



PLANNED UNIT DEVELOPMENT – MAJOR AMENDMENT

Application submittals must include all documents on this checklist as well as this page. Please use the reference guide (pg. 2) included in this packet for more information on each submittal item.

All applications shall be submitted electronically to epermitcenter@adcogov.org. If the submittal is too large to email as an attachment, the application may be sent as an unlocked OneDrive link. Alternatively, the application may be delivered on a flash drive to the One-Stop Customer Service Center. All documents should be combined in a single PDF. Once a complete application has been received, fees will be invoiced and payable online at <https://permits.adcogov.org/CitizenAccess/>.

1. Development Application Form (pg. 3)
2. Application Fees (see table)
3. Written Explanation of the Project
4. Site Plan Showing Proposed Development
5. Proof of Ownership (warranty deed or title policy)
6. Legal Description
7. Certificate of Taxes Paid

Application Fees	Amount	Due
PUD Major Amendment	\$2,300	After complete application received
Adams County Health	\$210 (public utilities - Level 2) \$360 (individual septic - Level 3)	After complete application received
Copying	\$5 per page	Prior to public hearing
Recording	\$13 (first page); \$10 (ea. additional)	Prior to public hearing



Application Type:

<input type="checkbox"/> Conceptual Review	<input type="checkbox"/> Preliminary PUD	<input type="checkbox"/> Temporary Use
<input type="checkbox"/> Subdivision, Preliminary	<input type="checkbox"/> Final PUD	<input type="checkbox"/> Variance
<input type="checkbox"/> Subdivision, Final	<input type="checkbox"/> Rezone	<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Plat Correction/ Vacation	<input type="checkbox"/> Special Use	<input checked="" type="checkbox"/> Other: PUD Major Amendment

PROJECT NAME: Todd Creek Village Metro District Office

APPLICANT

Name(s): West South Platte Water & Reservoir Company, LLLP Phone #: 303-637-0344

Address: 10450 E. 159th Court

City, State, Zip: Brighton, CO 80602

2nd Phone #: 303-946-2779 Email: tdunning@wspcos.com

OWNER

Name(s): West South Platte Water & Reservoir Company, LLLP Phone #: 303-637-0344

Address: 10450 E. 159th Court

City, State, Zip: Brighton, CO 80602

2nd Phone #: 720-373-7373 Email: don@wspcos.com

TECHNICAL REPRESENTATIVE (Consultant, Engineer, Surveyor, Architect, etc.)

Name: Brad Curtis @ Northern Engineering Phone #: 970-488-1119

Address: 820 8th Street

City, State, Zip: Greeley, CO

2nd Phone #: 970-590-0440 Email: bcurtis@northernengineering.com

DESCRIPTION OF SITE

Address:

City, State, Zip:

Area (acres or square feet):

Tax Assessor Parcel Number:

Existing Zoning:

Existing Land Use:

Proposed Land Use:

Have you attended a Conceptual Review? YES NO

If Yes, please list PRE#:

I hereby certify that I am making this application as owner of the above described property or acting under the authority of the owner (attached authorization, if not owner). I am familiar with all pertinent requirements, procedures, and fees of the County. I understand that the Application Review Fee is non-refundable. All statements made on this form and additional application materials are true to the best of my knowledge and belief.

Name: Date:

Owner's Printed Name

Name: 

Owner's Signature

Project Narrative – PUD Major Amendment

The subject property is located at 10450 E. 159th Court in Brighton, CO 80602 and is owned by West South Platte Water and Reservoir, LLLP (WSPWR). The existing single-story building and surface improvements serve as the administration building for the operations of Todd Creek Village Metropolitan District (TCVMD). The building is leased by TCVMD from WSPWR. TCVMD is the entity responsible for delivering water service to approximately 2,600 homes and businesses in northern Adams County and southern Weld County.

The PUD Major Amendment application is being requested to amend case number PUD2009-00001, also known as Creek View, by removing the subject lot (Parcel #0157110100005) from the greater PUD development. This amendment is the first step toward creating a legal parcel per County and State regulations. The next steps will be to amend the subdivision, case number PRJ2009-00005, with Rezoning Map Amendment and Minor Subdivision - Final Plat applications to follow.

Existing Improvements

The existing single-story building, constructed in 2009, is 4,544 square feet and contains four offices, a reception area, a cubical/conference area, a break room, and a 4-bay garage. The existing site improvements include an access drive off E. 159th Court on the west side of the site, curb, gutter and sidewalk, a parking area, and a stormwater detention pond at the northeast corner of the site serving Brighton Fire Station 55, which is located on the north side of E. 159th Court.

Proposed Improvements

No site improvements are being requested with this application. Any future site improvements will be requested through a separate land use application once the property has been legally subdivided.

Utilities

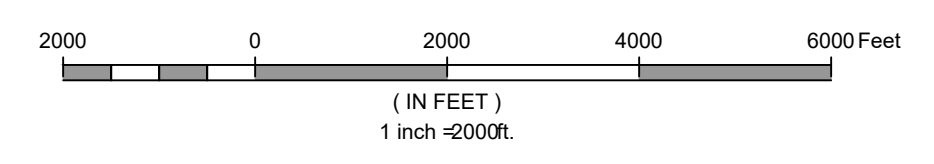
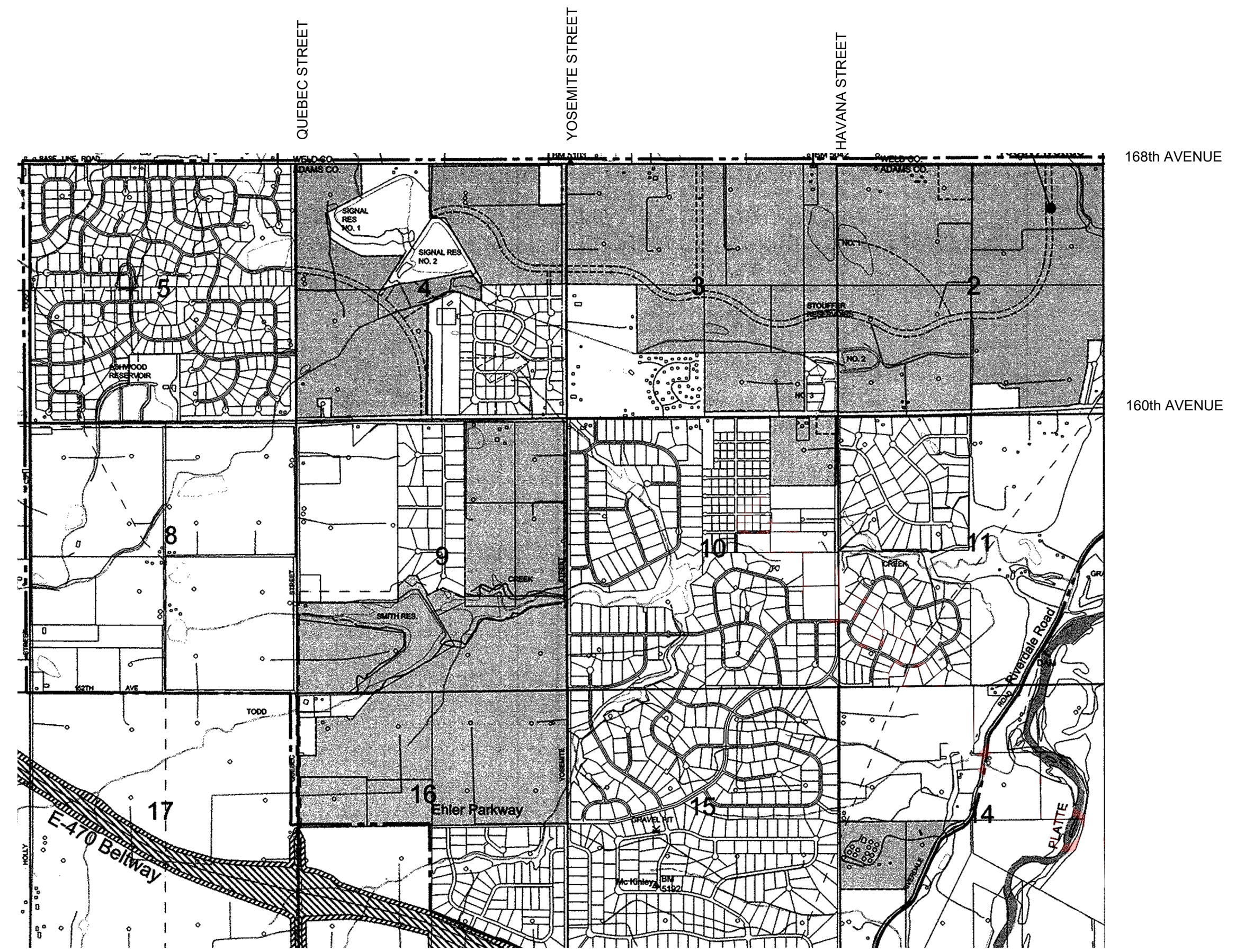
The existing building currently utilizes an on-site wastewater treatment system (Tri-County Health Department Permit #20059647). When available, the building will be connected to the Metro Water Recovery District's Todd Creek sanitary sewer interceptor for sanitary sewer service. The sanitary sewer provider will be TCVMD.

Potable water is provided by TCVMD.

Drainage

Stormwater from the subject property currently drains undetained to an existing regional detention pond southwest of, and adjacent to, the property.

TODD CREEK VILLAGE PRELIMINARY PUD PLAN AMENDMENT



SHEET INDEX

- 1 COVER SHEET
- 2 SECTION 10 - EXISTING LAND USE & ZONING MAP
- 3 SECTION 10 - AMENDED LAND USE & ZONING MAP
- 4 PERMITTED & AMENDED USE BY PARCEL
- 5 LAND OWNERSHIP LEGAL DESCRIPTIONS & OWNER ADDRESSES

CERTIFICATE OF OWNERSHIP

TODD CREEK VILLAGE, LLC, BEING THE OWNER OR REPRESENTATIVE OF THE TODD CREEK VILLAGE PUD LOCATED IN THE COUNTY OF ADAMS, STATE OF COLORADO, HEREBY SUBMITS THIS PRELIMINARY PLANNED UNIT DEVELOPMENT AND AGREES TO PERFORM UNDER THE TERMS HEREON.

(OWNER'S SIGNATURE) (PRINT NAME)

THE OWNER'S SIGNATURE(S) SHALL BE ACKNOWLEDGED AS FOLLOWS:

STATE) _____
COUNTY) SS _____
CITY) _____

THE FOREGOING OWNERSHIP CERTIFICATE WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC _____

MY COMMISSION EXPIRES: _____

PLANNING COMMISSION APPROVAL:

APPROVED BY THE ADAMS COUNTY PLANNING COMMISSION THIS _____ DAY OF _____, 20____.

CHAIRMAN _____

BOARD OF COUNTY COMMISSIONERS APPROVAL:

APPROVED BY THE ADAMS COUNTY BOARD OF COMMISSIONERS THIS _____ DAY OF _____, 20____.

CHAIRMAN _____

CERTIFICATE OF THE CLERK AND RECORDER

THIS AMENDED PRELIMINARY P.U.D. PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE ADAMS COUNTY CLERK AND RECORDER IN THE STATE OF COLORADO AT _____ M ON THE DAY OF _____, 20____.

COUNTY CLERK AND RECORDER _____

BY DEPUTY: _____

ADDITIONS AND DELETIONS BLOCK
THE FOLLOWING ADDITIONS AND DELETIONS IN THE P.U.D. WERE MADE BY THE BOARD OF COUNTY COMMISSIONERS AT THE TIME OF APPROVAL.

STAFF REVIEW
APPROVED AS TO FORM BY:

DIRECTOR OF PLANNING AND DEVELOPMENT

COUNTY ATTORNEY

Revisions: **REVIEW SET**
NOT FOR CONSTRUCTION
 08/31/23

These drawings are instruments of service provided by Northern Engineering Services, Inc. in any type of construction unless signed and sealed by a professional engineer in the employ of Northern Engineering Services, Inc.

NORTHERN ENGINEERING
 970.221.4158
 northernengineering.com
 FORT COLLINS, CO North Hoades Street, Suite 100, 80521
 GREELEY, CO 820 8th Street, 80631

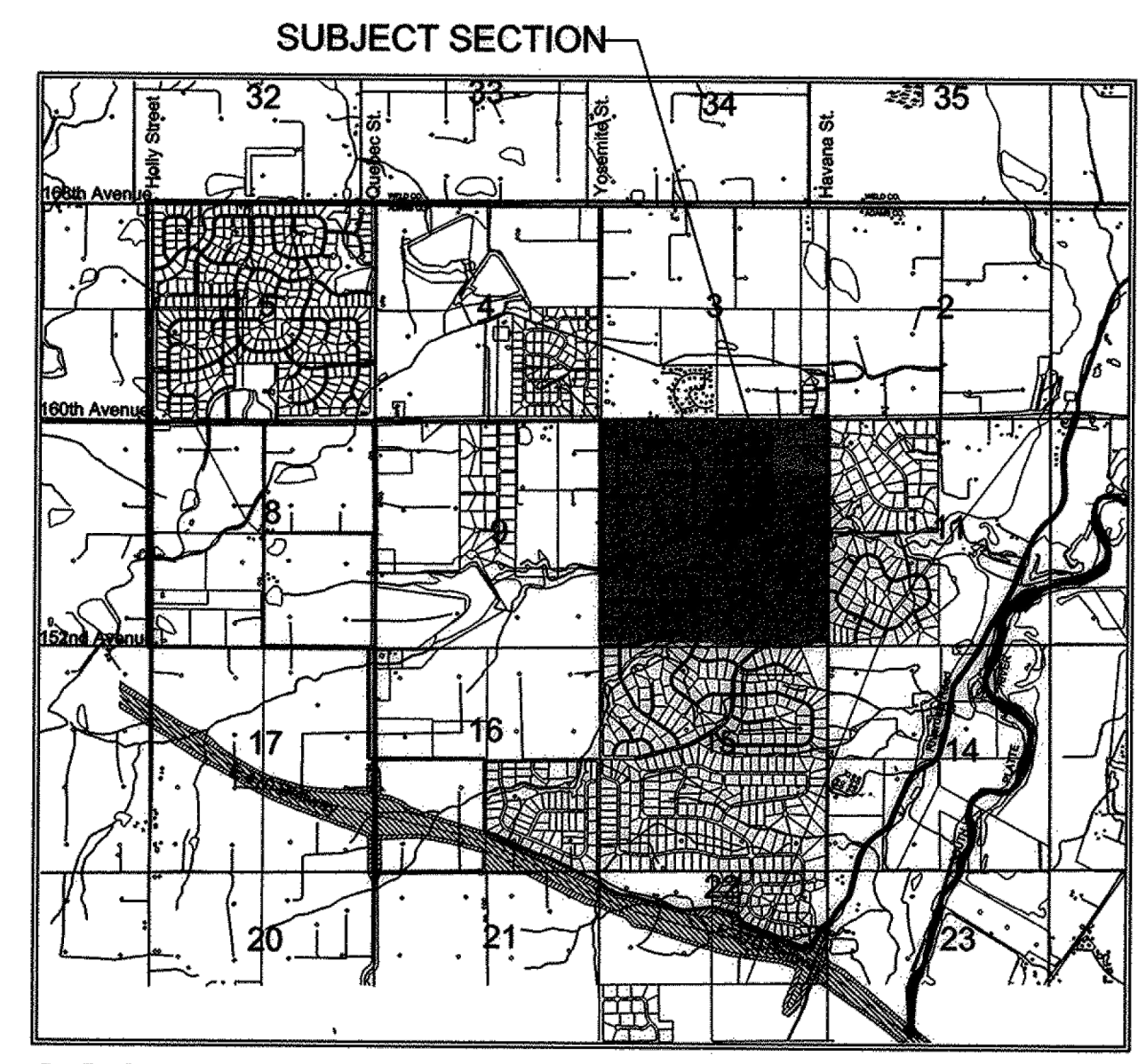
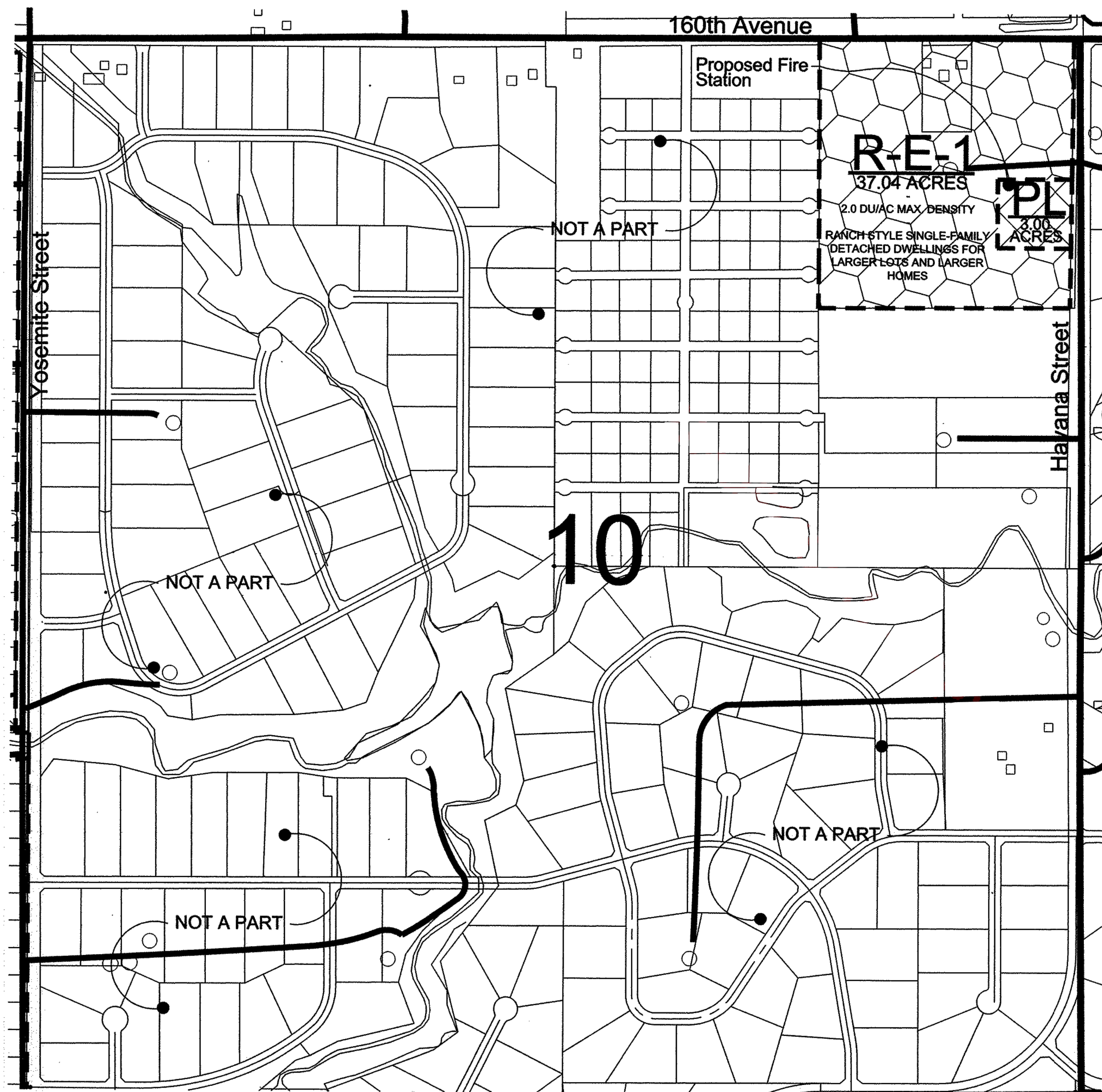
PROJECT: 1904-C02	DATE: AUG. 31, 2023	SCALE: AS NOTED	P. MANAGER: B. Curtis
DESIGNED BY: M. Fostlen			
DRAWN BY: M. Fostlen			

TODD CREEK VILLAGE PUD AMENDMENT

COVER SHEET

DRAWING FILENAME: P:\1904-C02\1904-C02_PUD_Amendment.dwg LAYOUT NAME: 1 DATE: Sep 05, 2023 - 2:34pm CAD OPERATOR: melissa LIST OF SHEETS: [NES=cover]

TODD CREEK VILLAGE PRELIMINARY PUD PLAN AMENDMENT

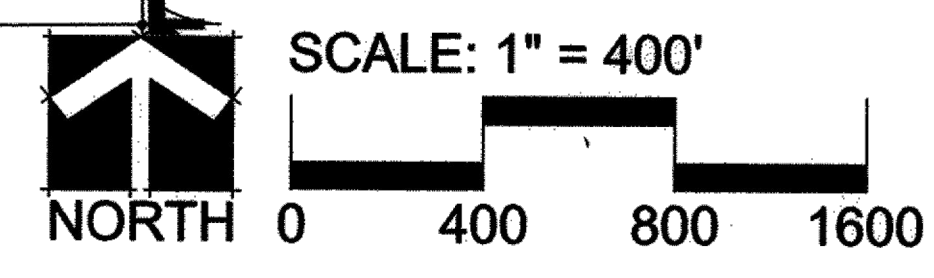


LOCATION MAP
SCALE: 1"=4,000'

- LEGEND:**
- PROPOSED COLLECTOR STREET LOCATION
 - 10** SECTION NUMBER
 - R-E** PROPOSED ZONING FOR PARCEL
 - POTENTIAL SCHOOL SITE
 - POTENTIAL LOCATION OF SCHOOL AND/OR OPEN SPACE PARCELS
 - 10.03 ACRES** APPROXIMATE ACREAGE OF PARCEL

NOTE:
Final road location and design are subject to review by C-DOT and others.

SECTION 10 SUMMARY
PL @ .79 DU/AC = 3.00 AC
R - E - 1 @ 2.0 DU/AC = 37.04 AC



Revisions:
No. _____ Date: _____
REVIEW SET
NOT FOR CONSTRUCTION
08/31/23

These drawings are instruments of service provided by Northern Engineering Services, Inc. in accordance with any type of construction contract. They are not to be used for any other purpose unless signed and sealed by the engineer of Northern Engineering Services, Inc.

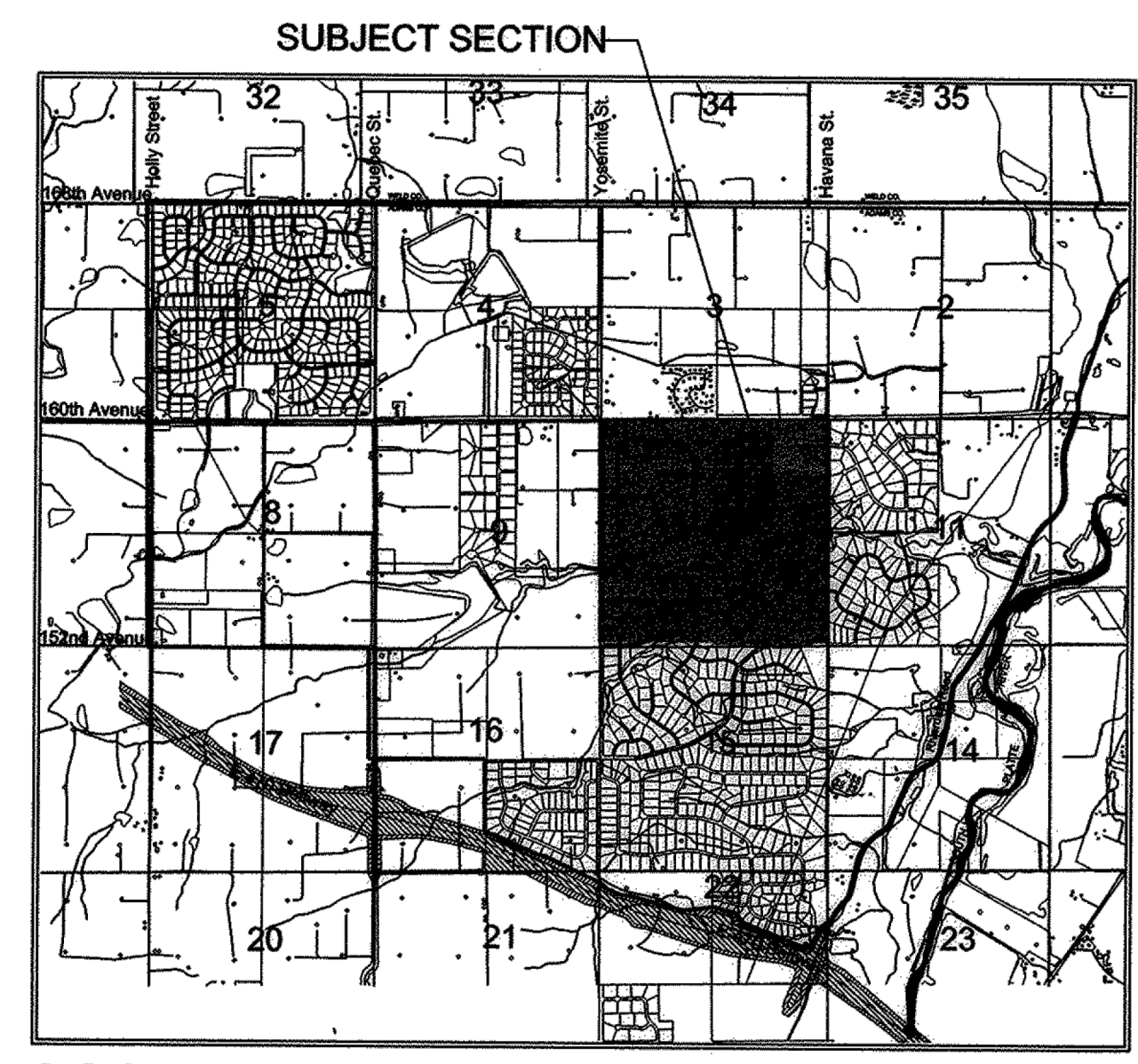
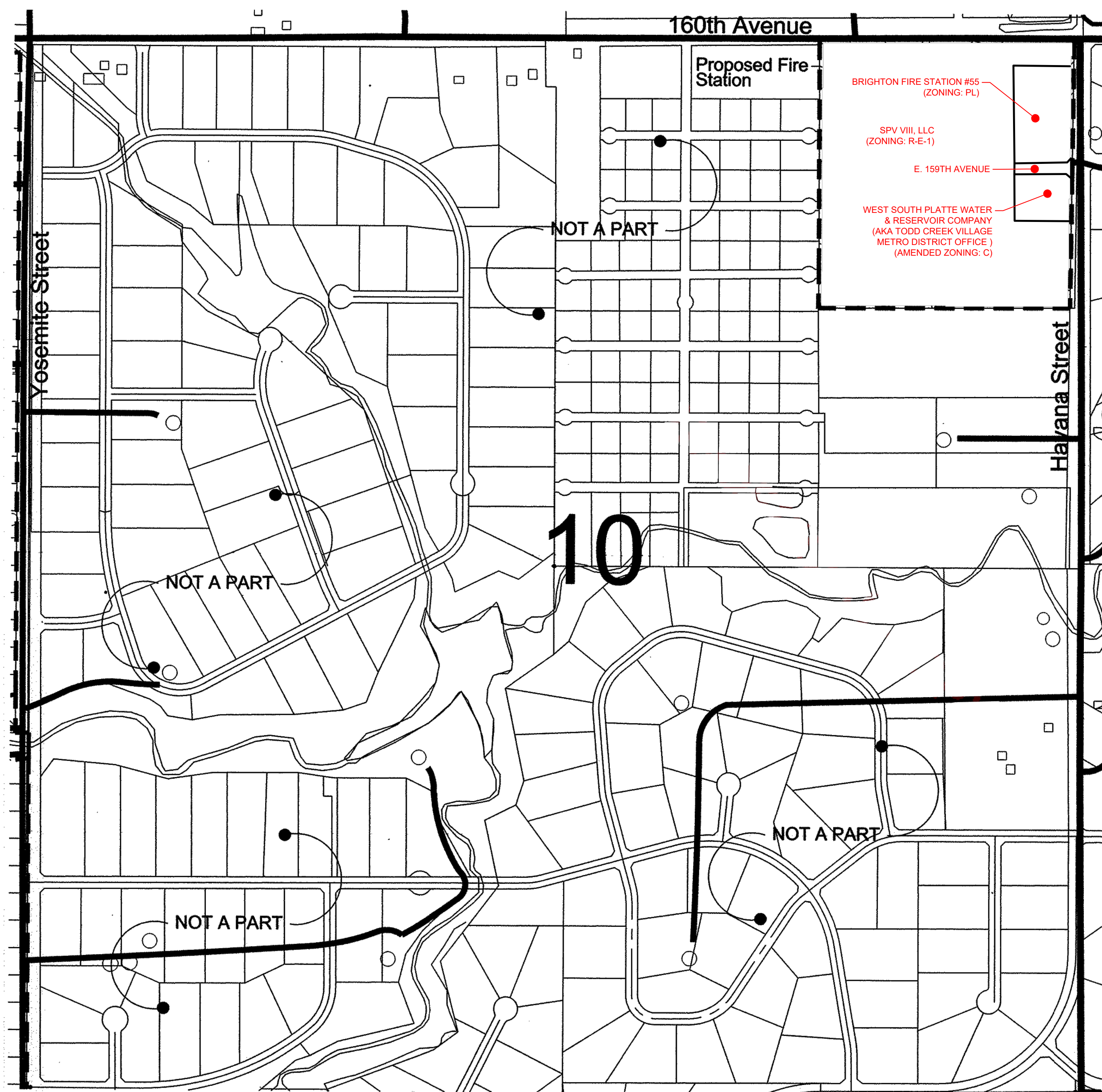
NORTHERN ENGINEERING
NE
FORT COLLINS, 301 North Hovea Street, Suite 100, 80521
GREELEY, 820 8th Street, 80631
970.221.4158
northernengineering.com

PROJECT: 1904-C02	DATE: AUG. 31, 2023	SCALE: 1" = 400'	P. MANAGER: B. Curtis
DESIGNED BY: M. Fostlen			
DRAWN BY: M. Fostlen			

TODD CREEK VILLAGE PUD AMENDMENT
SECTION 10
EXISTING LAND USE & ZONING MAP

DRAWING FILENAME: P:\1904-C02\Drawings\1904-C02_L10_10_010_PUD.amg LAYOUT NAME: 2 DATE: Sep 05, 2023 - 2:24pm CAD OPERATOR: mrsaha LIST OF SHEETS: [NES=none]

TODD CREEK VILLAGE PRELIMINARY PUD PLAN AMENDMENT

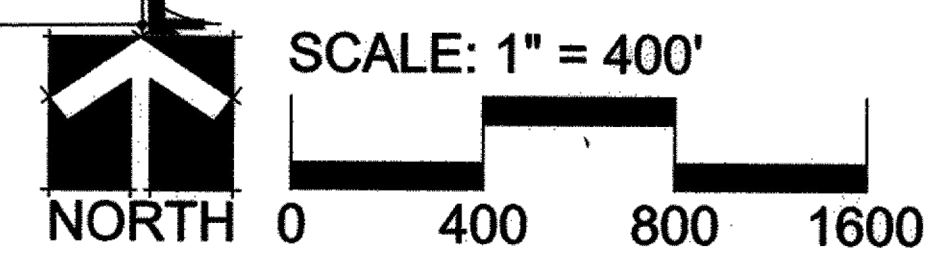


LOCATION MAP
SCALE: 1"=4,000'
NORTH

- LEGEND:**
- PROPOSED COLLECTOR STREET LOCATION
 - 10** SECTION NUMBER
 - R-E** PROPOSED ZONING FOR PARCEL
 - POTENTIAL SCHOOL SITE
 - POTENTIAL LOCATION OF SCHOOL AND/OR OPEN SPACE PARCELS
 - 10.03 ACRES** APPROXIMATE ACREAGE OF PARCEL

NOTE:
Final road location and design are subject to review by C-DOT and others.

SECTION 10 SUMMARY
PL @ .79 DU/AC = 3.00 AC
R - E - 1 @ 2.0 DU/AC = 37.04 AC



Revisions:
 No. _____ Date: _____
REVIEW SET
NOT FOR CONSTRUCTION
 08/31/23

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NORTHERN ENGINEERING
 970.221.4158
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 800.881.8683
 301 North Haver Street, Suite 100, 80231 GREELEY, CO 80639

PROJECT:	1904-C02	DATE:	AUG. 31, 2023
DESIGNED BY:	M. Fostlen	SCALE:	1" = 400'
DRAWN BY:	M. Fostlen	P. MANAGER:	B. Curtis

TODD CREEK VILLAGE PUD AMENDMENT
SECTION 10
AMENDED LAND USE & ZONING MAP

DRAWING FILENAME: P:\1904-C02\Draw\1904-C02_L10_T0_Preliminary PUD.amx LAYOUT NAME: 3 DATE: Sep 05, 2023 - 2:25pm CAD OPERATOR: mfozair LIST OF SHEETS: [NES=none]

TODD CREEK VILLAGE PRELIMINARY PUD PLAN AMENDMENT

PERMITTED USE BY PARCEL SUMMARY

- Parcel - 2A:
 - R-E - Residential Estate single-family detached dwellings
 - RE/PL - Portion of the 60-acre Estate Residential/School Site Flex Parcel
- Parcel - 2B:
 - R-E - Residential Estate single-family detached dwellings
- Parcel - 2C:
 - R-E - Residential Estate single-family detached dwellings
- Parcel - 2D:
 - R-E - Residential Estate single-family detached dwellings
 - RE/PL - Portion of the 60-acre Estate Residential/School Site Flex Parcel
- Parcel - 2E:
 - R-E - Residential Estate single-family detached dwellings
- Parcel - 3A:
 - R-E - Residential Estate single-family detached dwellings
- Parcel - 3B:
 - R-E - Residential Estate single-family detached dwellings
- Parcel - 3C:
 - R-E - Residential Estate single-family detached dwellings
- Parcel - 3D:
 - R-E - Residential Estate single-family detached dwellings
- Parcel - 3E:
 - R-E - Residential Estate single-family detached dwellings
- Parcel - 3F:
 - R-E - Residential Estate single-family detached dwellings
- Parcel - 3G:
 - R-E - Residential Estate single-family detached dwellings
- Parcel - 3H:
 - R-E - Residential Estate single-family detached dwellings
- Parcel - 3I:
 - R-E - Residential Estate single-family detached dwellings
- Parcel - 3J:
 - R-E - Residential Estate single-family detached dwellings
- Parcel - 4A:
 - R-E - Residential Estate single-family detached dwellings
- Parcel - 4B:
 - R-E - Residential Estate single-family detached dwellings
- Parcel - 4C:
 - R-E - Residential Estate single-family detached dwellings
- Parcel - 4D:
 - R-E - Residential Estate single-family detached dwellings

- Parcel - 9A:
 - R-1-A - Residential Single Family Flex District
 - R-E-1 - Residential Single Family District single-family detached dwellings at 2.0 DU/AC Maximum Density
- Parcel - 9B:
 - R-1-A - Residential Single Family Flex District
- Parcel - 9C:
 - R-1-A - Residential Single Family Flex District
 - PL - Public Land
- Parcel - 9D:
 - R-1-A - Residential Single Family Flex District
 - R-E-1 - Residential Single Family District single-family detached dwellings at 2.0 DU/AC Maximum Density
 - PL - Public Land
- Parcel - 9E:
 - R-1-A - Residential Single Family Flex District
 - PL - Public Land
- Parcel - 9F:
 - R-1-A - Residential Single Family Flex District
 - PL - Public Land
- Parcel - 9G:
 - R-1-A - Residential Single Family Flex District
 - PL - Public Land
- Parcel - 9H:
 - R-1-A - Residential Single Family Flex District
 - PL - Public Land
- Parcel - 9I:
 - PL - Public Land
- Parcel - 10A:
 - R-E-1 - Residential Single Family District single-family detached dwellings at 2.0 DU/AC Maximum Density
 - PL - Fire Station
- Parcel - 14A:
 - PL - Public Land
- Parcel - 14B:
 - PL - Public Land
- Parcel - 16A:
 - R-1-A - Residential Single Family Flex District
- Parcel - 16B:
 - R-1-A - Residential Single Family Flex District
- Parcel - 16C:
 - R-1-A - Residential Single Family Flex District
- Parcel - 16D:
 - R-1-A - Residential Single Family Flex District

AMENDED PERMITTED USES

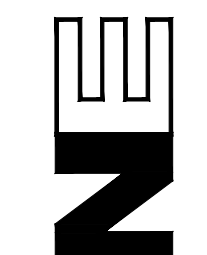
- Parcel - 10A
 - R-E-1 - Residential Single Family District; single-family detached dwellings at 2.0 DU/AD Maximum Density
 - PL - Fire Station
 - C - Commercial

TODD CREEK VILLAGE PUD AMENDMENT
PERMITTED & AMENDED
USE BY PARCEL

Sheet
4

904-002 of 5

PROJECT: 1904-002	DATE: AUG. 31, 2023
DESIGNED BY: M. Fostlen	SCALE: NA
DRAWN BY: M. Fostlen	P. MANAGER: B. Curtis


**NORTHERN
ENGINEERING**
 970.221.4158
 northernengineering.com
 FORT COLLINS, CO 10th Street, Suite 100, 80521
 GREELEY, CO 8th Street, 80631

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 for the use of the client
 in any type of construction
 unless signed and sealed by
 a professional engineer in
 the employ of Northern
 Engineering Services, Inc.

No.	Revisions:
	REVIEW SET
	NOT FOR CONSTRUCTION
	08/31/23

TODD CREEK VILLAGE PRELIMINARY PUD PLAN AMENDMENT

SECTION 2

- 2A:
001 - Section 2
Subdivided with multiple owners
- 2A Previous Legal Description: Section 2, Township 1 North, Range 67 West; NW4 EXC CO RD; 142/65A

- 2B:
011 - Section 2
Subdivided with multiple owners
- 2B Previous Legal Description: Section 2, Township 1 North, Range 67 West; NE4 EXC RDS AND EXC DT ROW AND EXC PARC 120A

- 2C:
010 - Section 2
The Phyllis Ellen Webb Trust
12152 E. 168th Avenue
Brighton, Colorado 80602
- 2C Legal Description: Section 2, Township 1 North, Range 67 West; BEG AT NE COR SEC 2 TH S ALG E LN SD SEC TO CEN NEW BRANTNER DT WHERE SD DT INTERSECTS E LN SD SEC 2 TH ALG CEN LN SD DT AS SAME MEANDERS NWLY ACROSS E2 NE4 TO PT WHERE SD DT INTERSECTS N LN SEC 2 TH E ALG N LN SEC 2 TO POB 14A M/L

- 2D:
004 - Section 2
Subdivided with multiple owners
- 2D Previous Legal Description: Section 2, Township 1 North, Range 67 West; SW4 EXC HIWAY 151/523A

- 2E:
002 - Section 2
Subdivided with multiple owners
- 2E Previous Legal Description: Section 2, Township 1 North, Range 67 West; SE4 EXC PARCS AND EXC HIGWAY 125/691A

SECTION 3

- 3A:
014 - Section 3
Seltzer Farms Inc.
9390 E. 168th Avenue
Brighton, CO 80602
- 3A Legal Description: Section 3, Township 1 North, Range 67 West; BEG AT NW COR SEC 3 TH E ON N LN SD SEC 3055 FT TH S 2385/8 FT TO PT ON E/W C/L SD SEC TH W 3073 FT TO CENT OF W LN SD SEC TH N 2377/6 FT TO POB; 167/79A

- 3B:
003 - Section 3
John William Weigandt
10390 E. 168th Avenue
Brighton, CO 80602
- 3B Previous Legal Description: Section 3, Township 1 North, Range 67 West; BEG AT NE COR NW4 SW4 SEC 3 TH W ALG N LN 152 FT TH S 21D 57M E 413 FT TO PT ON E LN TH N 383 FT TO POB; 0/69A

- 3C:
004 - Section 3
John William Weigandt
10390 E. 168th Avenue
Brighton, CO 80602
- 3C Legal Description: Section 3, Township 1 North, Range 67 West; BK:4940 PG:318; BEG AT NW COR E2 E2 NE4 SEC 3 TH S 780 FT TH E 279/23 FT TH N 780 FT TH W 279/23 FT TO BEG; 5 A

- 3D:
005 - Section 3
Subdivided with multiple owners
- 3D Previous Legal Description: Section 3, Township 1 North, Range 67 West; E2 E2 NE4 EXC RD AND EXC 5A IN NW COR 31 A

- 3E:
003 - 1/4 section - Section 3
Seltzer Farms Inc.
9390 E. 168th Avenue
Brighton, CO 80602
- 3E Legal Description: Section 3, Township 1 North, Range 67 West; BK:4940 PG:320; NE1/4 TRACT 3 2/55A

- 3F:
008 - Section 3
Subdivided with multiple owners
- 3F Previous Legal Description: Section 3, Township 1 North, Range 67 West; BK:4940 PG:320 TRACT 5 40A

- 3G:
007 - Section 3
Subdivided with multiple owners
- 3G Previous Legal Description: Section 3, Township 1 North, Range 67 West; BK:4940 PG:320 TRACT 4 20A

- 3H:
006 - Section 3
CARLSON TAYLOR R UND 24.25% INT AND THORNTON CORY J UND 24.25% INT ET ALS
- 3H Previous Legal Description: Section 3, Township 1 North, Range 67 West; E2 NE4 SE4 20 A

- 3I:
009 - Section 3
Subdivided with multiple owners
- 3I Previous Legal Description: Section 3, Township 1 North, Range 67 West; NE4 SW4 EX SIGNAL DT ROW 38/71A

SECTION 4

- 4A:
004 - Section 4
Subdivided with multiple owners
- 4A Previous Legal Description: Section 4, Township 1 North, Range 67 West; BEG AT NE COR NW4 NW4 SEC 4 TH S TO PT ON N/S C/L SD NW4 569/5 FT FROM POB TH SWLY 809/2 FT TO A PT TH S 8D 40M E 488/2 FT TH S 57D 04M E 390 FT TH S 64D 11M E 291 FT TH SELY 60 FT TO PT ON W LN SE4 NW4 SD SEC660 FT N OF SW COR OF SD SE4 NW4 TH A AND // WITH E/W C/L OF SD SEC 4 830 FT TH SWLY 800 FT TO PT ON E/W C/L 385 FT E OF SW COR SE4 NW4 TH W ON E/W C/L 1713/9 FT TO SW COR NW3 TH N ON W LN SD SEC TO NW COR TH E 1328/5 FT TO BEG EXC RESV 66/90 ACRES

- 4B:
021 - Section 4
HSG LAND LLC
10450 E. 159th Court
Brighton, CO 80602
- 4B Legal Description: Section 4, Township 1 North, Range 67 West; PT OF NE4 SEC 4 DESC AS FOL BEG AT N4 COR SEC 4 TH S 1092/40 FT TO SW COR NW4 NE4 SD SEC TH E 305 FT TH S 31D 38M E 1377/30 FT TO A PT WHICH IS 298 FT W OF AND 140 FT N OF SW COR SE4 NE4 SEC 4 TH S TO S LN SD NE4 SEC 4 TH E 1583/98 FT TO A PT 40 FT W OF E4 COR SD SEC 4 TH N 1558/89 FT TH W 438/74 FT TH N 820 FT TH W 2177/58 FT TO POB EXC N 30 FT FOR RD AND EXC PARCS (2009000049874/2009000021950) AND (2010000052390) AND EXC PARC (2013000074188) 107/7065A

- 4C:
012 - Section 4
ERN Limited Partnership ET AL
7 Circle Drive
Wheat Ridge, CO 80215
- 4C Legal Description: Section 4, Township 1 North, Range 67 West; SW4 SEC 4 EXC 8/5A IN NE COR SW4 N OF SIGNAL DT AND DESIGNATED AS TRACT 10 1/2 IN GAGENS SUBD OF SEC 3 AND 4 EXC PARC 100 FT N AND S BY 100 FT E AND W IN SE4 SW4 EXC HIWAY AND EXC PARC 140/3600A

- 4D:
006 - Section 4
Todd Creek Village Metropolitan District
10450 E. 159th Court
Brighton, CO 80602

- 4D Previous Legal Description: Section 4, Township 1 North, Range 67 West; A PARC OF LAND IN SEC 4 DESC AS FOL BEG AT A PT ON E AND W C/L OF SD SEC THAT IS 298 FT W OF THE SE COR OF SW4 NE4 SD SEC TH S 296 FT TO A PT TH N 71D 48M W 295 FT TH N 50D 36M W 150 FT TH N 77D 36M W 155 FT TH S 70D 44M W 170 FT TH S 59D 51M W 245 FT TH S 75D 49M W 665 FT TH S 69D 28M W 315 FT TH S 63D 30M W 135 FT TH N 482 FT TH N 33D 55M E 130 FT TH N 73D 24M E 350 FT TH N 87D 03M E 347 FT TH N 81D 31M E 236 FT TH N 81D 13M E 334 FT TH N 82D 55M E 210 FT TH N 80D 33M E 305 FT TH S 31D 37M E 200 FT TH S 87D 30M E 50 FT TH S 98 FT TO POB 20A

SECTION 9

- 9A:
010 - Section 9
Subdivided with multiple owners
- 9A Previous Legal Description: Section 9, Township 1 North, Range 67 West; THAT PT OF E2 OF SEC 9 DESC AS BEG AT A PT ON N LN OF SD SEC 3311 FT E OF NW COR SD SEC TH S 1586/64 FT TO A PT TH N 88D 35M E 979/76 FT TO A PT TH N 1586-63 FT TO A PT ON N LN SD NE4 TH S 88D 35M 979/28 FT TO THE POB EXC N 30 FT FOR HIWAY NO. 7 35A

- 9B:
011 - Section 9
Subdivided with multiple owners
- 9B Previous Legal Description: Section 9, Township 1 North, Range 67 West; THAT PT OF E2 OF SECT 9 DESC AS BEG AT A PT ON N LN OF SD SEC 4290/28 FT E OF NW COR SD TH S 1586/63 FT TO A PT TH EN 88D 35M E 979/76 FT TO A PT ON W ROW LN OF YOSEMITE ST TH N 1586/62 FT TO A PT ON N LN OF SD NE4 TH S 88D 35M W 979/28 FT TO THE POB EXC N 30 FT FOR HIWAY NO 7 35 A

- 9C:
013 - Section 9
Subdivided with multiple owners
- 9C Previous Legal Description: Section 9, Township 1 North, Range 67 West; PARCEL C PT OF E2 SEC 9 DESC AS FOL BEG 3311 FT E AND 1586/64 FT S OF NW COR SD SEC TH N 88D 25M E 979/76 FT TH S 1813/35 FT TO A PT 3400 FT S OF THE N LN OF NE4 OF SD SEC TH S 88D 35M W 980/53 FT TO A PT 3311 FT E OF THE W LN OF SD SEC TH N 1813/36 FT TO POB 40/798A

- 9D:
014 - Section 9
Subdivided with multiple owners
- 9D Previous Legal Description: Section 9, Township 1 North, Range 67 West; PARCEL D PT OF E2 SEC 9 DESC AS FOL BEG AT A PT 3311 FT E OF NW COR SD SEC TH S 1586/64 FT TH N 88D 35M E 979/76 FT TO TRUE POB TH S 1813/35 FT TO A PT 3400 FT S OF N LN NE4 SD SEC TH N 88D 35M E 981/18 FT TO A PT ON W ROW LN OF YOSEMITE ST SD PT BEING 30 FT W OF E LN OF SE4 OF SD SEC TH N 758/62 FT TO A PT ON THE E/W C/L OF SD SEC TH N 1054/71 FT TH S 88D 35M W 979/76 FT TO TRUE POB 40/798A

- 9E:
015 - Section 9
Subdivided with multiple owners
- 9E Previous Legal Description: Section 9, Township 1 North, Range 67 West; PT OF E2 SEC 9 DESC AS BEG 3311 FT E AND 3400 FT S OF NW COR SD SEC TH S 200 FT TH N 88D 35 M W 994/50 FT TH N 200 FT TH S 88D 35M W 00R/50 FT TO TRUE POB 4/566A

- 9F:
007 - Section 9
Subdivided with multiple owners
- 9F Previous Legal Description: Section 9, Township 1 North, Range 67 West; BEG AT SW COR SEC TH E 979/3 FT TH N 57D 45M E 1447/8 FT TH N 300 FT TH N 83D 40M W 2130 FT TH S 1439/3 FT TO BEG 52/50A

- 9G:
004 - Section 9
Subdivided with multiple owners
- 9G Previous Legal Description: Section 9, Township 1 North, Range 67 West; BEG AT PT ON S BDRY LN 1493/3 FT E OF SW COR TH N 59D 27M E 1867/5 FT TH N 30D 2 663 FT TH N 64D 45M E 600 FT TH S 120 FT TH E 994/5 FT TH N 200 FT TH E 996/4 FT TO E LN TH S 1886/6 FT TH W TO BEG EXC 30 FT OFF SIDE FOR ROAD

SECTION 9 (CON'T)

- 9H:
006 - Section 9
Subdivided with multiple owners
- 9H Previous Legal Description: Section 9, Township 1 North, Range 67 West; RESV IN S2 51/02A

- 9I:
005 - Section 9
Subdivided with golf course
- 9I Previous Legal Description: Section 9, Township 1 North, Range 67 West; BEG AT A PT ON N LN SEC 9 1991 FT E OF NW COR TH S 3480 FT TH N 34D 30M E 425 FT TH N 61D E 155 FT TH S 30D E 360 FT TO TRUE POB TH S 30D E 440 FT TH N 64D 45M E 600 FT TH N 76/4 FT TH N 65D 37M W 470/6 FT TH S 66D 30M W 365 FT TO TRUE POB 5/15A

SECTION 10

- 10A:
003 - Section 10
Subdivided with multiple owners
- 10A Previous Legal Description: Section 10, Township 1 North, Range 67 West; NE4 NE4 EXC E 20 FT AND EXC W 20 FT OF E 40 FT

GREATER BRIGHTON FIRE PROTECTION DISTRICT
500 S. 4TH AVENUE, 3RD FLOOR
BRIGHTON, CO 80601
Legal Description: SUB: TODD CREEK FIRE STATION BLK:1 LOT:1

WEST SOUTH PLATTE WATER AND RESERVOIR COMPANY LLLP
10450 E. 159TH COURT
BRIGHTON, CO 80602
Legal Description: TRACT OF LAND IN THE NE4 OF THE NE4 OF SEC 10 DESC AS BEG AT THE NE COR OF SD SEC 10 TH S 02D 53M 08S W 666/15 FT AND THE POB TH S 00D 33M 24S E 220/08 FT TH S 89D 30M 57S W 288/83 FT TH N 00D 29M 03S W 240/08 FT TH ALG SD SLY ROW LN THE FOL 2 COURSES N 89D 30M 57S E 268/53 FT S 45D 31M 14S E 28/30 FT TO THE POB 1/5860A

SPV VIII LLC
1751 RIVER RUN, SUITE 400
FORT WORTH, TX 76107
Legal Description: NE4 NE4 EXC E 20 FT AND EXC W 20 FT OF E 40 FT AND EXC PT PLATTED AND EXC PARC 33/7980A

SECTION 14

- 14A:
008 - Section 14
Replatted and includes more land
- 14A Previous Legal Description: Section 14, Township 1 North, Range 67 West; NW4 SW4 40A 14781## RIVERDALE RD

- 14B:
022 - Section 14
Subdivided with multiple owners
- 14B Previous Legal Description: Section 14, Township 1 North, Range 67 West; E2 SW4 EXC RD AND EXC PT PLATTED 10/5801A

SECTION 16

- 16A:
013 - Section 16
Subdivided with multiple owners
- 16A Previous Legal Description: Section 16, Township 1 North, Range 67 West; BEG 1513/25 FT E OF NW COR NW4 SEC 16 TH E 1140/08 FT TO N4 COR SD SEC TH S 2618/17 FT TO CEN OF SD SEC TH W 2649/30 FT TO W4 COR SD SEC TH N 1397/07 FT ML TO PT 1208/90 FT FROM NW COR SD SEC TH E 375 FT TH N 744 FT TH E 752/02 FT TH N 40D 04M E 607/49 FT ML TO POB EXC W 30 FEET AND EXC PARCS 79.69A

- 16B:
003 - Section 16
Subdivided with multiple owners
- 16B Previous Legal Description: Section 16, Township 1 North, Range 67 West; NE4 160A

- 16C:
014 - Section 16
Subdivided with multiple owners
- 16C Previous Legal Description: Section 16, Township 1 North, Range 67 West; PT OF NW4 SEC 16 DESC AS BEG AT SW COR SD NW4 TH E 30 FT TO TRUE POB TH N 1000 FT TH E 1343/83 FT TH S 1000 FT TO A PT ON S LN SD NW4 TH W 1343/83 FT TO THE TRUE POB 30/85A

- 16D:
015 - Section 16
Subdivided with multiple owners
- 16D Previous Legal Description: Section 16, Township 1 North, Range 67 West; PT OF NW4 SEC 16 DESC AS FOL BEG AT SW COR NW4 SD SEC TH E 30 FT TO A PT ON W ROW LN QUEBEC ST TH CONT E 1343/83 FT TO TRUE POB TH E 1275/47 FT TO CEN4 COR SD SEC TH N 921/08 FT TH W 1276/85 FT TH S 921/07 FT TO TRUE POB 26/984A

Revisions:
No. Date:
REVIEW SET
NOT FOR CONSTRUCTION
08/31/25

These drawings are instruments of service provided by Northern Engineering Services, Inc. in any type of construction unless signed and sealed by the employ of Northern Engineering Services, Inc.

NORTHERN ENGINEERING
970.231.4158
northernengineering.com
FORT COLLINS, CO North Hoades Street, Suite 100, 80521
GREELEY, CO 8th Street, 80631

PROJECT: 1604-CO2	DATE: AUG - 31, 2023	SCALE: NA	P. MANAGER: B. Curtis
DESIGNED BY: M. Fostlen	DRAWN BY: M. Fostlen		

TODD CREEK VILLAGE PUD AMENDMENT
LAND OWNERSHIP LEGAL DESCRIPTIONS & OWNER ADDRESSES

DRAWING FILENAME: P:\1604-CO2\Draw\1604-002_Legal_Descriptions.dwg LAYOUT NAME: 5 DATE: Sep 05, 2023 - 2:26pm CAD OPERATOR: mshaha
LIST OF SHEETS: [NES=none]

After Recording Return to:
Doc Fee: \$10.00

WARRANTY DEED

This Deed, made March 20, 2017

Between **E-159 Court, LLC, a Colorado limited liability company** of the County Adams, State of COLORADO, grantor(s) and **West South Platte Water & Reservoir Company, LLLP, a Colorado limited liability limited partnership,** whose legal address is 9200 E. Mineral Ave #365 Centennial, CO 80112 County of Adams, and State of COLORADO, grantee.

WITNESS, That the grantor, for and in the consideration of the sum of (\$10.00) the receipt and sufficiency of which is hereby acknowledged, has granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell, convey and confirm, unto the grantee, their heirs and assigns forever, all the real property together with improvements, if any, situate, lying and being in the County of Adams, State of COLORADO described as follows:

See Exhibit A attached hereto and made a part hereof.

also known by street and number as **10450 E 159th Court, Thornton, CO 80602-7977**

TOGETHER with all and singular hereditaments and appurtenances, thereunto belonging, or in anywise appertaining, and the reversion and reversions, remainder and remainders, rents issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor, either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances.

TO HAVE AND TO HOLD said premises above bargained and described, with the appurtenances, unto the grantee, his heirs and assigns forever. And the grantor, for himself, his heirs and personal representatives, does covenant, grant, bargain and agree to and with the grantee, his heirs and assigns, that at the time of the ensembling and delivery of these presents, he is well seized of the premises above conveyed, has good, sure, perfect, absolute and indefeasible estate of inheritance, in law, in fee simple, and has good right, full power and lawful authority to grant, bargain, sell and convey the same in manner and form as aforesaid, and that the same are free and clear from all former and other grants, bargains, sales, liens, taxes, assessments, encumbrances and restrictions of whatever kind of nature so ever, **except for taxes for the current year, a lien but not yet due and payable, and those specific Exceptions described by reference to recorded documents as reflected in the Title Documents accepted by Buyer in accordance with section 8.1 (Title Review) of the contract dated, between the parties.**

The grantor shall and will WARRANT AND FOREVER DEFEND the above-bargained premises in the quiet and peaceable possession of the grantee, his heirs and assigns, against all and every person or persons lawfully claiming the whole or any part thereof. The singular number shall include the plural, the plural the singular, and the use of any gender shall be applicable to all genders.

IN WITNESS WHEREOF, the grantor has executed this on the date set forth above.

SELLER:

E-159 Court, LLC,
a Colorado limited liability company
by LMGO Holdings, LLC, a Colorado limited liability company
It's Manager
by:

Lyn Osborne, Manager
Lyn Osborne, Manager

STATE OF COLORADO
COUNTY OF Dewer

}ss:

The foregoing instrument was acknowledged, subscribed and sworn to before me March 20, 2017 by E-159 Court, LLC, a Colorado limited liability company, by LMGO Holdings, LLC, a Colorado limited liability company, It's Manager by Lyn Osborne, Manager

Witness my hand and official seal.

Margaret L. Bateman

Notary Public
My Commission expires:

Margaret L. Bateman
Notary Public
State of Colorado
My Commission Expires May 9, 2019
LIC# 19954007254

Wdcorp

ESCROW NO. 597-H0494694-019-MB0

HTC

Exhibit A

A tract of land being located in the Northeast quarter of the Northeast quarter of Section 10, Township 1 South, Range 67 West of the 6th P.M., County of Adams, State of Colorado, being more particularly described as follows:

Basis of Bearings: The North line of the Northeast quarter of the Northeast quarter of said Section 10 being monumented at the Northwest corner of the Northeast quarter of the Northeast quarter of said Section 10 by a 2" aluminum cap stamped "Alpha Engrg., L.S. 25937, 1996" being assumed to bear N 89°31'31" E, a distance of 1325.66 feet.

Commencing at the Northeast corner of said Section 10; thence S 02°53'08" W a distance of 666.15 feet to the intersection of the Westerly right of Way line of Havana Street and the Southerly right of way line of Havana Way and the Point of Beginning;

Thence S 00°33'24" E, along the Westerly right of way of said Havana Street, a distance of 220.08 feet;

Thence S 89°30'57" W, a distance of 288.83 feet;

Thence N 00°29'03" W, a distance of 240.08 feet to the Southerly right of way line of Havana Way;

Thence along said Southerly right of way line the following two (2) courses and distances:

- 1) N 89°30'57" E, a distance of 268.53 feet;
- 2) S 45°31'14" E, a distance of 28.30 feet to the Point of Beginning,
- 3)

County of Adams, State of Colorado.

PROPERTY DESCRIPTION(s):

DEED DESCRIPTION

A TRACT OF LAND BEING LOCATED IN THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 10, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: THE NORTH LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 10 BEING MONUMENTED AT THE NORTHWEST CORNER OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 10 BY A 2" ALUMINUM CAP STAMPED "LS 23027, 1999" AND AT THE NORTHEAST QUARTER OF SAID SECTION 10 BY A 2" ALUMINUM CAP STAMPED "ALPHA ENGRG., L.S. 25937, 1996" BEING ASSUMED TO BEAR N89°31'31"E, A DISTANCE OF 1325.66 FEET.

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 10;

THENCE S02°53'08"W A DISTANCE OF 666.15 FEET TO THE INTERSECTION OF THE WESTERLY RIGHT OF WAY LINE OF HAVANA STREET AND THE SOUTHERLY RIGHT OF WAY LINE OF HAVANA WAY AND THE POINT OF BEGINNING;

THENCE S00°33'24"E, ALONG THE WESTERLY RIGHT OF WAY LINE OF SAID HAVANA STREET, A DISTANCE OF 220.08 FEET;

THENCE S89°30'57"W, A DISTANCE OF 288.83 FEET;

THENCE N00°29'03"W, A DISTANCE OF 240.08 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF HAVANA WAY;

THENCE ALONG SAID SOUTHERLY RIGHT OF WAY LINE THE FOLLOWING TWO (2) COURSES AND DISTANCES:

1. N89°30'57"E, A DISTANCE OF 268.53 FEET;
2. S45°31'14"E, A DISTANCE OF 28.30 FEET TO THE POINT OF BEGINNING,

COUNTY OF ADAMS,

STATE OF COLORADO.

AS-SURVEYED DESCRIPTION (Rotated Bearings and Surveyed Dimensions)

A parcel of land being a portion of the Northeast Quarter of the Northeast Quarter of Section Ten (10), Township One South (T.1S.), Range Sixty-seven West (R.67W.), Sixth Principal Meridian (6th P.M.), County of Adams, State of Colorado, being more particularly described as follows

COMMENCING at the Northeast Corner of said Section 10 and assuming the East line of the Northeast Quarter of said Section 10 as bearing South 00° 07' 50" East a distance of 2639.54 feet with all other bearings contained herein relative thereto.

THENCE South 00° 07' 50" East along said East line of the Northeast Quarter of Section 10 a distance of 664.86 feet;

THENCE South 89° 52' 10" West a distance of 40.00 feet to the Westerly Right of Way line of Havana Street and to the **POINT OF BEGINNING**.

THENCE South 00° 07' 50" East along the Westerly Right of Way line of said Havana Street a distance of 220.08 feet;

THENCE South 89° 56' 31" West a distance of 288.83 feet;

THENCE North 00° 03' 29" West a distance of 240.08 feet to the Southerly Right of Way line of E. 159th Court;

THENCE North 89° 56' 31" East along the Southerly Right of Way line of said E. 159th Court a distance of 268.53 feet;

THENCE South 45° 05' 40" East continuing along the Southerly Right of Way line of E. 159th Court a distance of 28.30 feet to the **POINT OF BEGINNING**.

Said described parcel of land contains 69,106 sq. ft. or 1.59 acres, more or less (±).



Statement Of Taxes Due

Account Number R0175460

Parcel 0157110100005

Assessed To

WEST SOUTH PLATTE WATER AND
C/O:RESERVOIR COMPANY LLLP
10450 E 159TH CT
BRIGHTON, CO 80602-7977

Legal Description

Situs Address

SECT,TWN,RNG:10-1-67 DESC:TRACT OF LAND IN THE NE4 OF THE NE4 OF SEC 10 DESC AS BEG AT THE NE COR OF SD 10450 E 159TH CT
SEC 10 TH S 02D 53M 08S W 666/15 FT AND THE POB TH S 00D 33M 24S E 220/08 FT TH S 89D 30M 57S W 288/83 FT TH N 00D
29M 03S W 240/08 FT TH ALG SD SLY ROW LN THE FOL 2 COURSES N 89D 30M 57S E 268/53... Additional Legal on File

Year	Tax	Interest	Fees	Payments	Balance
Tax Charge					
2022	\$10,120.54	\$0.00	\$0.00	(\$10,120.54)	\$0.00
Total Tax Charge					\$0.00
Grand Total Due as of 09/13/2023					\$0.00

Tax Billed at 2022 Rates for Tax Area 211 - 211

Authority	Mill Levy	Amount	Values	Actual	Assessed
RANGEVIEW LIBRARY DISTRICT	3.6150000*	\$277.81	COMM LND SPEC	\$138,172	\$40,070
FIRE DISTRICT 6 - GREATER B	15.3200000	\$1,177.34	PURPOS		
GENERAL	22.8430000	\$1,755.48	OFFICES	\$126,826	\$36,780
RETIREMENT	0.3140000	\$24.13	Total	\$264,998	\$76,850
ROAD/BRIDGE	1.3000000	\$99.91			
DEVELOPMENTALLY DISABLED	0.2570000	\$19.75			
SD 27 BOND (Brighton)	22.0690000	\$1,696.00			
SD 27 GENERAL (Brighton)	34.2210000	\$2,629.89			
URBAN DRAINAGE SOUTH PLATTE	0.1000000	\$7.69			
URBAN DRAINAGE & FLOOD CONT	0.9000000	\$69.17			
SOCIAL SERVICES	2.2530000	\$173.14			
EAGLE SHADOW METRO DIST NO	18.5000000	\$1,421.73			
TODD CREEK VILLAGE PARK & R	10.0000000	\$768.50			
Taxes Billed 2022	131.6920000	\$10,120.54			

* Credit Levy

Tax amounts are subject to change due to endorsement, advertising, or fees.
Please call the office to confirm amount due after August 1st.

All Tax Lien Redemption payments must be made with cash or cashier's check.

Adams County Treasurer & Public Trustee
4430 S Adams County Parkway, Suite W1000
Brighton, CO 80601
720-523-6160