517
FAX: 303-750-1438
WWW.POWERSURVEYING.COM

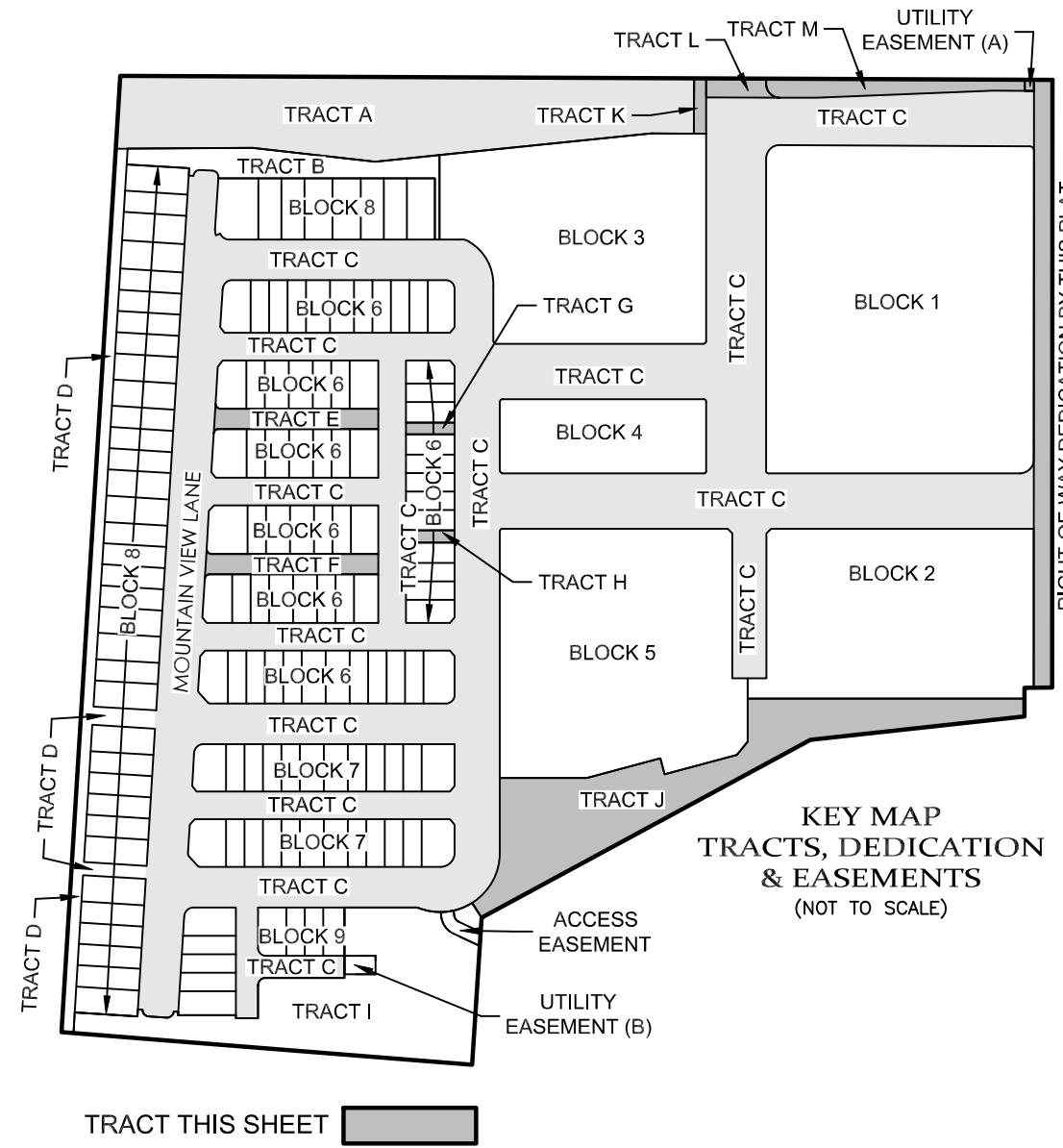
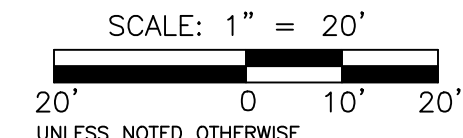
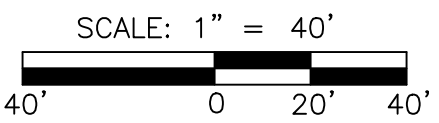
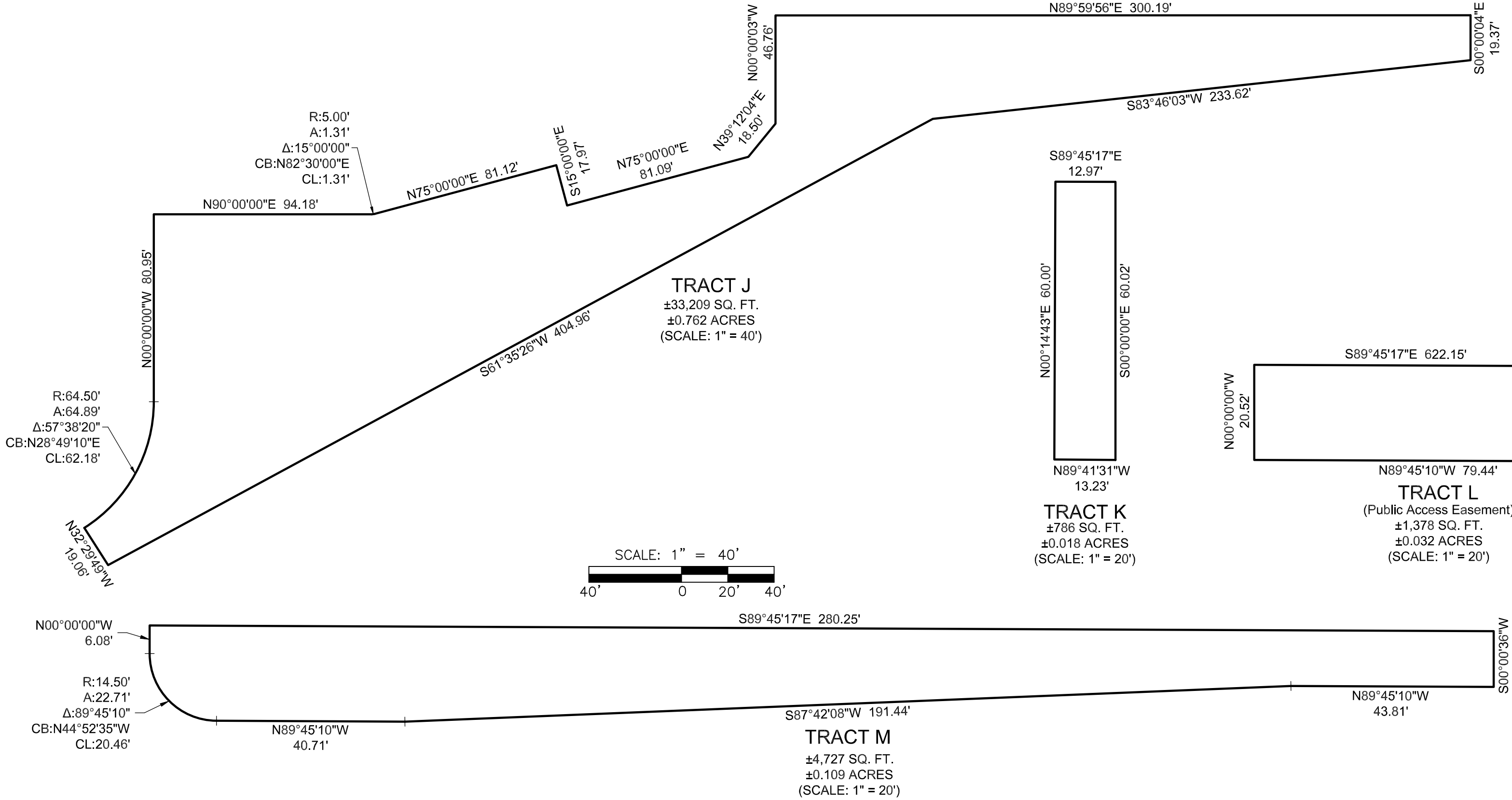
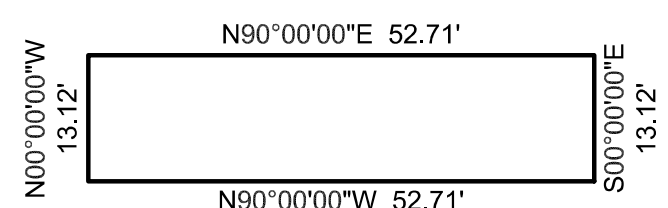
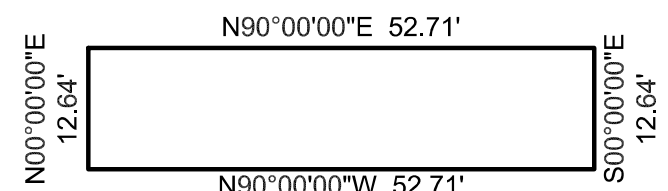
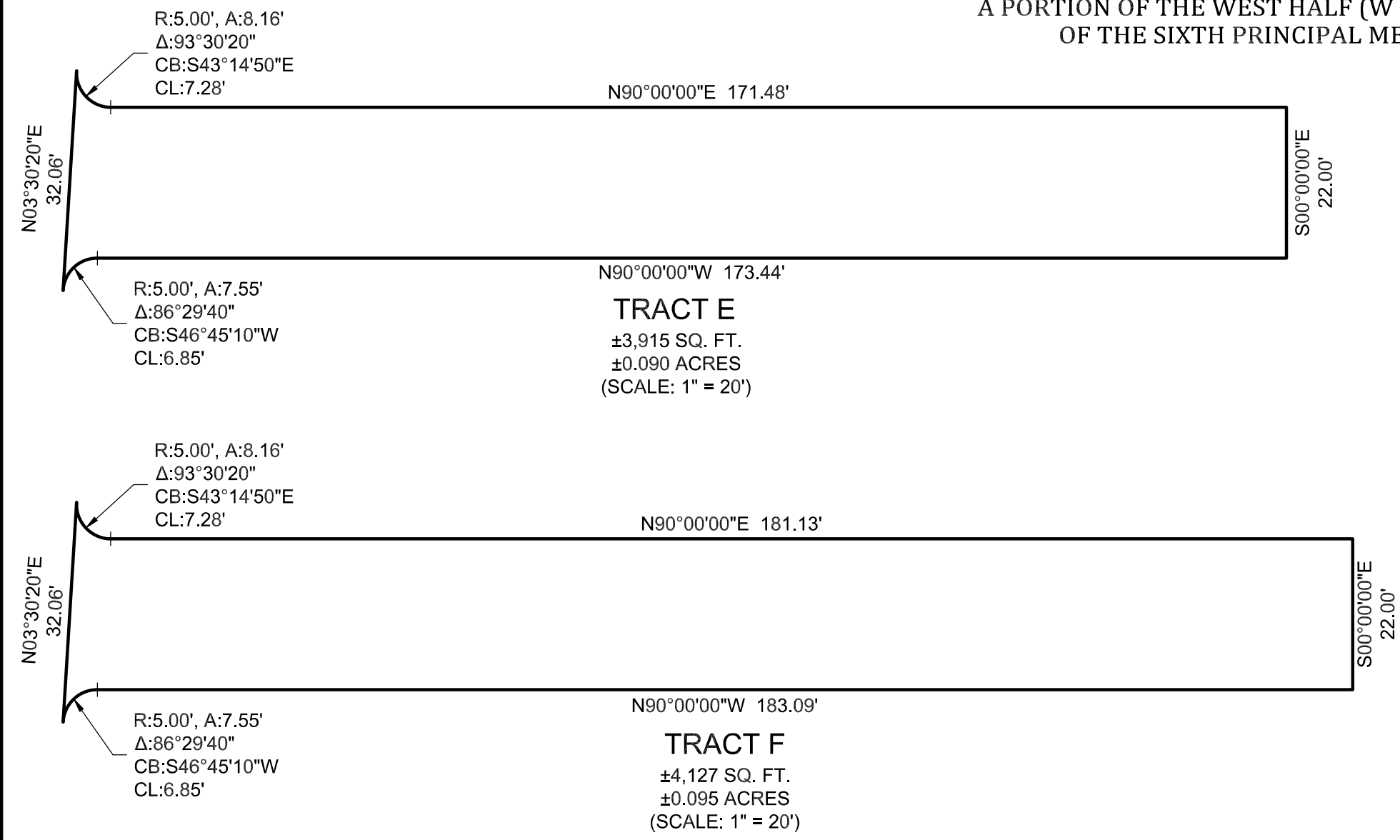
CLEAR CREEK TRANSIT VILLAGE

*** FINAL PLAT ***

A PORTION OF THE WEST HALF (W 1/2) OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 16 OF 16

PRC2023-00011



TRACT & EASEMENT TABLE

(TRACTS/EASEMENTS SHOWN ON THIS SHEET. SEE SHEET 6 FOR LAND USE TABLES)

TRACT	AREA (SQ.FT.)	AREA (ACRES)
TRACT E	3,915	0.090
TRACT F	4,127	0.095
TRACT G	666	0.015
TRACT H	692	0.016
TRACT J	33,209	0.762
TRACT K	786	0.018
TRACT L	1,378	0.032
TRACT M	4,727	0.109



TRACT DETAILS
FINAL PLAT

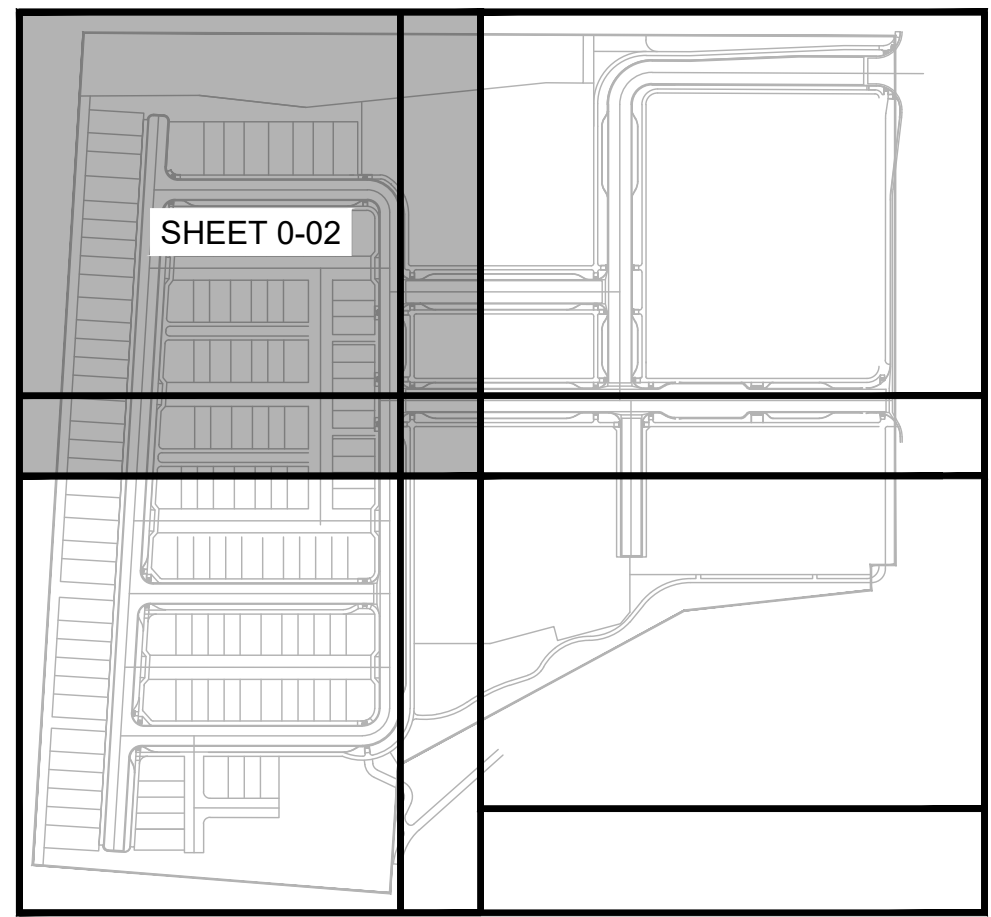
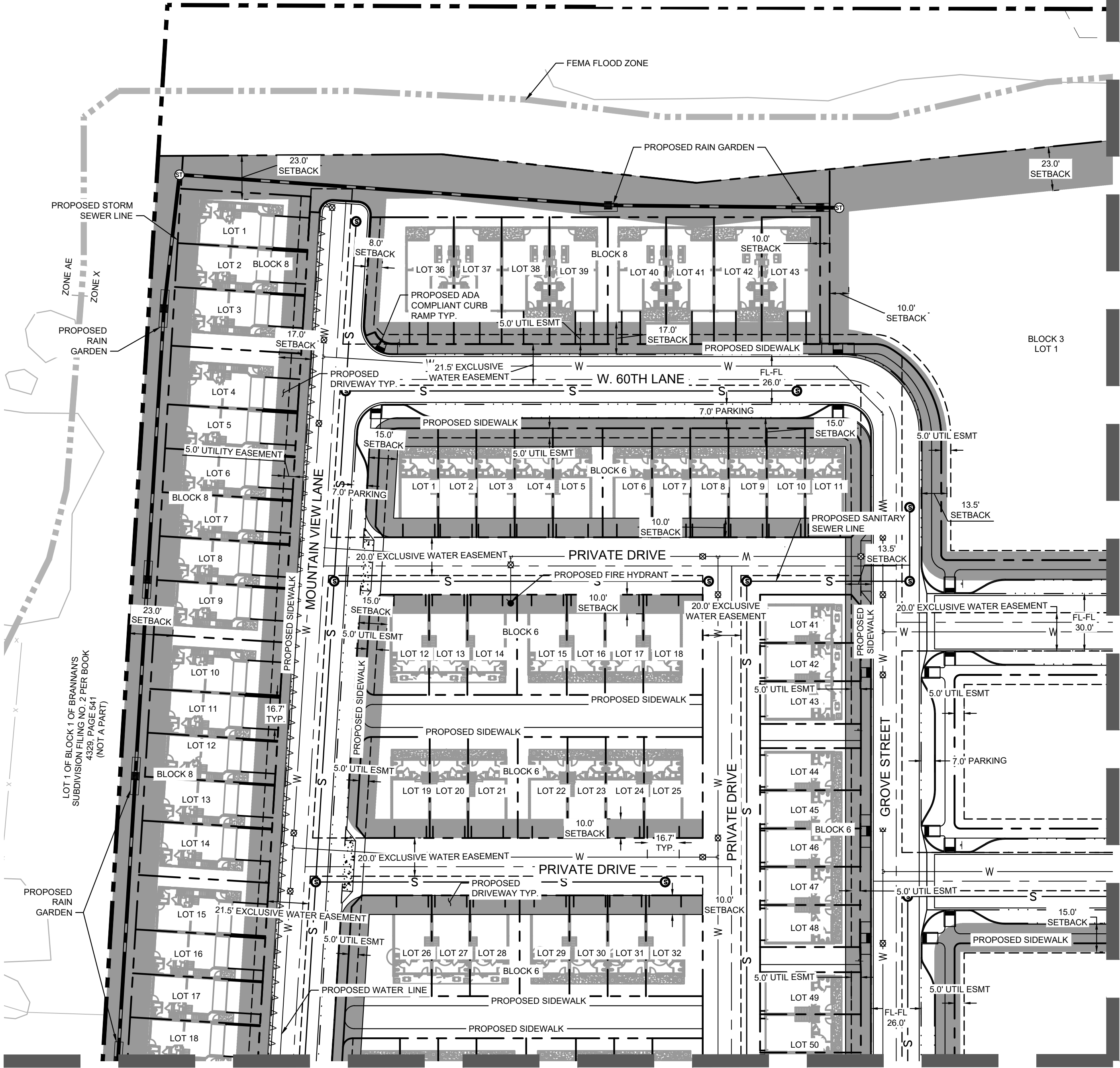


TYPE OF SUBMITTAL:	FINAL PLAT
PREPARATION DATE:	JANUARY 31, 2023
REVISION DATE:	JULY 12, 2023
REVISION DATE:	OCTOBER 24, 2023
REVISION DATE:	
JOB NO. 19-260	DWG: 19-260 FINAL.dwg

CLEAR CREEK TRANSIT VILLAGE

IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
 PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN

TRACT D OF ALOHA BEACH FILING NO. 1 PER BOOK 4534, PAGE 987 (NOT A PART)



LEGEND:

- PROPERTY LINE
- FEMA FLOOD LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- EXISTING SANITARY SEWER LINE
- EXISTING STORM WATER LINE
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING ELECTRIC LINE
- EXISTING FIBER OPTICS LINE
- PROPOSED PVC WATER LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED STORM WATER LINE
- PROPOSED AREA INLETS
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING LIGHT
- PROPOSED SANITARY MANHOLE
- PROPOSED WATER METER
- PROPOSED STORM MANHOLE
- PROPOSED WATER VALVE
- EXISTING TREE TO REMAIN
- PROPOSED SETBACK

NORRIS DESIGN
 PEOPLE • PLACEMAKING
 1101 BANNOCK STREET
 DENVER, CO 80204
 P 303.892.1166
 NORRIS-DESIGN.COM

CLEAR CREEK TRANSIT VILLAGE
 FINAL DEVELOPMENT PLAN
 IN THE COUNTY OF ADAMS, STATE OF COLORADO
SITE PLAN - NORTHWEST

OWNER:
 CLEAR CREEK VILLAGE, LLC
 THISTLE CREEK OOF I, L.P.
 14034 SOUTH 149th EAST
 DRAPER, UT 84020

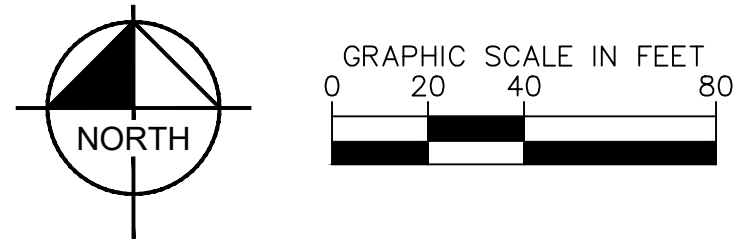
Kimley»Horn

NOT FOR CONSTRUCTION

DATE:
 10/19/2023

SHEET TITLE:

0-02

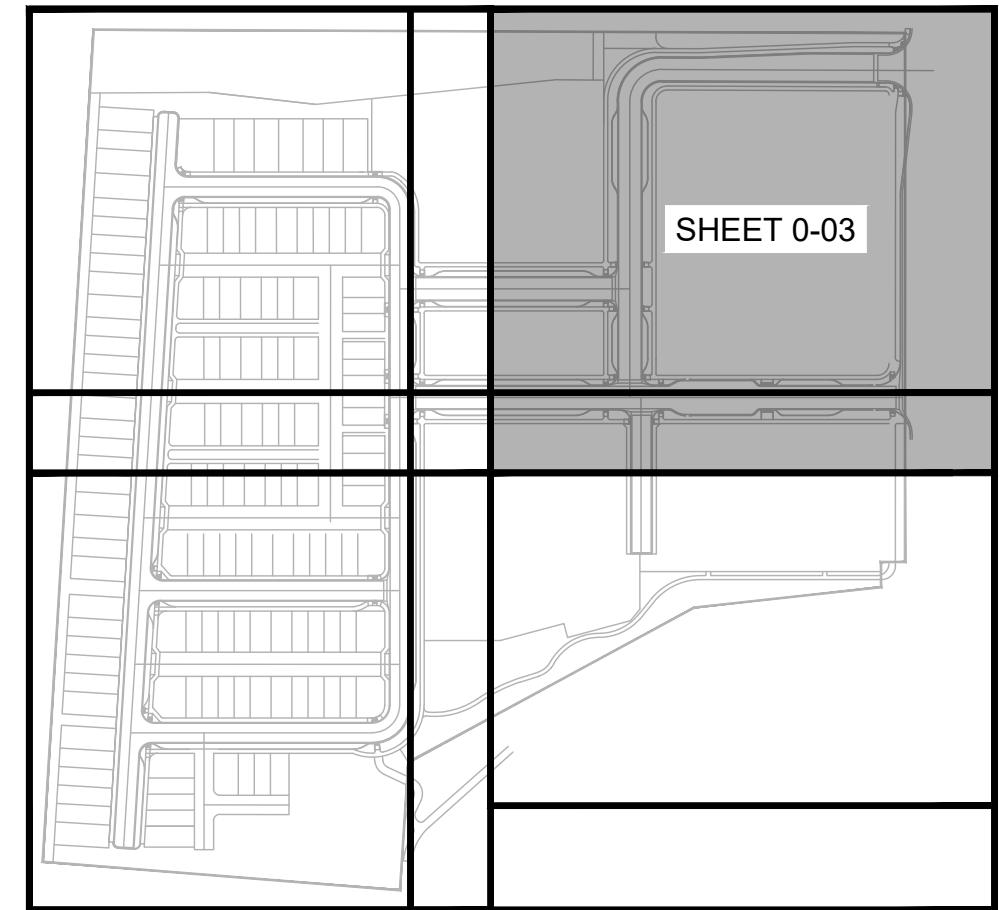


SEE SHEET 0-04

SEE SHEET 0-03

CLEAR CREEK TRANSIT VILLAGE

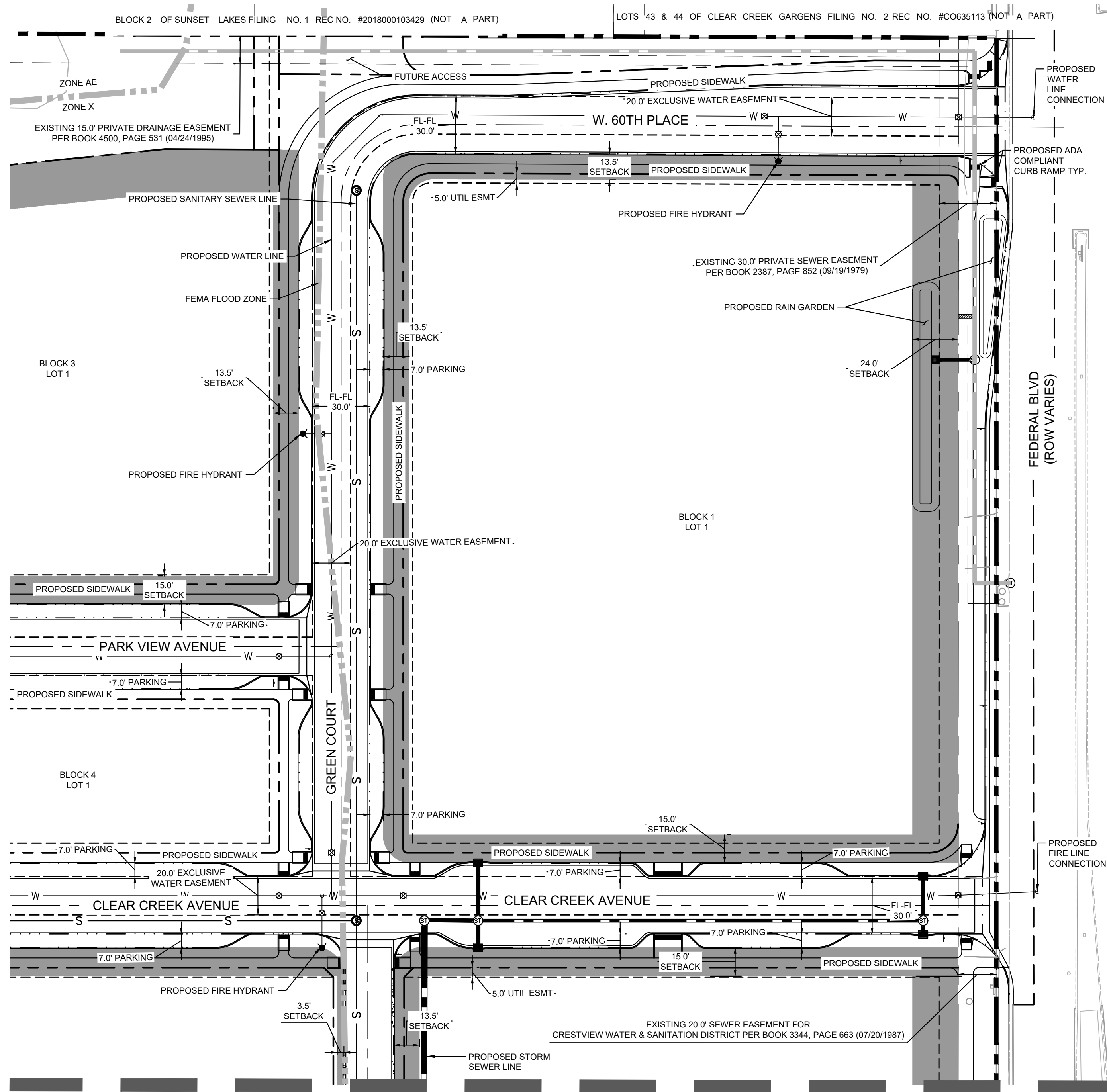
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
 PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN



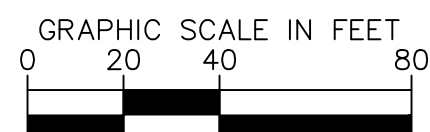
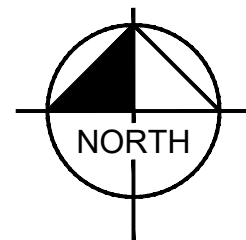
KEYMAP
N.T.S.

LEGEND:

	PROPERTY LINE
	FEMA FLOOD LINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	EXISTING SANITARY SEWER LINE
	EXISTING STORM WATER LINE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING ELECTRIC LINE
	EXISTING FIBER OPTICS LINE
	PROPOSED PVC WATER LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED STORM WATER LINE
	PROPOSED AREA INLETS
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT
	EXISTING LIGHT
	PROPOSED SANITARY MANHOLE
	PROPOSED WATER METER
	PROPOSED STORM MANHOLE
	PROPOSED WATER VALVE
	EXISTING TREE TO REMAIN
	PROPOSED SETBACK



SEE SHEET 0-05



NORRIS DESIGN
 PEOPLE • PLACEMAKING
 1101 BANNOCK STREET
 DENVER, CO 80204
 P. 303.892.1166
 NORRIS-DESIGN.COM

CLEAR CREEK TRANSIT VILLAGE
 FINAL DEVELOPMENT PLAN
 IN THE COUNTY OF ADAMS, STATE OF COLORADO
SITE PLAN - NORTHEAST

OWNER:
 CLEAR CREEK VILLAGE, LLC
 THISTLE CREEK OOF I, L.P.
 14034 SOUTH 149th EAST
 DRAPER, UT 84020

Kimley»Horn

NOT FOR CONSTRUCTION

DATE:
 10/19/2023

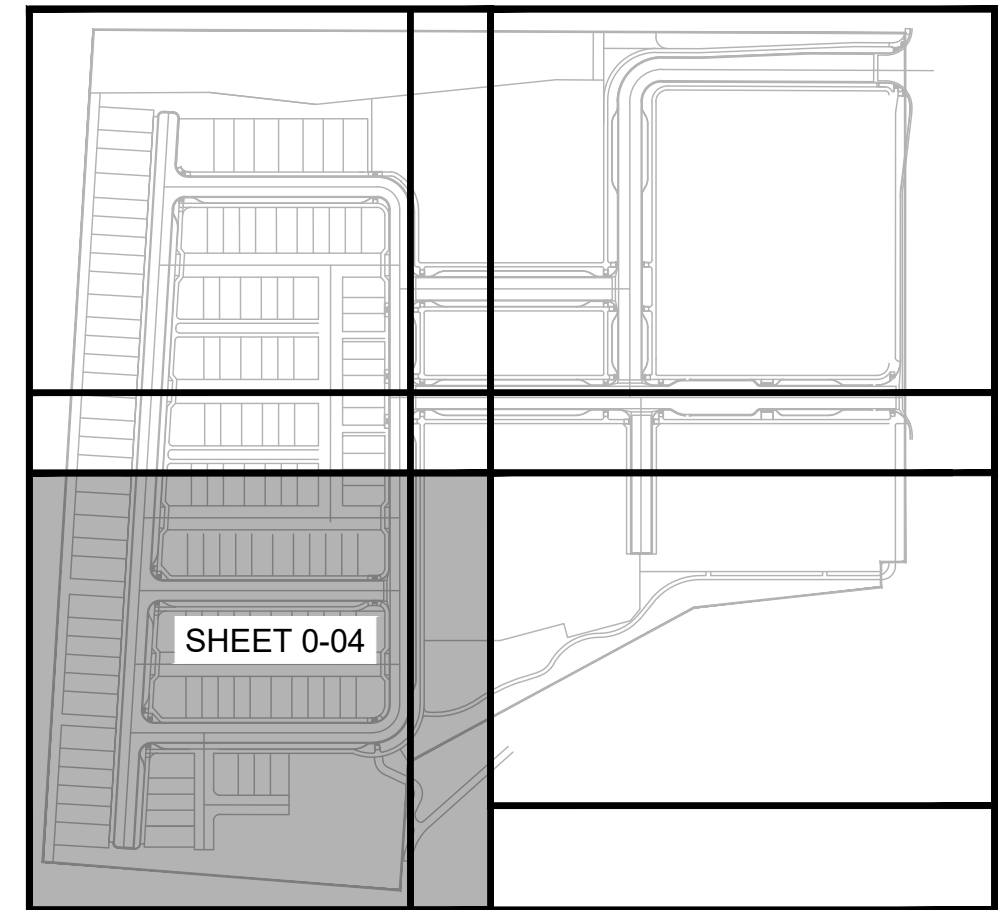
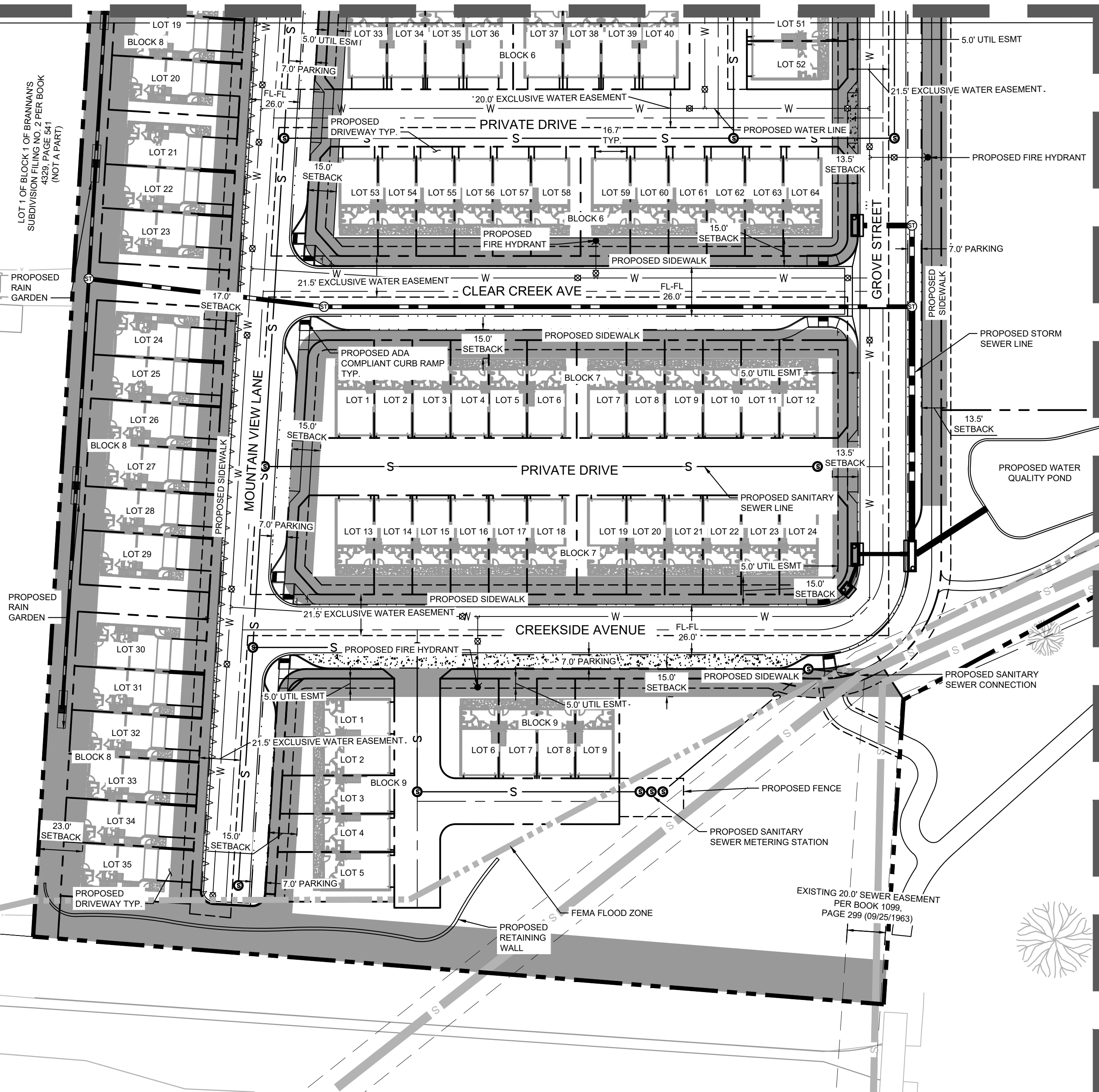
SHEET TITLE:

0-03

CLEAR CREEK TRANSIT VILLAGE

IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
 PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN

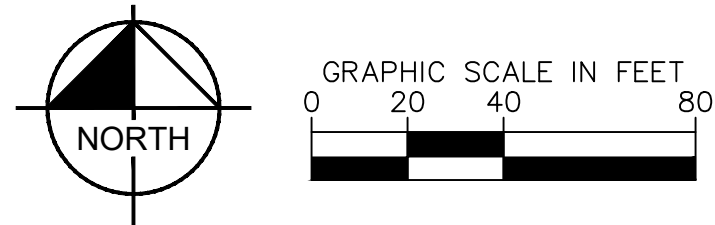
SEE SHEET 0-02



LEGEND:

- PROPERTY LINE
- FEMA FLOOD LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- EXISTING SANITARY SEWER LINE
- EXISTING STORM WATER LINE
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING ELECTRIC LINE
- EXISTING FIBER OPTICS LINE
- PROPOSED PVC WATER LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED STORM WATER LINE
- PROPOSED AREA INLETS
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING LIGHT
- PROPOSED SANITARY MANHOLE
- PROPOSED WATER METER
- PROPOSED STORM MANHOLE
- PROPOSED WATER VALVE
- EXISTING TREE TO REMAIN
- PROPOSED SETBACK

SEE SHEET 0-05



NORRIS DESIGN
 PEOPLE • PLACEMAKING
 1101 BANNOCK STREET
 DENVER, CO 80204
 P. 303.892.1166
 NORRIS-DESIGN.COM

CLEAR CREEK TRANSIT VILLAGE
 FINAL DEVELOPMENT PLAN
 IN THE COUNTY OF ADAMS, STATE OF COLORADO
 SITE PLAN - SOUTHWEST

OWNER:
 CLEAR CREEK VILLAGE, LLC
 THISTLE CREEK OOF I, L.P.
 14034 SOUTH 149th EAST
 DRAPER, UT 84020

Kimley»Horn

NOT FOR CONSTRUCTION

DATE:
 10/19/2023

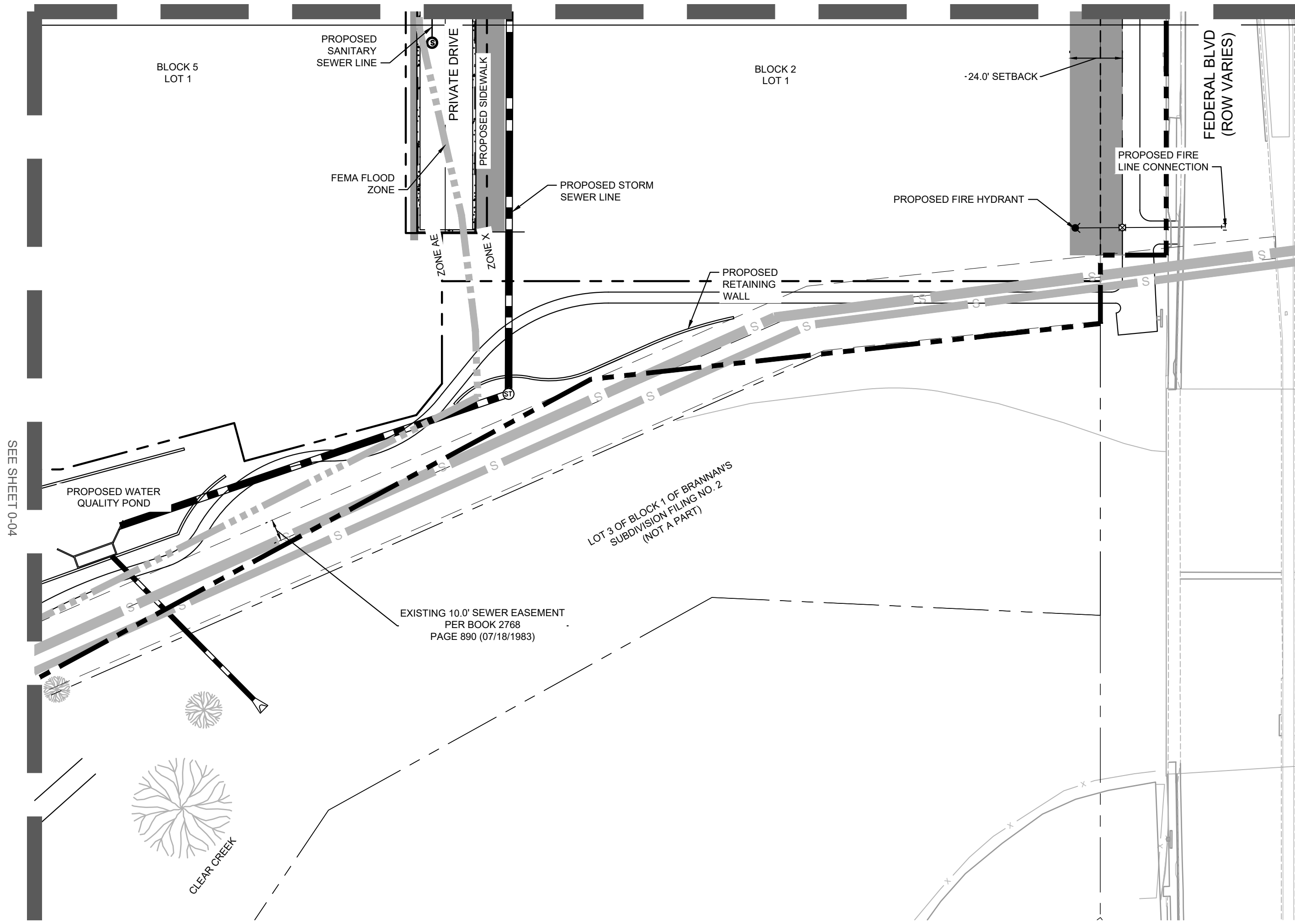
SHEET TITLE:

0-04

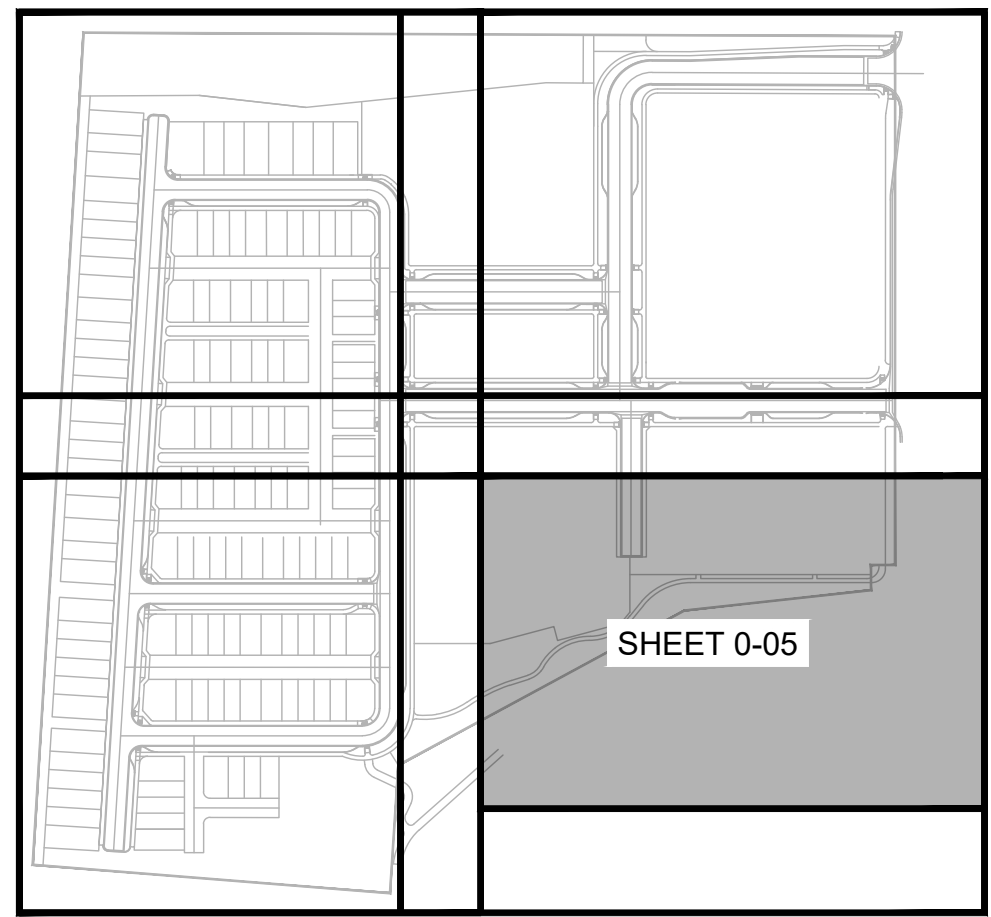
CLEAR CREEK TRANSIT VILLAGE

IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
 PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN

SEE SHEET 0-03

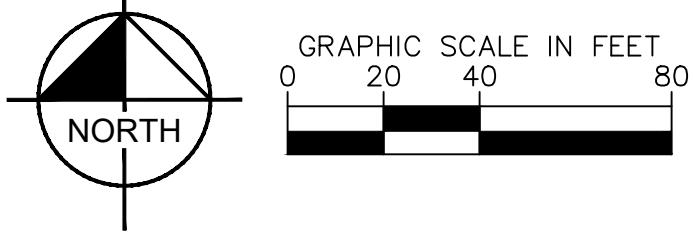


SEE SHEET 0-04



LEGEND:

- PROPERTY LINE
- FEMA FLOOD LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- EXISTING SANITARY SEWER LINE
- EXISTING STORM WATER LINE
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING ELECTRIC LINE
- EXISTING FIBER OPTICS LINE
- PROPOSED PVC WATER LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED STORM WATER LINE
- PROPOSED AREA INLETS
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING LIGHT
- PROPOSED SANITARY MANHOLE
- PROPOSED WATER METER
- PROPOSED STORM MANHOLE
- PROPOSED WATER VALVE
- EXISTING TREE TO REMAIN
- PROPOSED SETBACK



NORRIS DESIGN
 PEOPLE • PLACEMAKING
 1101 BANNOCK STREET
 DENVER, CO 80204
 P.303.892.1166
 NORRIS-DESIGN.COM

CLEAR CREEK TRANSIT VILLAGE
 FINAL DEVELOPMENT PLAN
 IN THE COUNTY OF ADAMS, STATE OF COLORADO
 SITE PLAN - SOUTHEAST

OWNER:
 CLEAR CREEK VILLAGE, LLC
 THISTLE CREEK OOF I, L.P.
 14034 SOUTH 149th EAST
 DRAPER, UT 84020

Kimley»Horn

NOT FOR CONSTRUCTION

DATE:
 10/19/2023

SHEET TITLE:

0-05



PROPERTY LINE, TYP.

LAKE SANGRACO

LANDSCAPE EASEMENT / BUFFER ZONE

WEST 60TH PLACE

6' FENCE AND LANDSCAPE BUFFER

ANTICIPATED PEDESTRIAN CROSSING TO EAST SIDE OF FEDERAL BLVD SIGNALIZED INTERSECTION

PA-8

PA-8

RESIDENTIAL AMENITY AREA

PA-3 PROPOSED MULTIFAMILY

PA-1 PROPOSED MULTIFAMILY

RESIDENTIAL AMENITY AREA

WEST 60TH LANE

GREEN COURT

PARK VIEW AVENUE

GARDEN COURTYARD

PA-4

VILLAGE GREEN COMMUNITY PARK

ACTIVATED STREETSCAPE ALONG CLEAR CREEK AVENUE AND FEDERAL BLVD

PA-6

CLEAR CREEK AVENUE

GARDEN COURTYARD

PA-5 PROPOSED MULTIFAMILY

PA-2 PROPOSED MULTIFAMILY

FEDERAL BLVD

PA-8

CLEAR CREEK AVENUE

RESIDENTIAL AMENITY AREA

CLEAR CREEK TRAIL ACCESS

PA-7

GATHERING NODE / SEATING AREA
SECONDARY PATH FOR RESIDENTIAL ACCESS
EXISTING CLEAR CREEK TRAIL

TO COLORADO FRONT RANGE TRAIL, SAND CREEK TRAIL, PLATTE RIVER TRAIL AND DOWNTOWN DENVER

CREEKSIDE AVENUE

CLEAR CREEK

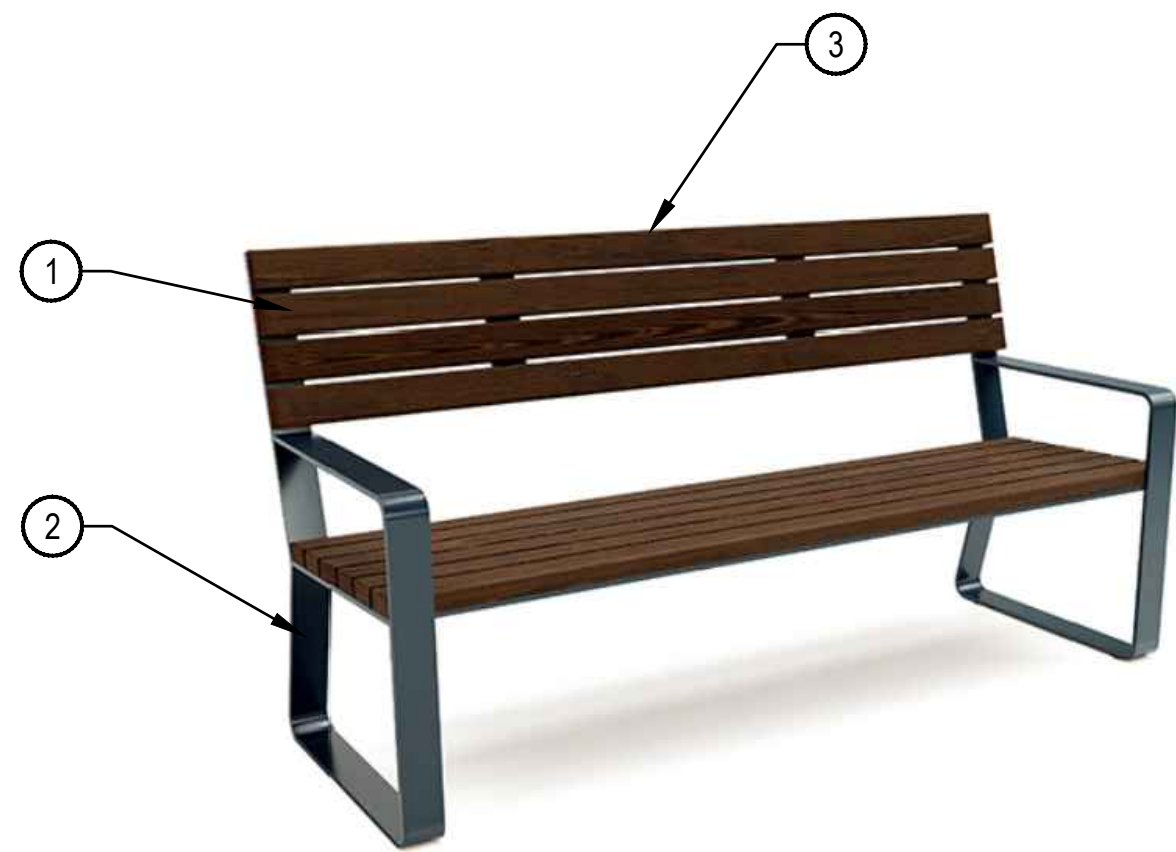
PA-9

GATHERING NODE
COMMUNITY GARDEN
CLEAR CREEK TRAIL CONNECTION TO GOLDEN

THIS PLAN IS CONCEPTUAL AND SUBJECT TO CHANGE AS DESIGN AND PLANNING ARE FURTHER DEVELOPED.

CLEAR CREEK TRANSIT VILLAGE
 AT CLEAR CREEK
 IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
 PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:
 PRC2023-00011



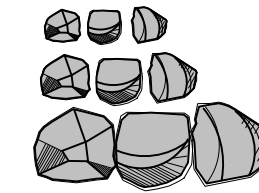
- ① WOOD OR METAL BENCH SLATS
- ② METAL FRAME WITH POWDERCOAT FINISH
- ③ SIZE: APPROX. 6' LENGTH, 3' HEIGHT, 2' WIDTH



NOTES:

1. BUFF SANDSTONE BOULDERS FROM ON-SITE OR NEARBY QUARRY, BOULDER SHOULD BE SIMILAR TO ROCK FOUND THROUGHOUT SITE
2. REFER TO PLANS FOR LOCATIONS.
3. BOULDERS SHALL MEET OR EXCEED SIZE REQUIREMENTS

BOULDER SIZES	
ITEM	APPROX. SIZE
'A' SIZED BOULDER	24 - 30" DIAMETER X 18" MIN. HT.
'B' SIZED BOULDER	30 - 48" DIAMETER X 24" MIN. HT.
'C' SIZED BOULDER	48 - 60" DIAMETER X 24" MIN. HT.

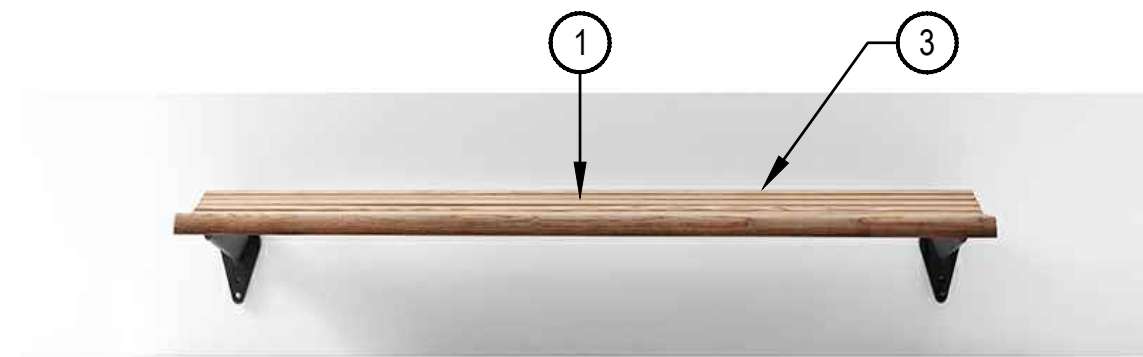


1 BACKED BENCH

SCALE: N.T.S.

2 LANDSCAPE BOULDER

SCALE: N.T.S.



- ① WOOD OR METAL BENCH SLATS
- ② METAL FRAME WITH POWDERCOAT FINISH
- ③ SIZE: APPROX. 6' LENGTH, 2' HEIGHT, 2' WIDTH

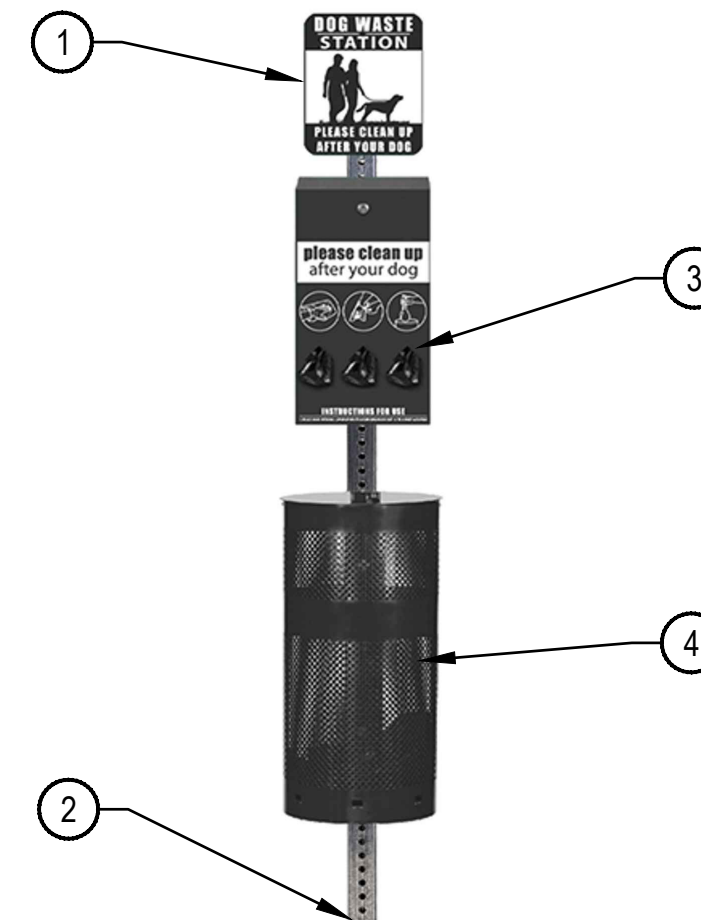


NOTES:

1. WALL MOUNT PER MANUFACTURER SPECIFICATIONS.
2. REFER TO LANDSCAPE PLAN FOR FINAL LAYOUT.

3 WALL MOUNTED BENCH

SCALE: 1/2" = 1'-0"



- ① PET WASTE STATION
- ② FINISHED GRADE, SEE PLAN FOR LANDSCAPE CONDITION
- ③ TRASH BAG DISPENSER
- ④ PET WASTE RECEPTACLE

NOTES:

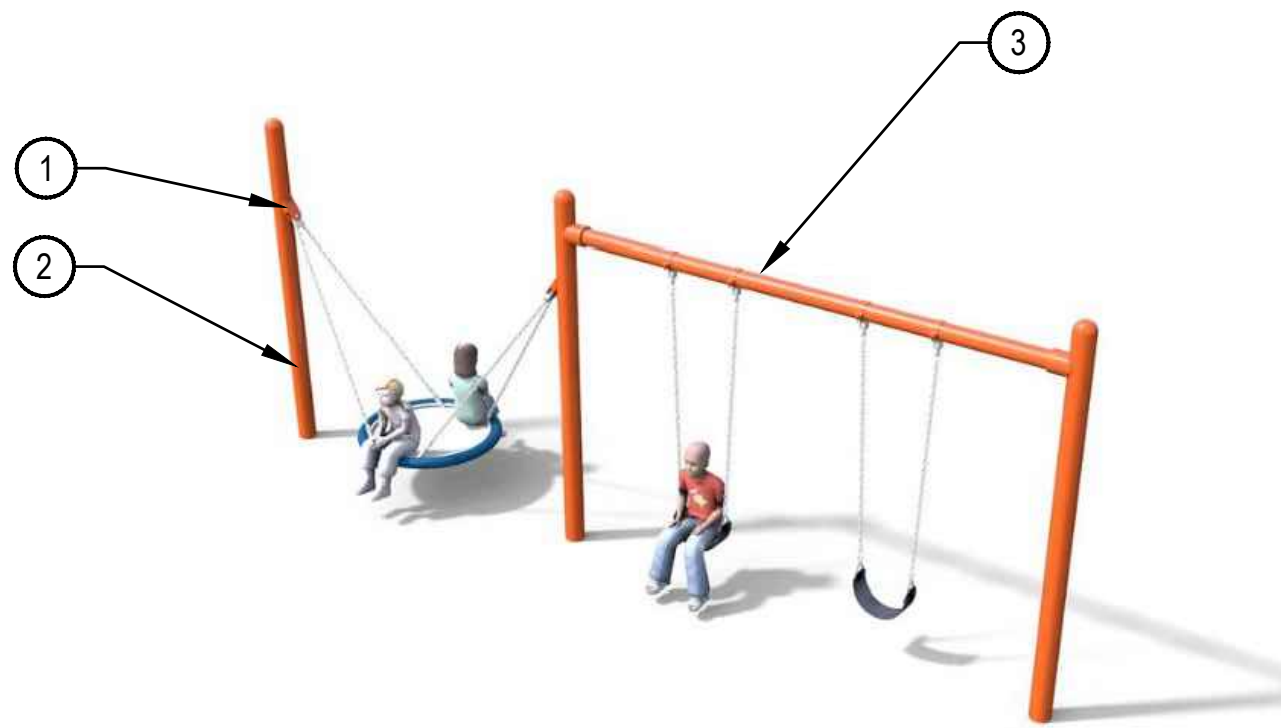
1. REFER TO LANDSCAPE PLAN FOR CRUSHER FINES PAD AND PET STATION LOCATION.
2. REFER TO LANDSCAPE PLAN FOR ADJACENT LANDSCAPE CONNECTIONS.
3. INSTALL WITHIN 18" OF CONCRETE WALK AND WITHIN ADA REACH RANGE.

4 PET WASTE STATION

SCALE: N.T.S.

CLEAR CREEK TRANSIT VILLAGE
 AT CLEAR CREEK
 IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
 PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:
 PRC2023-00011



- ① STEEL TUBE STRUCTURE PER MANUFACTURER
- ② STANDARD POWDER COAT FINISH TO MATCH PLAYGROUND COLORS
- ③ SIZE: APPROX. 22' WIDE

NOTES:

- 1. DETAIL FOR REFERENCE ONLY.
- 2. ALL PRODUCT FEATURES SHALL BE BUILT AND INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS.
- 3. WHERE REQUIRED, THE NO-ENCROACHMENT ZONE SHALL BE AN OBSTACLE-FREE ZONE THAT MEETS THE REQUIREMENTS OF THE PROTECTIVE SURFACING ZONE. SEE APPLICABLE STANDARD FOR MORE INFORMATION.

1 PLAYGROUND SWINGS

SCALE: NTS



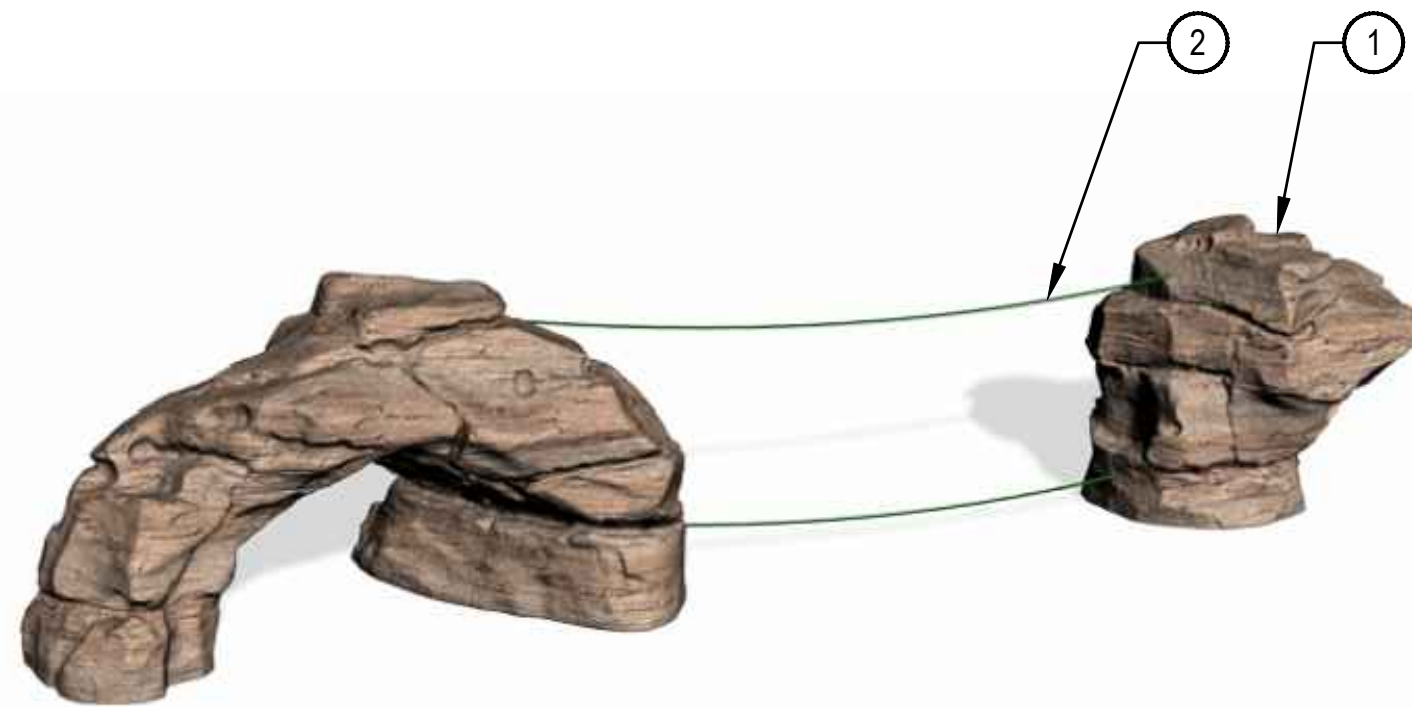
- ① NATURE INSPIRED CLIMBING STRUCTURE, MAX. 10' HT., OR SIMILAR FEATURE

NOTES:

- 1. DETAIL FOR REFERENCE ONLY.
- 2. THE AMERICANS WITH DISABILITIES ACT (ADA) MAY REQUIRE THE PLAY AREA TO BE ACCESSIBLE. CONSULT WITH AN ADA PROFESSIONAL TO ENSURE COMPLIANCE.
- 3. MIN 6' USE ZONE (TO BE VERIFIED BY INSTALLER)

2 CLIMBING ARCH

SCALE: NTS



- ① NATURE INSPIRED CLIMBING STRUCTURE, MAX 7' HT., OR SIMILAR FEATURE
- ② ROPE CLIMBING FEATURE OR SIMILAR

NOTES:

- 1. DETAIL FOR REFERENCE ONLY.
- 2. THE AMERICANS WITH DISABILITIES ACT (ADA) MAY REQUIRE THE PLAY AREA TO BE ACCESSIBLE. CONSULT WITH AN ADA PROFESSIONAL TO ENSURE COMPLIANCE.
- 3. MIN 6' USE ZONE (TO BE VERIFIED BY INSTALLER)

3 CLIMBING AND ROPE FEATURE

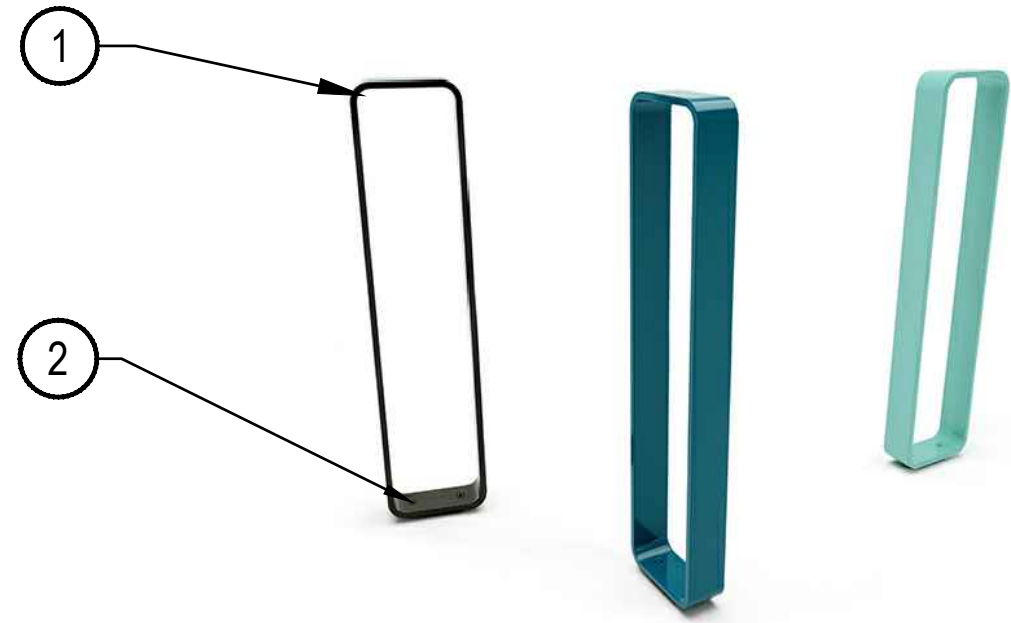
SCALE: NTS

4

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:
PRC2023-00011

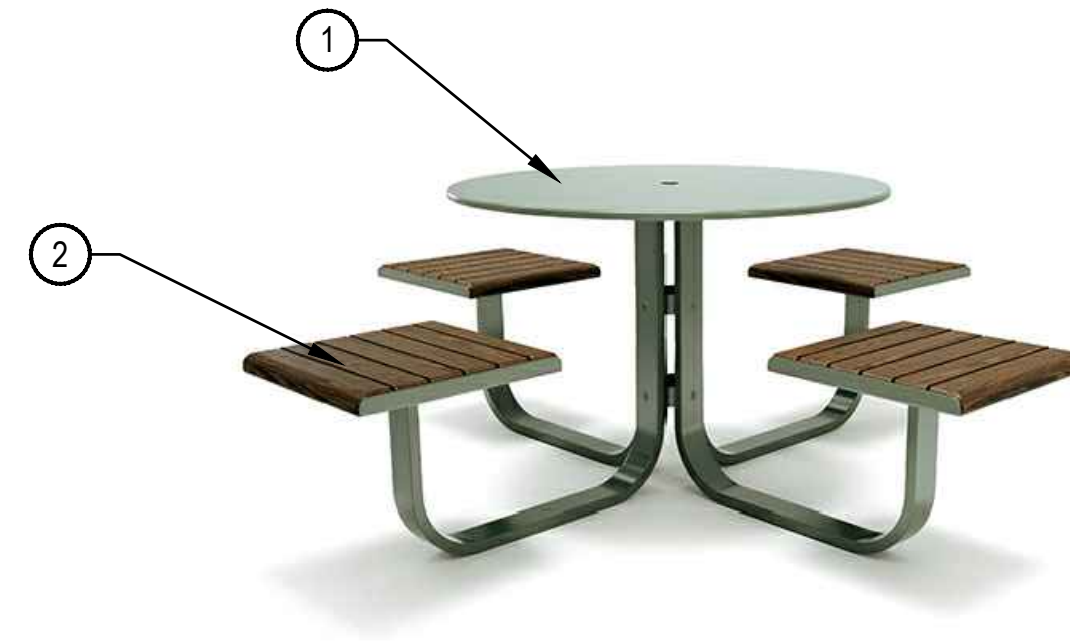


- ① POWDERCOATED STEEL BIKE RACK, APPROX. 3' HEIGHT
- ② SURFACE MOUNT PER MANUFACTURER

NOTES:
1. SURFACE MOUNT PER MANUFACTURER SPECIFICATIONS
2. REFER TO LANDSCAPE PLAN FOR FINAL LAYOUT

① BIKE RACK

SCALE: NTS



- ① APPROX. 77" DIA. TABLE TOP, 29.3" HEIGHT
- ② BACKLESS SEAT WITH WOOD OR METAL SLATS, APPROX. 18" HEIGHT

NOTES:
1. SURFACE MOUNT PER MANUFACTURER'S SPECIFICATIONS
2. 4 SEAT AND 3 SEAT ADA OPTIONS, REFER TO LANDSCAPE PLAN FOR LOCATIONS OF EACH TYPE.

② PARK TABLE

SCALE: NTS

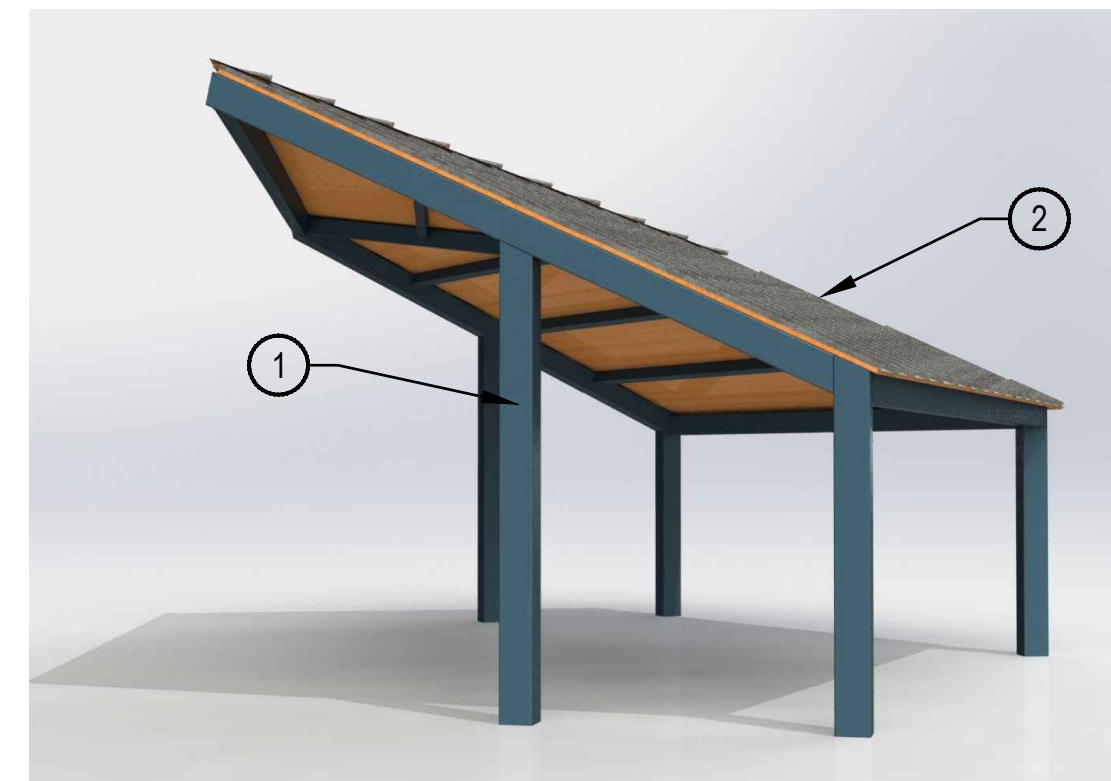


- ① SPLIT STREAM TRASH AND RECYCLE UNIT, METAL WITH POWDERCOAT FINISH
- ② SIZE: APPROX. 3' 6" HEIGHT, 2'-3" WIDTH, 15" DEPTH

NOTES:
1. SURFACE MOUNT PER MANUFACTURER SPECIFICATIONS.
2. REFER TO LANDSCAPE PLAN FOR FINAL LAYOUT.

③ TRASH AND RECYCLE BIN

SCALE: NTS



- ① METAL FRAME WITH POWDERCOAT FINISH
- ② ROOF TO MATCH ARCHITECTURAL STYLE, POWDERCOAT METAL SEAM OR SHINGLE.
- ③ SIZE: APPROX. 26' LENGTH, 16' HEIGHT, 36' WIDTH

NOTES:
1. STEEL STRUCTURE SHALL BE STRUCTURALLY ENGINEERED PER SHELTER MANUFACTURER.
2. FOOTING DESIGN AND DEPTH SHALL BE STRUCTURALLY ENGINEERED PER SHELTER MANUFACTURER.

④ PARK SHELTER

SCALE: NTS

CLEAR CREEK TRANSIT VILLAGE
 AT CLEAR CREEK
 IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
 PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:
 PRC2023-00011

NORRIS DESIGN
 PEOPLE + PLACE MAKING
 1101 BANNOCK STREET
 DENVER, CO 80204
 P 303.892.1166

NORRIS-DESIGN.COM



- ① STEEL TUBE FENCE POST WITH CAP - SET IN CONCRETE FOOTER, REFER TO FENCE SPECIFICATIONS FOR FOOTER INFORMATION
- ② SIZE: APPROX. 6' HEIGHT

NOTES:
 1. CONCRETE FOOTING TO FROST DEPTH. FOOTING SPECIFICATION, DIMENSION, COMPACTION AND DRAINAGE PER FENCE MANUFACTURER.
 2. FENCING SHALL BE RACKED ALONG SLOPES.



- NOTES:
- 1. RAILS SHALL FACE EXTERIOR OF FENCE ENCLOSURE.
 - 2. FASTEN RAILS WITH GALVANIZED SCREWS, SET FLUSH.
 - 3. WOOD MAY BE ARCHITECT KNOTTY OR BETTER WESTERN RED CEDAR, STANDARD ROUGH SAWN, AND KILN-DRIED OR APPROVED ALTERNATIVE

① PERIMETER FENCE

SCALE: N.T.S.

② 3-RAIL FENCE

SCALE: 1/2" = 1'-0"

CLEAR CREEK TRANSIT VILLAGE
 FINAL DEVELOPMENT PLAN
 IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
 OWNERS NAME
 CLEAR CREEK VILLAGE, LLC
 THISTLE CREEK OOF I, L.P.
 14034 SOUTH 140th EAST
 DRAPER, UT 84020

NOT FOR
 CONSTRUCTION

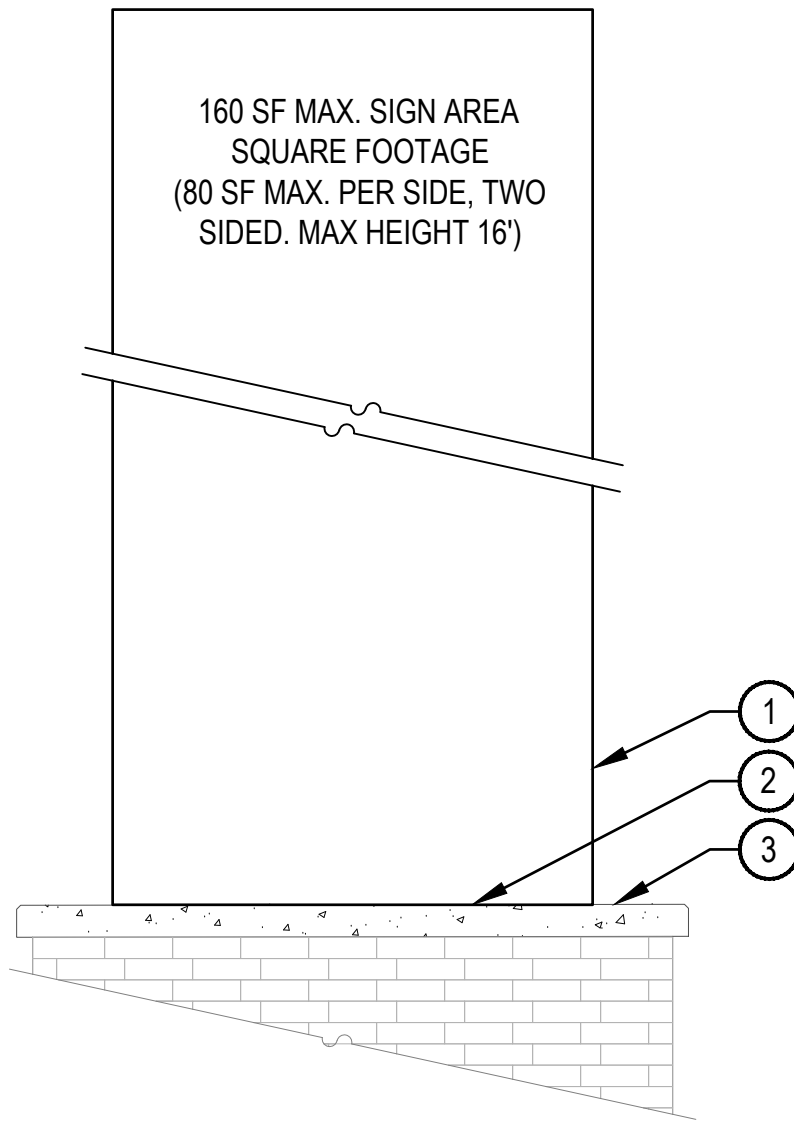
DATE:
 FDP-01: 03/16/2023
 FDP-02: 07/07/2023
 FDP-03: 10/23/2023

DRAFT

SHEET TITLE:
 CONCEPTUAL
 DETAILS

CLEAR CREEK TRANSIT VILLAGE
 AT CLEAR CREEK
 IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
 PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:
 PRC2023-00011



- ① PROJECT IDENTITY SIGN
- ② SIGN STRUCTURE AND FOOTING, SEE NOTES
- ③ MONUMENT PEDESTAL, SEE DETAIL
- ④ SIZE: APPROX 5' WIDTH, 16' HEIGHT

NOTES:

1. FINAL PROJECT IDENTITY SIGN SHALL BE DEVELOPED PER SIGN MANUFACTURER SHOP DRAWINGS, TO MEET THE PDP REQUIREMENTS;
 - 1.1. TO DISPLAY PROJECT AND TENANT LOGOS/SIGNAGE, DIRECTIONAL INFORMATION, OR GENERAL SEASONAL/EVENT RELATED INFORMATION
 - 1.2. MATERIALS TO BE STONE AND/OR CONCRETE WITH METAL ACCENT.
2. PROJECT IDENTITY SIGN STRUCTURE, FOOTING, AND LIGHTING PER SIGN MANUFACTURER ENGINEERED SHOP DRAWINGS.
3. LETTERING, FONT, AND TEXT TO BE REVIEWED AND APPROVED BY OWNERSHIP REPRESENTATIVE WITH SIGN MANUFACTURER.

1 COMMUNITY IDENTITY SIGNAGE

SCALE: N.T.S.

2

3

CLEAR CREEK TRANSIT VILLAGE
 FINAL DEVELOPMENT PLAN
 IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
 OWNERS NAME

CLEAR CREEK VILLAGE, LLC
 THISTLE CREEK QOF I, L.P.
 14334 SOUTH 143RD EAST
 DRAPER, UT 84020

NOT FOR
 CONSTRUCTION

DATE:
 FDP-01: 03/16/2023
 FDP-02: 07/07/2023
 FDP-03: 10/23/2023

DRAFT

SHEET TITLE:
 CONCEPTUAL
 DETAILS

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO

PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:
PRC2023-00011



GENERAL DESIGN STANDARDS

This Clear Creek Transit Village FDP is intended to outline the permitted zoning, land uses and development standards for this particular property as described in the legal description on the Cover Sheet (Sheet 1). In the instances where there is a conflict between this FDP and the Adams County Development Regulations and Standards (effective August 15, 2017), this FDP shall control and apply to the Property.

The following are the Development and Design Standards. Refer to Sheet 4 for Planning Area descriptions and locations.

ARCHITECTURE VISION

"Build a place – not a project." Clear Creek Transit Village is a District Neighborhood and the architecture should have shared elements that reinforce the identity within this district. Clear Creek Transit Village is a mixed residential and commercial use district with interconnected transit as a defining feature. The architecture will reflect the district's identity through shared elements. Streamline Moderne design will be used to emphasize movement, pattern, and interconnected forms, while also incorporating a contemporary nod to the historic style. The color palettes are to be subdued.

Streamline Moderne is a style of Art Deco that became popular in the 1930's. Inspired by aerodynamics, the international style made its appearance in buildings related to transportation and movement. The style emphasizes repetitive forms, accentuated horizontal fins and banding, eyebrow roof forms, and strong vertical statements. Streamline Moderne naturally lends itself to the architectural emphasis of movement, pattern, and inter-woven forms.

The multi family building design will integrate massing and materials, with at least one material woven from the adjacent building. There will also be a mix of front and rear loaded 3-story townhomes as well as 2-story front loaded townhomes, each with private outdoor space.

These guidelines are written to communicate the overall architectural vision for Clear Creek Transit Village. All statements are strongly encouraged, except for the "Standards" text shown in *italics*, which are requirements.

Additional shared elements may include:

- Flat roof forms (multi-family and mixed-use buildings)
- Low slope of flat roof forms (single-family attached buildings)
- Repeated vertical forms (single-family attached buildings)
- Brick masonry
- Wood-toned siding
- Select rounded elements
- Long horizontal lines, horizontal grooves
- Deep overhangs or parapets



REINVENTING STREAMLINE MODERNE

Here are a few ways to bring Streamline Moderne into the 21st Century:

- Emphasize woven layers of materials. Accentuate vertical and horizontal lines, create opportunities for recessed doors and windows.
- Re-think siding materials. Introduce wood toned products, panel siding with sleek channels, and horizontal screening
- Create a double step in engaged columns and recesses. Step back the parapet to reinforce the Streamline Moderne vernacular.
- Provide deep awnings above windows, they not only reinforce the style, they provide passive solar cooling opportunities.
- Use lighting to accentuate vertical and horizontal rhythms and forms.

It is recommended that building elevations include some of the following elements:

- A material chosen to be "woven" in from an adjacent building
- Repetitive vertical or horizontal elements along the facade
- Flat roof forms
- Brick masonry
- Wood-toned siding
- Recessed windows and doors
- Window awnings
- Street level, horizontal accent roof forms
- Select rounded elements
- Long horizontal lines or horizontal grooves
- Deep (minimum 24") overhangs or parapets
- Architectural lighting that accentuates vertical or horizontal forms



MASSING AND FORM

Being the built representation of a transit-oriented hub, the architecture will emphasize movement, pattern and form.

Multi-Family Considerations:

- While stretches of simple elevation massing are encouraged, building entries, corners and areas of heightened circulation should be emphasized with greater articulation and grander gestures.
- Additional articulation will be required on high visibility streetscapes.
- Buildings will have a discernible hierarchy, showing a base, middle and top.
- Top story, of multi-story buildings four stories and above, will strategically step back to further reinforce building hierarchy.
- Private outdoor balconies are strongly encouraged.

Single-Family Attached Considerations:

Continuing the spirit of the District Neighborhood, townhome architecture should have shared elements that reinforce the identity of the district. Massing should continue to reflect the Streamline Moderne style, with connections, intersections and overlaying modes. Massing and materials are to appear woven together.

- Brick masonry
- Wood-toned siding
- Recessed windows and doors
- Low-sloping roof forms (4:12 and below) or flat roofs with parapets
- A wood-tone accent siding or architectural feature
- Select rounded elements
- Passive-solar shading opportunities
- Private outdoor living spaces



1.0 BUILDING FORM & ARCHITECTURAL CHARACTER

Intent:

- To create inviting and active ground floor frontages along internal streets
- To encourage ground floor activity and pedestrian scale along street frontages
- To create four-sided buildings which orient to the streets.
- Scale, texture, and color of materials to represent a local, contemporary design or interpretation
- Architectural detailing to contribute to the identity of the place through local materials, craftsmanship and traditions

Guidelines:

- Building types might include townhouses, live/work units, multifamily housing, mixed-use, office, retail and/or restaurant buildings or a combination thereof.
- Buildings edges facing Creekside Avenue should include materials which compliment the natural landscape and should use materials such as wood, architectural concrete, stone or brick.
- Along semi-active ground floors, architectural or landscape features should functionally allow for residential or live/work uses to coexist. This may include patios as a transition space, walk-up, stoop, or additional landscaping techniques.

Standards (required):

- 1.a *Buildings will have a discernible hierarchy, showing a base, middle and top.*
- 1.b *All setbacks shall be followed as depicted on the Overall Site Plan (see sheet 4).*
- 1.c *Non-townhome ground floor residential uses shall have a minimum of a 10'-0" floor-to-floor height to accommodate live/work or shop-front uses. Ground floor commercial uses shall have a minimum of a 12'-0" floor-to-floor height to accommodate a variety of uses over time. (market conditions might not allow for live/work or commercial opportunities in the early phases. Residential or civic uses are encouraged for the interim)*
- 1.d *Buildings shall be constructed with highly durable building materials on all four sides.*
- 1.e *Northern and western property edges shall use materials, colors and building articulations to respond to the adjacent existing landscape.*



2.0 BUILDING FACADES

Intent:

- To create visually interesting high-quality facades, particularly those that face streets or public open space.
- To avoid large areas of undifferentiated or blank facades
- To provide pedestrian scale, character and detail.
- To create visual interest through the interplay of light and shadow.

Guidelines:

- Where balconies and terraces are used, they should be incorporated into the vertical and horizontal shifts in building massing wherever possible to avoid facades dominated by cantilevered balcony projections.
- Awnings or shading elements which are solely cosmetic and non-functional should not be used.

Standards (required):

- 2.a *Each building facade oriented to the street or public space shall express high levels of design, material quality, and detailing.*
- 2.b *Building facades shall include architectural variety and scale through such elements as: expression of building structure; window pattern, door or other openings that provide surface variation through change of place; change in color; change in texture; change in material module or pattern.*
- 2.c *Primary building facades at the street level shall include some elements that provide a change in plane that create interest through the interplay of light and shadow. Examples of such elements include:*
 - *Windows recessed a minimum of three (3) inches*
 - *Recessed entries and doors*
 - *Projecting sills*
 - *Projecting pilasters, columns, bays*
 - *Projecting cornices and roofs*



3.0 BUILDING ENTRANCES

Intent:

- To promote inviting and open entries along ground-floor commercial and active live/work frontages through frequent points of entry.
- To provide clear and understandable entry points for mixed use and residential buildings for easy way-finding year-round, day or night.
- To enhance the scale, activity and function of the public streets.

Guidelines:

- Entries should have a scale and level of detail appropriate to the design, scale and number of units or storefronts provided.
- Primary building entries of commercial uses should be clearly defined and generally break the storefront/ground-floor facade pattern.
- Mixed use buildings should have separate clearly marked entries for residential and commercial uses.

Standards (required):

- 3.a *Primary entries shall face a public street or plaza, be clearly defined and marked with an address and/or appropriate signage.*
- 3.b *Primary building entries shall be emphasized by recessing the door a minimum of four (4) inches, by changes in wall plane or building massing, by diffraction in material or color, a greater level of detail, and/or enhanced lighting.*
- 3.c *Service access for buildings shall be located out of sight from the primary building entry such as in an alley, back of building, or interior parking lot or structure.*



CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
OWNERS NAME
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK COOP I, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

NOT FOR
CONSTRUCTION

DATE:
FDP-01: 03/16/2023
FDP-02: 07/07/2023
FDP-03: 10/23/2023

DRAFT

SHEET TITLE:
GENERAL DESIGN
STANDARDS

NOTE: All images are for illustration purposes and are only to be used to communicate intent for the General Design Standards.

CLEAR CREEK TRANSIT VILLAGE

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO

PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:
PRC2023-00011



GENERAL DESIGN STANDARDS (CONTINUED)

4.0 BUILDING MATERIALS & COLOR

Streamline Moderne naturally lends itself to the architectural emphasis of movement, pattern, and inter-woven forms. This is a minimalistic, pure-form approach, making sophisticated gestures towards a historic style. Color palettes are to be subdued.

Intent:

- To use low maintenance and lasting materials which hold up to vandalism and age well.
- To use new synthetic materials in ways that reflect their intrinsic characteristics.

Guidelines:

- Building materials should include new technologies and materials that contribute to the development's character and promote environmental sustainability as well as architectural methods and materials that are energy resource responsible.

Standards (required):

- Facades facing a street or public open space shall be composed primarily of primary materials as listed below.
- Primary Materials: brick, stone, architectural precast concrete, architecturally cast concrete, cast stone, specially treated concrete masonry units, terra-cotta, glass, and durable synthetic materials such as glass fiber-reinforced concrete, metal panels or green wall systems
- Secondary Materials: exterior insulation and finishing systems, simple concrete masonry units, and hard-cost stucco
- Building materials shall be selected with the objectives of quality and durability appropriate to the prevailing climate conditions.



5.0 BUILDING FENESTRATION, TRANSPARENCY & REFLECTIVE GLASS

Intent:

- To animate public spaces with transparent building facades, while providing a sense of security through "eyes on the street".
- To create transparent viewing through glazing at the ground floor to provide pedestrians the opportunity to view activities inside and outside the building.
- To provide adequate transparency on upper floors to create a secondary level of activity and to be able to view activities To promote a high level of transparency at the ground level of commercial uses.
- To limit the use of reflective glass with high glare.

Guidelines:

- To allow for the use of high-performance reflective glass, while reducing possible glare, and maintaining some transparency, the reflective coating should be on the second or third surface.

Standards (required):

- All ground-floor commercial uses shall have no less than 60% of transparency.
- All upper-level commercial glazing shall have no less than 40% of transparency.
- Highly reflective and first-surface reflective coatings shall not be used.



6.0 BUILDING LIGHTING

Intent:

- To illuminate architectural elements including building entries, cornices, structural bays or other significant features.
- To encourage the use of interior lighting through its fenestration both on the ground-floor as well as upper-levels.

Standards (required):

- Lighting fixtures shall be of architectural quality and consistent with the design of the building. No utilitarian lighting is allowed.
- Lighting of service areas and parking structure areas shall be controlled so that it does not illuminate onto adjacent areas or buildings.
- Areas of ground floor activity should provide a consistent glow to encourage exploring and visiting of businesses at night.
- Lighting elements should draw attention to major building entries.

7.0 ROOFTOP DESIGN & MECHANICAL SCREENING

Intent:

- To maintain a consistent look and not disrupt the continuity of the roof, rooftop or parapet.
- To avoid the random placement of mechanical or electrical equipment as seen from the street.
- To promote sustainable design through green roofs and other methods to reduce heat gain in summer months and to retain heat in winter months.
- To encourage usable rooftop gardens and gathering spaces.
- To reduce the visual impact from upper floors looking down on adjacent buildings' rooftops.

Guidelines:

- When possible outdoor rooftop spaces such as terraces, shared public or private spaces should be provided to take advantage of mountain views, Colorado's year-round weather and 300+ days of sunshine.
- Green roofs should be included where feasible through regionally appropriate vegetative and drought tolerant plantings. Rooftop spaces might consider urban permaculture through providing functional gardens which produce seasonal fruits, vegetables and/or spices.

Standards (required):

- All rooftop mechanical and electrical equipment, satellite dishes, or antennae shall be screened and organized as such that limits the visual disruption of the roof.



8.0 VEHICULAR ENTRIES

Intent:

- To provide the safe and efficient movement of all users including: vehicles, buses, pedestrians and bicyclists.
- To be spaced to allow for cueing of vehicles along the public street and not disrupt adjacent traffic or turning vehicles.

Guidelines:

- Entry points should be obvious, provide a break in facade or show a material change to indicate as visual cue for pedestrians.

Standards (required):

- Vehicular entries, especially public ones, shall be clearly marked to allow proper way-finding for motorists.
- Vehicular entry points shall be in locations that minimize the disruption of pedestrian circulation.

9.0 PARKING

Intent:

- To mitigate any negative visual aspects of parking as viewed from the street or adjacent uses.
- To limit or avoid permanent of-street surface parking.
- To encourage structured, tuck-under, or other methods of non-surface parking.

Guidelines:

- Temporary surface parking in initial phases should be designed to be aesthetically pleasing and safe through landscaping and proper lighting treatments.
- Parking structure facades that are facing amenity courts, adjacent to leasing/amenity spaces, or highly visible from community entrances along Federal Blvd., will be strongly encouraged to have additional screening, in the form of brick detailing, kinetic screens, green walls or art installations that cover a minimum of 50% of the first two stories of parking structure along that facade, and reinforce the theme of interwoven connectivity.

Standards (required):

- Surface, tuck-under or structured parking shall be located internally to each block and/or have limited exposure to adjacent streets and uses.
- Parking areas shall be screened from public view by wrapping them with development.



10.0 PARKING STRUCTURES

Intent:

- To provide a high quality pedestrian experience along the street environment.
- To provide uses or art along the public street to encourage pedestrian activity.
- To avoid large areas of undifferentiated or blank facades at the street level

Guidelines:

- The ground floor of wrapped parking structures should be designed with a pedestrian scale and allow for a variety uses or tenants to change and evolve over time.

Standards (required):

- Parking structures exposed to an adjacent street shall have a high quality facade to reduce negative visual impacts.
- Structured parking shall be designed so that vehicles parked on all levels of the facility are predominately screened from public view.
- Parking structure facades facing public streets shall be designed to integrate or blend into their context. This might include integrating structural bays, unique use of a material or vegetative cover/living wall treatment.



CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
OWNERS NAME
CLEAR CREEK VILLAGE, LLC
THISTLE CREEK COOP I, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

NOT FOR
CONSTRUCTION

DATE:
FDP-01: 03/16/2023
FDP-02: 07/07/2023
FDP-03: 10/23/2023

DRAFT

SHEET TITLE:
GENERAL DESIGN
STANDARDS

NOTE: All images are for illustration purposes and are only to be used to communicate intent for the General Design Standards.

CLEAR CREEK TRANSIT VILLAGE
AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO, STATE OF COLORADO
PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN (FDP)

CASE NUMBER:
PRC2023-00011



GENERAL DESIGN STANDARDS (CONTINUED)

11.0 SERVICE AREAS, TRASH ENCLOSURES AND UTILITY APPURTENANCES

Intent:

- To reduce the visibility of loading and service areas, recycling or trash enclosures and mechanical/electrical equipment to public streets, adjacent development or open spaces.

Guidelines:

- Service areas and trash enclosures should not front onto streets and public open spaces. Service areas should be located to the rear or side of buildings, and screened from view from street and/or public open space.
- Loading and service areas should be concentrated in common courts when possible to minimize any visual impacts.

Standards (required):

- 11.a *Utility appurtenances such as light fixtures and signal boxes shall be located behind the sidewalk and out of the tree lawn or sidewalk amenity zone whenever possible. When it must be in the tree lawn, or amenity zone, such equipment shall be centered on the tree line and aligned with but no closer than 42 inches from the face of curb.*
- 11.b *Service areas shall be located internal to the development blocks, hidden from public view and away pedestrian circulation paths.*
- 11.c *Where fully internal service areas are not feasible, the service areas shall be bounded on three sides by the building being served, with only one side open to the service drive. The open side shall be screened to the greatest extent possible.*
- 11.d *Service areas should not be located within 25 feet of primary building entrances.*

CLEAR CREEK TRANSIT VILLAGE
FINAL DEVELOPMENT PLAN
IN THE COUNTY OF ADAMS, STATE OF COLORADO

OWNER:
OWNERS NAME

CLEAR CREEK VILLAGE, LLC
THISTLE CREEK OOF, L.P.
14034 SOUTH 145th EAST
DRAPER, UT 84020

NOT FOR
CONSTRUCTION

DATE:
FDP-01: 03/16/2023
FDP-02: 07/07/2023
FDP-03: 10/23/2023

DRAFT

SHEET TITLE:
GENERAL DESIGN
STANDARDS

NOTE: All images are for illustration purposes and are only to be used to communicate intent for the General Design Standards.

DRAFT
SUBDIVISION IMPROVEMENTS AGREEMENT
CLEAR CREEK TRANSIT VILLAGE FINAL PLAT – PRC2023-00011

THIS AGREEMENT is made and entered into this ___ day of _____, 202___, between Clear Creek Development, LLC, a Delaware limited liability company qualified to do business in Colorado (“Developer”), whose address is 10808 S. River Front Parkway, Suite 378, South Jordan, Utah 84095 and the Board of County Commissioners of the County of Adams, State of Colorado (“County”), whose address is 4430 S. Adams County Parkway, Brighton, CO 80601.

WITNESSETH:

WHEREAS, Developer is the owner of real property in the County of Adams, State of Colorado, as described in Exhibit “A” attached hereto, and by this reference made a part hereof.

WHEREAS, it is provided by resolution of the Board of County Commissioners, County of Adams, that where designated the Developer shall have entered into a written agreement with the County to install public and/or private improvements, and to deed land for public purposes or right-of-way.

NOW, THEREFORE, in consideration of the foregoing, the parties hereto promise, covenant, and agree as follows:

1. **Engineering Services.** Developer shall furnish, at its own expense, all engineering and other services in connection with the design and construction of the improvements described and detailed on Exhibit “B” attached hereto, and by this reference made a part hereof (“Improvements”).
2. **Drawings and Estimates.** The Developer shall furnish drawings and cost estimates for all improvements described and detailed on Exhibit “B” for approval by the County. Upon request, the Developer shall furnish one set of reproducible “as built” drawings and a final statement of construction costs to the County.
3. **Construction.** Developer shall furnish and construct, at its own expense and in accordance with drawings and materials approved by the County, the improvements described and detailed on Exhibit “B”.
4. **Time for Completion.** Improvements shall be completed according to the terms of this agreement within “construction completion date” appearing in Exhibit “B”. The Director of Community and Economic Development Department may for good cause grant extension of time for completion of any part or all of improvements appearing on said Exhibit “B”. Any extension greater than 180 days may be approved only by the Board of County Commissioners. All extensions of time shall be in written form only.
5. **Warranties of Developer.** Developer warrants that the Improvements shall be installed in good workmanlike manner and in substantial compliance with the plans and requirements of this Agreement and shall be substantially free of defects in materials and workmanship. These warranties of Developer shall remain in effect until Final Acceptance of the improvements by the County.
6. **Guarantee of Compliance.** Developer shall furnish to the County a cash escrow deposit or other acceptable collateral, releasable only by the County, to guarantee compliance with this agreement. Said collateral shall be in the amount of \$<XXXXXX>, including twenty percent (20%) to cover administration and five percent (5%) per year for the term of the Agreement to cover inflation. Upon approval of the final plat, completion of said improvements constructed according to the terms of this agreement, and preliminary acceptance by the Director of Public Works in accordance with section 5-02-05-01 of the County’s Development Standards and Regulations, the collateral shall be released. Completion of said improvements shall be determined solely by the County, and a reasonable part of said collateral, up to 20%, may be retained to guarantee maintenance of public improvements for a period of one year from the date of preliminary acceptance.

Collateral shall be furnished in the amount required and in a form acceptable to the Board of County Commissioners prior to final plat approval. No building permits shall be issued until the final plat has been approved and the improvements described in Exhibit "B" have been preliminarily accepted by the Department of Public Works.

7. **Acceptance and Maintenance of Public Improvements.** All improvements designated "public" on Exhibit "B" shall be public facilities and become the property of the County or other public agencies upon acceptance. During the period of one year from and after the acceptance of public improvements, the Developer shall, at its own expense, make all needed repairs or replacement due to defective materials or workmanship which, in the opinion of the County, becomes necessary. If, within ten days of written notice to the Developer from the County requesting such repairs or replacements, the Developer has not undertaken with due diligence to make the same, the County may make such repairs or replacements at the Developer's expense; provided, however, if the repairs/replacements cannot reasonably be completed within such ten day time period, Developer shall have up to an additional twenty days (for a total of thirty days) to complete such repairs/replacements so long as Developer begins undertaking the repairs/replacements within the original ten day period. In the case of an emergency such written notice may be waived.
8. **Successors and Assigns.** This agreement shall be binding upon the heirs, executors, personal representatives, successors, and assigns of the Developer, and shall be deemed a covenant running with the real property as described in Exhibit "A" attached hereto.
9. **Improvements and Dedication.** The undersigned Developer hereby agrees to provide the following improvements, and to dedicate described property.
 - A. **Improvements.** Designate separately each public and private improvement.

Public Improvements:

(General description of construction.) See Exhibit "B" for description, estimated quantities and estimated construction costs.

The improvements shall be constructed in accordance with all County requirements and specifications in accordance with the approved plans and time schedule as indicated in Exhibit "B".
 - B. **Public dedication of land for right-of-way purposes or other public purpose.** Upon approval of this agreement by the Board of County Commissioners, the Developer hereby agrees to convey by special warranty deed to the County of Adams the following described land for right-of-way or other public purposes:

(General description of right-of-way).
10. **Default by Developer.** A default by the Developer shall exist if (a) Developer fails to construct the Improvements in substantial compliance with the plans and the other requirements of this Agreement; (b) Developer fails to complete construction of the Improvements by the Completion Date provided herein as the same may be extended; (c) Developer fails to cure any noncompliance specified in any written notice of noncompliance within a reasonable time after receipt of the notice of noncompliance; (d) Developer otherwise breaches or fails to comply with any obligation of Developer under this Agreement.
 - A. **Remedies of County.** If the County, after notice, determines that a default by Developer exists, and if Developer fails to cure such default within the time specified by the County (but in no event less than thirty days), the County shall be entitled to (a) make a draw on the collateral for the amount reasonably determined by the County to be necessary to cure the default in a manner consistent with the approved Plans up to the face amount of the collateral; and (b) sue the Developer for recovery of any amount necessary to cure the default over and above the amount available in the collateral provided.

B. **County Right to Completion of Improvements.** The right of the County to complete or cause completion of the Improvements as herein provided shall include the following rights:

a. The County shall have the right to complete the Improvements, in substantial accordance with the plans, the estimated costs, and other requirements of this Agreement, either itself or by contract with a third party or by assignment of its rights to a successor developer who has acquired the Property by purchase, foreclosure, or otherwise. The County, any contractor under the County, or any such successor developer, their agents, subcontractors and employees shall have the non-exclusive right to enter upon the streets and easements shown on the final plat of the Subdivision and upon any part of the Subdivision owned by Developer for the purpose of completing the Improvements.

C. **Use of Funds by County.** Any funds obtained by the County through collateral, or recovered by the County from Developer by suit or otherwise, shall be used by the County to pay the costs of completion of the Improvements substantially in accordance with the plans and the other requirements of this Agreement and to pay the reasonable costs and expenses of the County in connection with the default by Developer, including reasonable attorneys' fees.

Developer:

Clear Creek Development, LLC, a Delaware limited liability company

By: Thistle Creek QOF I, L.P., a Delaware limited partnership, its Managing Member

By: Thistle Creek QOF I GP, LLC, a Utah limited liability company, its General Partner

By: _____
Printed Name: _____
Its: _____

The foregoing instrument was acknowledged before me this ____ day of _____, 202__, by _____ as _____ of Thistle Creek QOF I GP, LLC, a Utah limited liability company, General Partner of Thistle Creek QOF I, L.P., a Delaware limited partnership, Managing Member of Clear Creek Development, LLC, a Delaware limited liability company.

My commission expires: _____

Address: _____

Notary Public

APPROVED BY resolution at the meeting of _____, 20__.

Collateral to guarantee compliance with this agreement and construction of public improvements shall be required in the amount of _____. No building permits shall be issued until said collateral is furnished in the amount required and in a form acceptable to the Board of County Commissioners.

ATTEST:

BOARD OF COUNTY COMMISSIONERS
ADAMS COUNTY, COLORADO

Clerk of the Board

Chair

DRAFT

EXHIBIT A

Legal Description: BLANK SUBDIVISION

DRAFT

EXHIBIT B

Public Improvements: Street Name/s

<u>Description</u>	<u>Est. Quantity</u>	<u>Est. Unit Cost</u>	<u>Est. Construct. Cost</u>
--------------------	----------------------	-----------------------	-----------------------------

Construction Completion Date:

Initials or signature of Developer: _____

DRAFT