



Application Type:

<input type="checkbox"/> Conceptual Review	<input type="checkbox"/> Preliminary PUD	<input type="checkbox"/> Temporary Use
<input type="checkbox"/> Subdivision, Preliminary	<input type="checkbox"/> Final PUD	<input type="checkbox"/> Variance
<input type="checkbox"/> Subdivision, Final	<input checked="" type="checkbox"/> Rezone	<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Plat Correction/ Vacation	<input type="checkbox"/> Special Use	<input type="checkbox"/> Other: _____

PROJECT NAME:

APPLICANT

Name(s): Phone #:
Address:
City, State, Zip:
2nd Phone #: Email:

OWNER

Name(s): Phone #:
Address:
City, State, Zip:
2nd Phone #: Email:

TECHNICAL REPRESENTATIVE (Consultant, Engineer, Surveyor, Architect, etc.)

Name: Phone #:
Address:
City, State, Zip:
2nd Phone #: Email:

DESCRIPTION OF SITE

Address:

City, State, Zip:

Area (acres or square feet):

Tax Assessor Parcel Number:

Existing Zoning:

Existing Land Use:

Proposed Land Use:

Have you attended a Conceptual Review? YES NO

If Yes, please list PRE#:

I hereby certify that I am making this application as owner of the above described property or acting under the authority of the owner (attached authorization, if not owner). I am familiar with all pertinent requirements, procedures, and fees of the County. I understand that the Application Review Fee is non-refundable. All statements made on this form and additional application materials are true to the best of my knowledge and belief.

Name:

Date:

Owner's Printed Name

Name:

Owner's Signature

Written Explanation of Project:

This property is an existing 49-year-old hotel, still in operation, but has closed various public areas (kitchen, bar, dining, and meeting rooms). The closed-off area will be our ACE Hardware, totaling 9,816 SF. The new zoning for the Ace Hardware Retail Store will be C-5 . ACE Hardware is a Commercial Retail establishment with building-type supplies, gardening, paint, and miscellaneous retail. These are all permitted in an I-1 district per Use Table 3-07-01. The new Retail tenant is entirely inside the existing structure. The only exterior improvements are a partially extended parapet with signage added (See elev. 2/A1.4). The property is in Enterprise Zone and Industrial-1 zoning District with no other overlays.

Legal Description:

MAPLETON ADDITION AMENDED NO 5 LOT 3



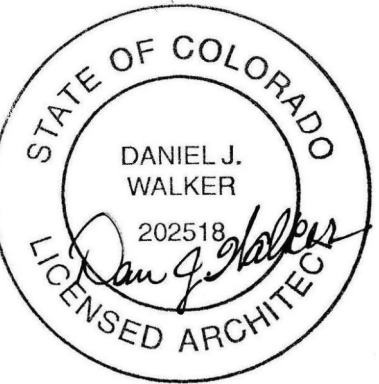
ACE HARDWARE

Tenant Finish/Change of Use

for a portion of

401 E. 58th Ave. Denver, Co.

Mapleton Addition Amended No. 5, Lot 3
Adams County - Zoning I-1



YZ ARCHITECTS, LLC
ARCHITECTURAL DESIGN SERVICES/
LASER PRECISION AS-BUILTS
1138 Northridge Drive
Erie, Colorado 80516

Architect: Dan Walker
Phone: 303-818-8272
Email: plans@dw57.com

CODE STUDY: Additional information added

Scope of work - Change of occupancy from Residential (R-1) and Assembly (A-2) to Retail Hardware Store (Mercantile M). (Formerly public areas inside Hotel - Kitchen, meeting rooms, Bar - the Majority of (E) space was Restaurant [A-2].
New space to sell standard hardware supplies including plumbing, electrical, tools, small construction materials, etc...

Legal Description
Mapleton Addition Amended No.5 Lot 3

Parcel Number
0182510401031

Account Number
R0194867

1.2686 Acres

Zoning District I-1
Neighborhood CBD
Subdivision Mapleton Addition
Opportunity Zone - 6
No Historic Landmark District

Building description
Total building SF = 68,504 - 162 Hotel Rooms (R-1) and A-2 common areas
Total tenant finish area in square feet = 9,816 SF
Building Level effected = Main (1st) level of Hotel.
No new building area, simple remodel of existing interior space

Site description of property
No changes in Building footprint or Site Plan

Building Code Analysis
Gross Leased Area: 9,816 SF

Occupancy: (Existing) A-2, Restaurant area changed to M, Mercantile
Occupant Load: Main Level Mercantile - Load Factor = 60 gross
(9,816 SF / 60 = 164 Occupant load)

Hotel - 200 SF/person - (58,688/200 = 294 person Occupant load)

Type of Construction - I-B for Both existing spaces

Fire Areas/Separation - Demising wall 2 hr min. between occupancies. Entire perimeter wall, interior and exterior is 8" conc. block with 2 hr. fire rating.

Fire Protection

Sprinklers not required by code - Area of remodel is less than 12,000 SF (9,816), is on the 1st level and doesn't display furniture/mattresses per IBC 903.2.7

Egress requirements - Existing approved conditions are unchanged. See sheet A1.4 for Exit/egress plan.

Plumbing Requirements - Mercantile: Required one Toilet per 500 person occupancy. 1 Lavatory per 750 occupancy. 1 Drinking fountain per 1,000 occupancy. 1 service sink. Two existing toilet fixtures, two sinks and drinking fountain to remain, service sink added. 1 ADA accessible toilet required by code. 2 toilet rooms provided, each with a toilet, sink. Double drinking fountain provided (ADA ht. included). One service sink in employee toilet. See floor plan A1.1

Maximum Travel Distance - Exit Access Travel Dist. - 1017.2 - 'M' occupancy, without sprinkler system = 200 feet max. - see calculated travel distances on plan sheet A1.4.

Number of Exits - Two existing exits, two are required. See egress plan A1.4.

Accessible Egress - Store area is all one level with 2 ADA accessible entries/exits.

Common Path of Travel - With the aisle layout shown on A1.4, there are 2 paths of egress at almost any point in the retail store. Toilet rooms would be the exception with a CPT of approx. 16 feet.

Frontage Increase - There are no perimeter/SF changes to the existing building.

Mechanical System - Existing ductwork and system to remain.

Lighting System - Existing circuits/lights to remain with predominately 1x4 LED light fixtures (Sht. A1.5)

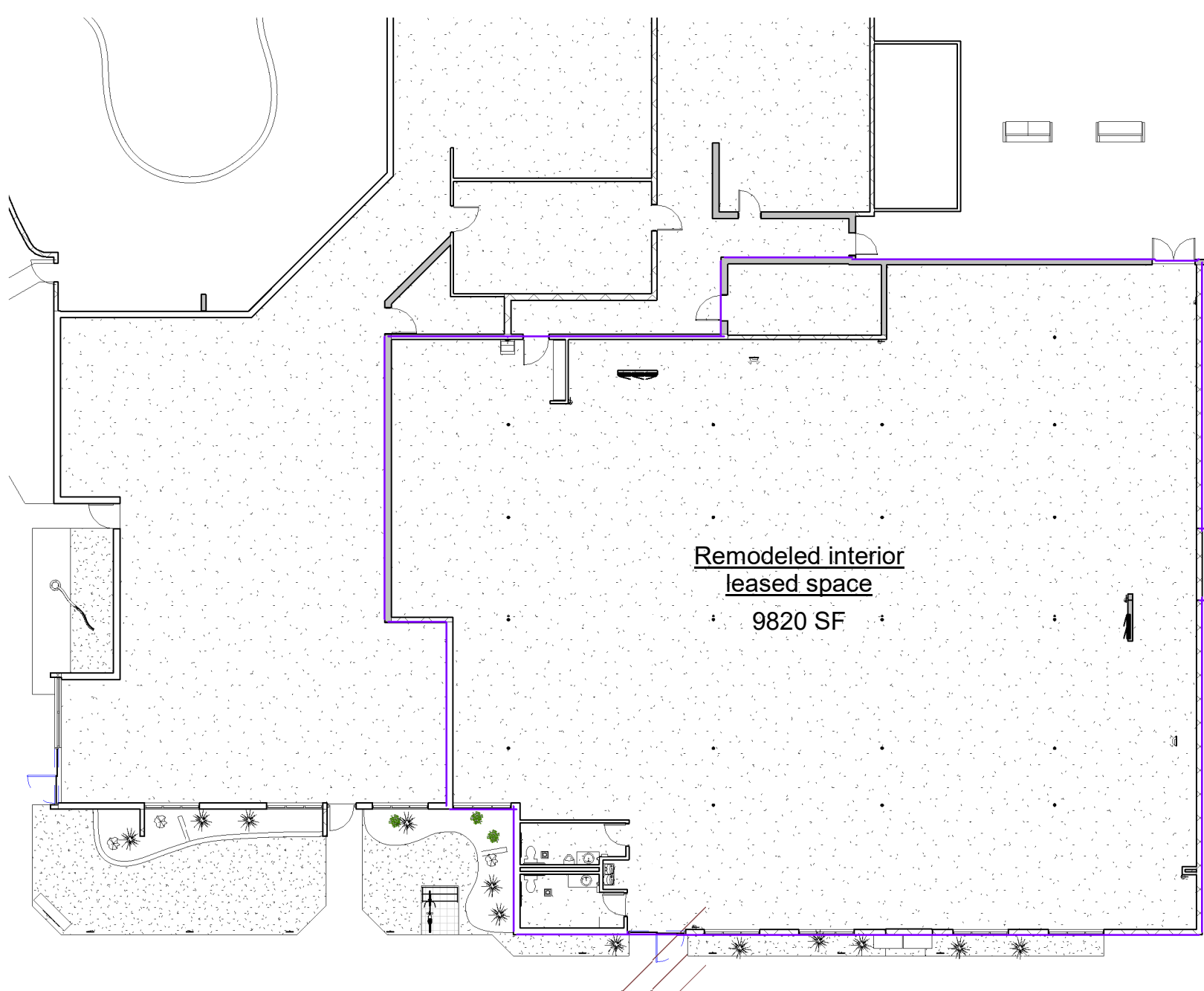
In compliance with the following Building Codes:

2018 ICC codes listed below:
International Building Code (IBC)
International Plumbing Code (IPC)
International Mechanical Code (IMC)
International Residential Code (IRC)
International Fuel Gas Code (IFGC)
International Fire Code (IFC)
International Energy Conservation Code (IECC)
2017 National Electrical Code

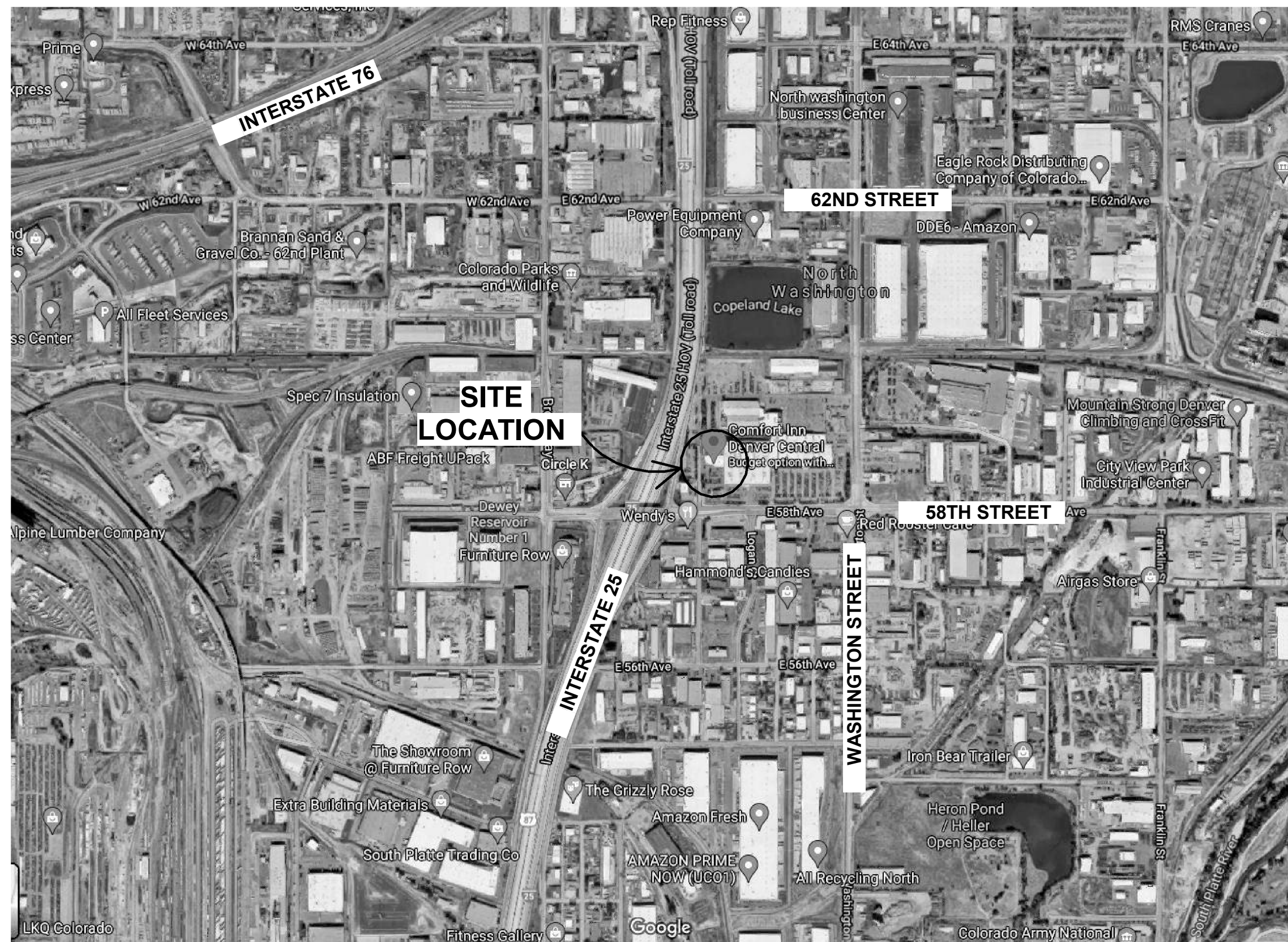
Sheet Legend

Sheet	Sheet Name
A1.0	Cover Sht.-Title- Maps, Etc.
A1.1	Floor Plans
A1.2	Demolition/Exst'g Plan
A1.3	Site Plan/Parking Plan
A1.4	Egress Plan
A1.5	Reflected Ceiling Plan
A1.6	Misc. Details/Toilet Plan/Elevs
A1.7	Shelving Plan
A1.8	Existing Landscape Plan

CONTACTS	
TENANT:	OWNER:
	MART LODGING, LLC BRUCE RAHMANI 10 EAST 120TH AVE. NORTHGLENN, COLORADO 80233 PHONE: 303.629.6332
BUILDING DEPARTMENT:	ARCHITECT:
ADAMS COUNTY COMMUNITY & ECONOMIC DEVELOPMENT DEPT. 4430 S. ADAMS COUNTY PKWY BRIGHTON, COLORADO 80601 PHONE: 720-523-6800 WWW.ADCOGOV.ORG	YZ ARCHITECTS, LLC DANIEL J. WALKER 1138 NORTHDRIDGE DRIVE ERIE, COLORADO 80516 PHONE: 303.818.8272 PLANS@DW57.COM



1 Tenant Finish Square Footage
1" = 20'-0"



VICINITY PLAN



Ace Hardware Plan
401 E. 58th Ave.
Denver, Colorado 80216

Revision Schedule

Rev. No.	Rev. Date	Revision Description
1	6/15/23	Fire Dept. comments
2	6/26/23	City Comments
3	7/17/23	City Comment Response

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DRAWN BY: Dan Walker
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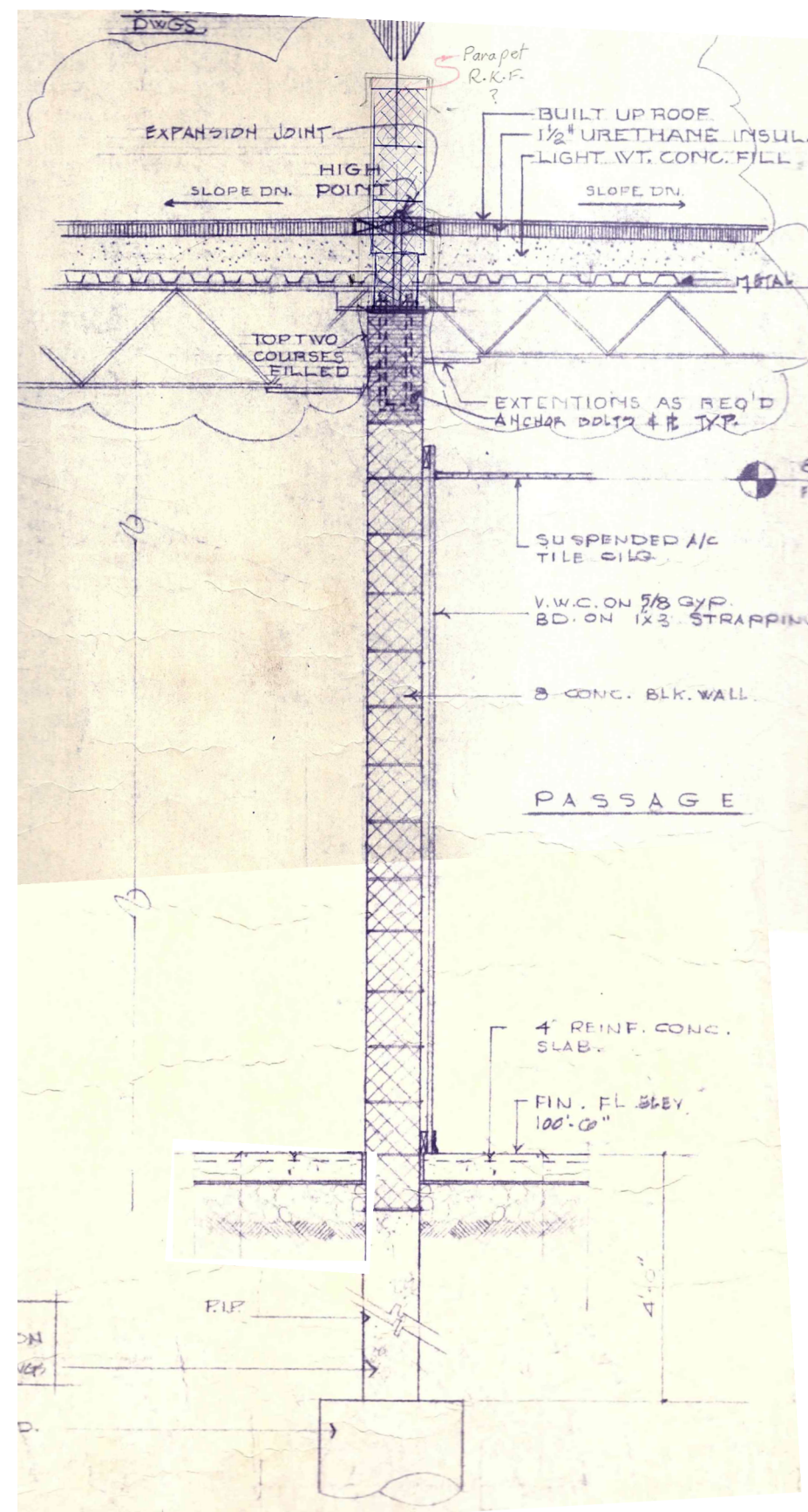
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Cover Sht.-Title- Maps, Etc.

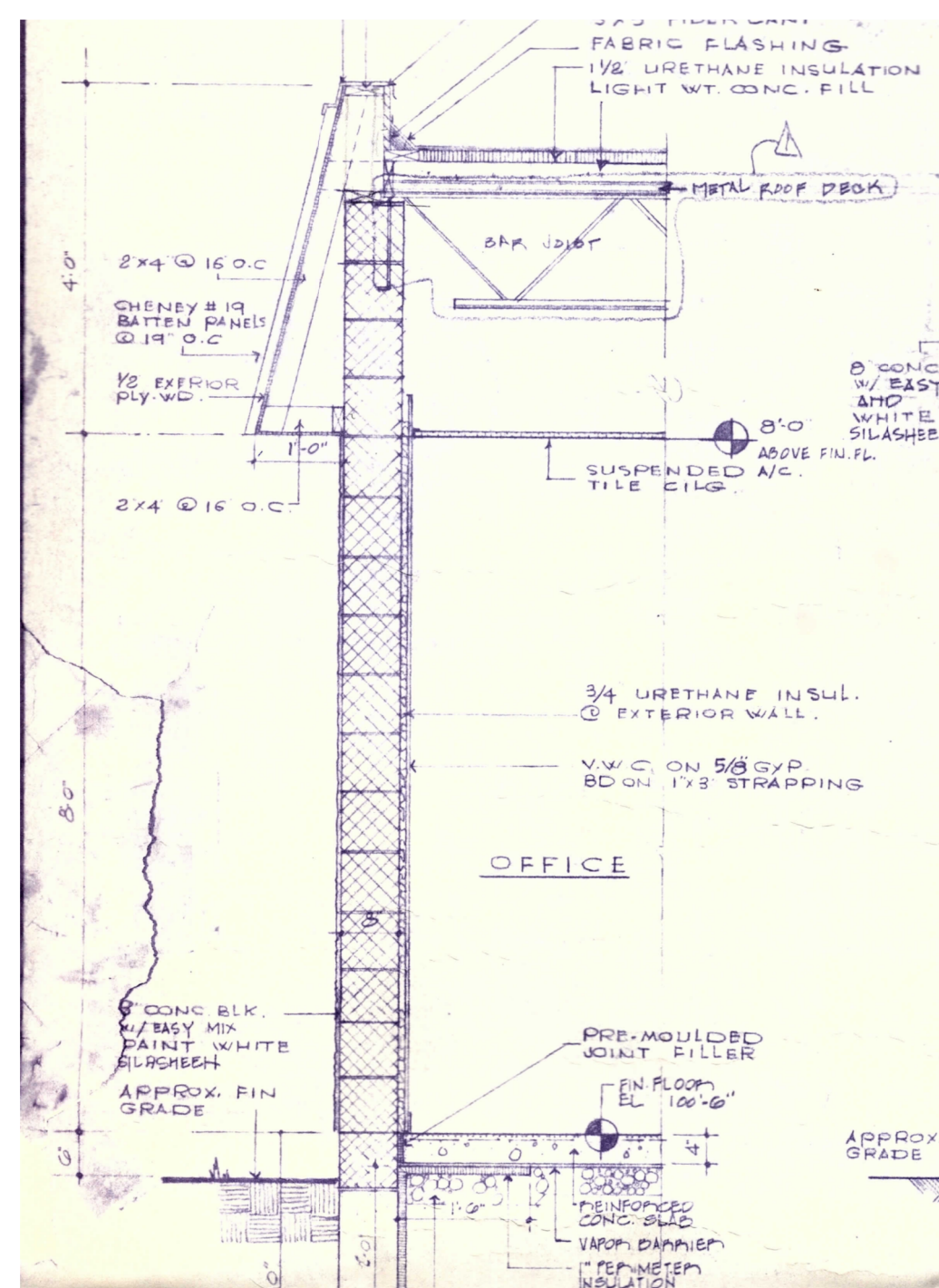
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A1.0

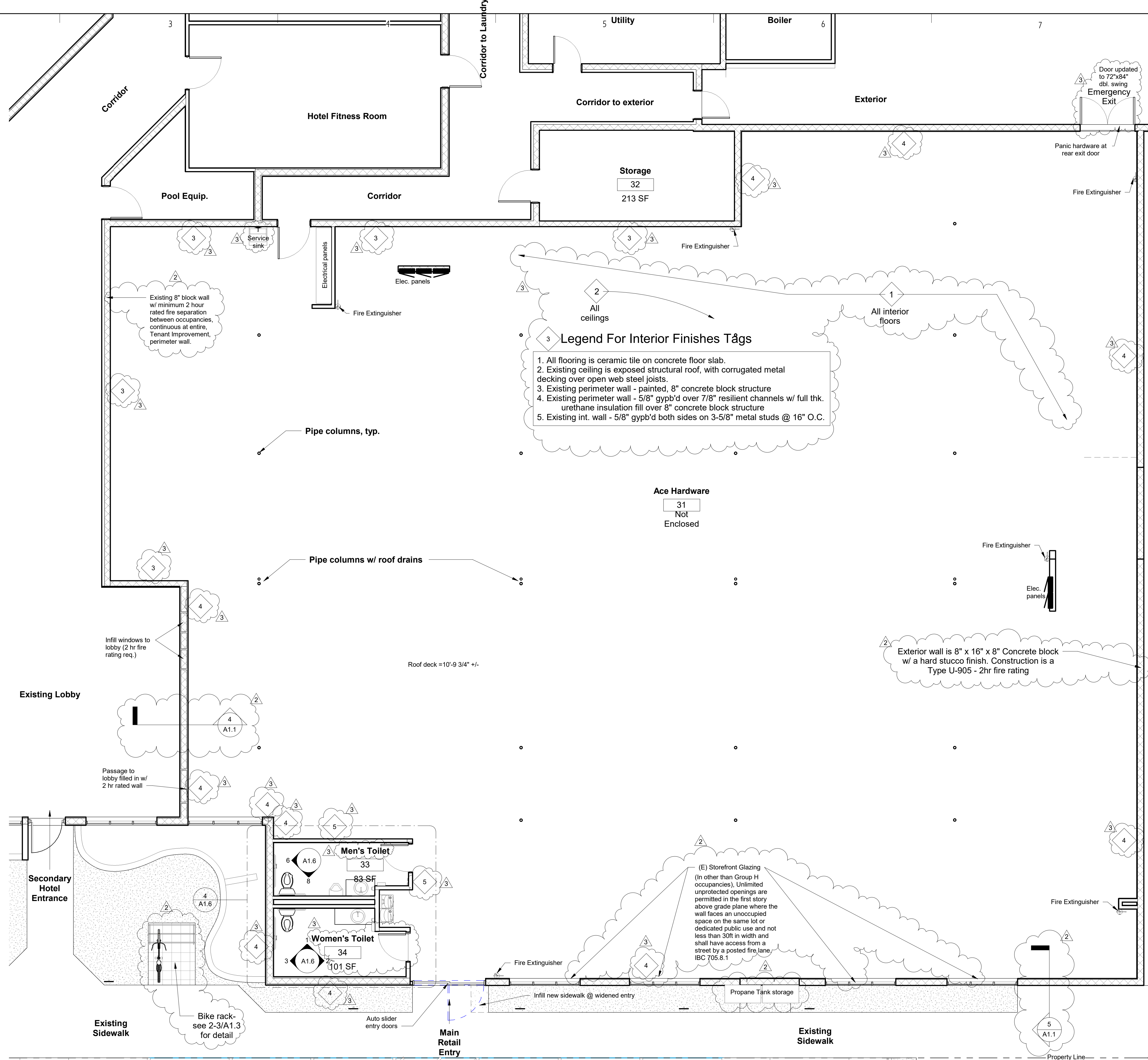
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4 Wall Section #1
3/4" = 1'-0"



5 Wall Section #2
3/4" = 1'-0"



Legend For Interior Finishes T&Gs

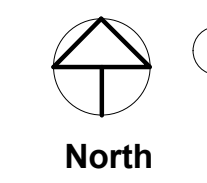
1. All flooring is ceramic tile on concrete floor slab.
2. Existing ceiling is exposed structural roof, with corrugated metal decking over open web steel joists.
3. Existing perimeter wall - painted, 8" concrete block structure
4. Existing perimeter wall - 5/8" gyp'd over 7/8" resilient channels w/ full thk. urethane insulation fill over 8" concrete block structure
5. Existing int. wall - 5/8" gyp'd both sides on 3-5/8" metal studs @ 16" O.C.

Ace Hardware

31 Not Enclosed

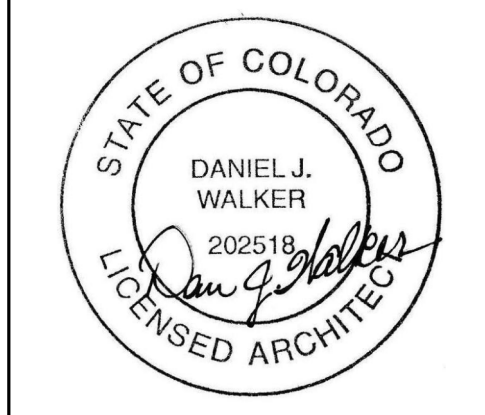
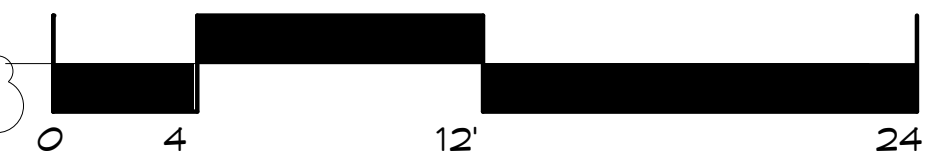
Exterior wall is 8" x 16" x 8" Concrete block w/ a hard stucco finish. Construction is a Type U-905 - 2hr fire rating

(E) Storefront Glazing
(In other than Group H occupancies), Unlimited unprotected openings are permitted in the first story above grade plane where the wall faces an unoccupied space on the same lot or dedicated public use and not less than 30ft in width and shall have access from a street by a posted fire lane, IBC 705.8.1



1 Main Level Retail Floor Plan
3/16" = 1'-0"

NOTE: See detail 1/A1.7 for shelving floor plan



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ARCHITECTURAL DESIGN SERVICES/
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Ace Hardware Plan
401 E. 58th Ave.
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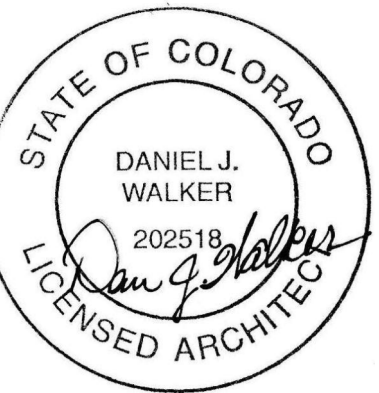
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Rev. No.	Rev. Date	Revision Description
1	6/15/23	File Dept. comments
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SHEET TITLE
Floor Plans

DATE: 5/30/23

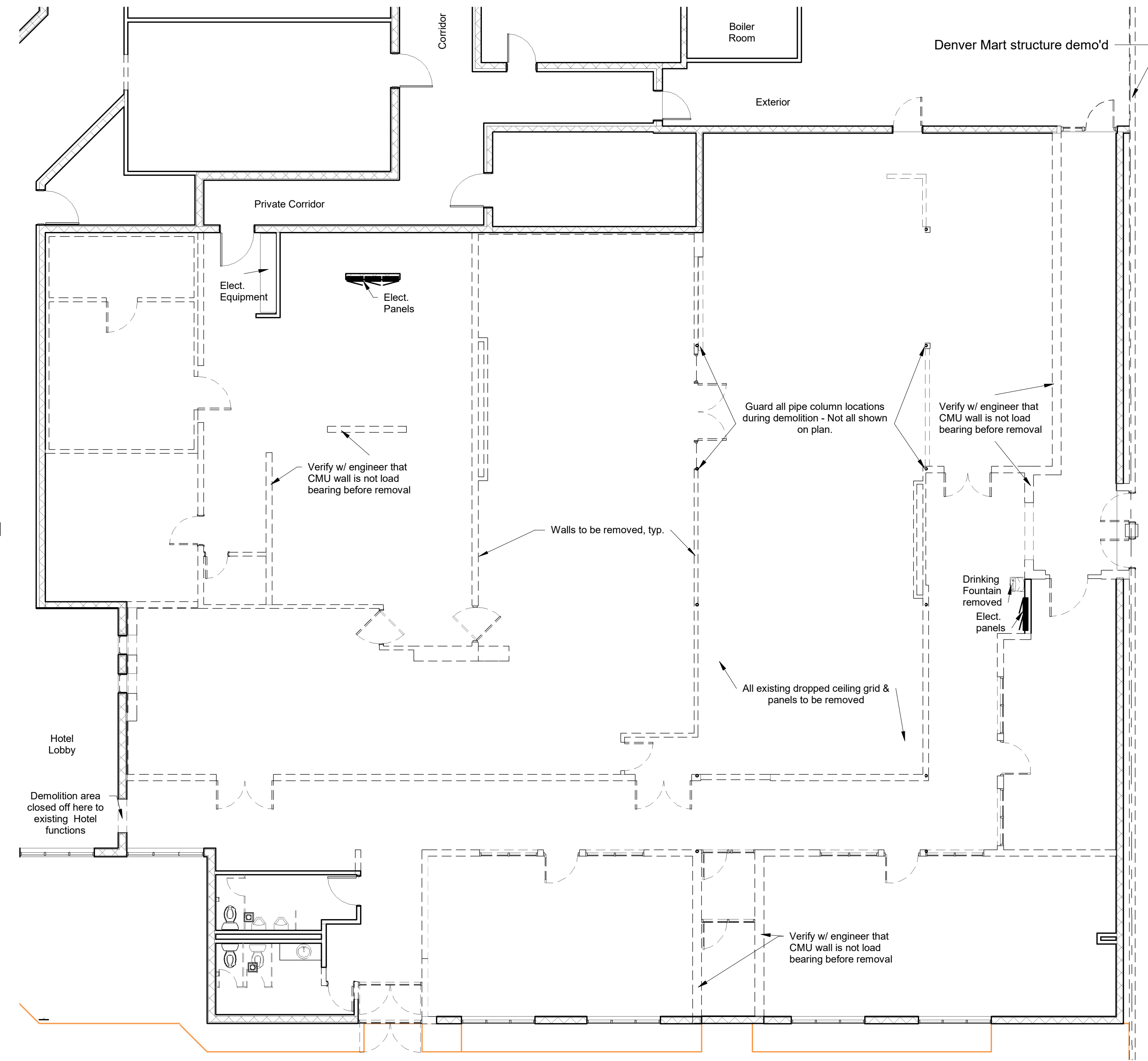
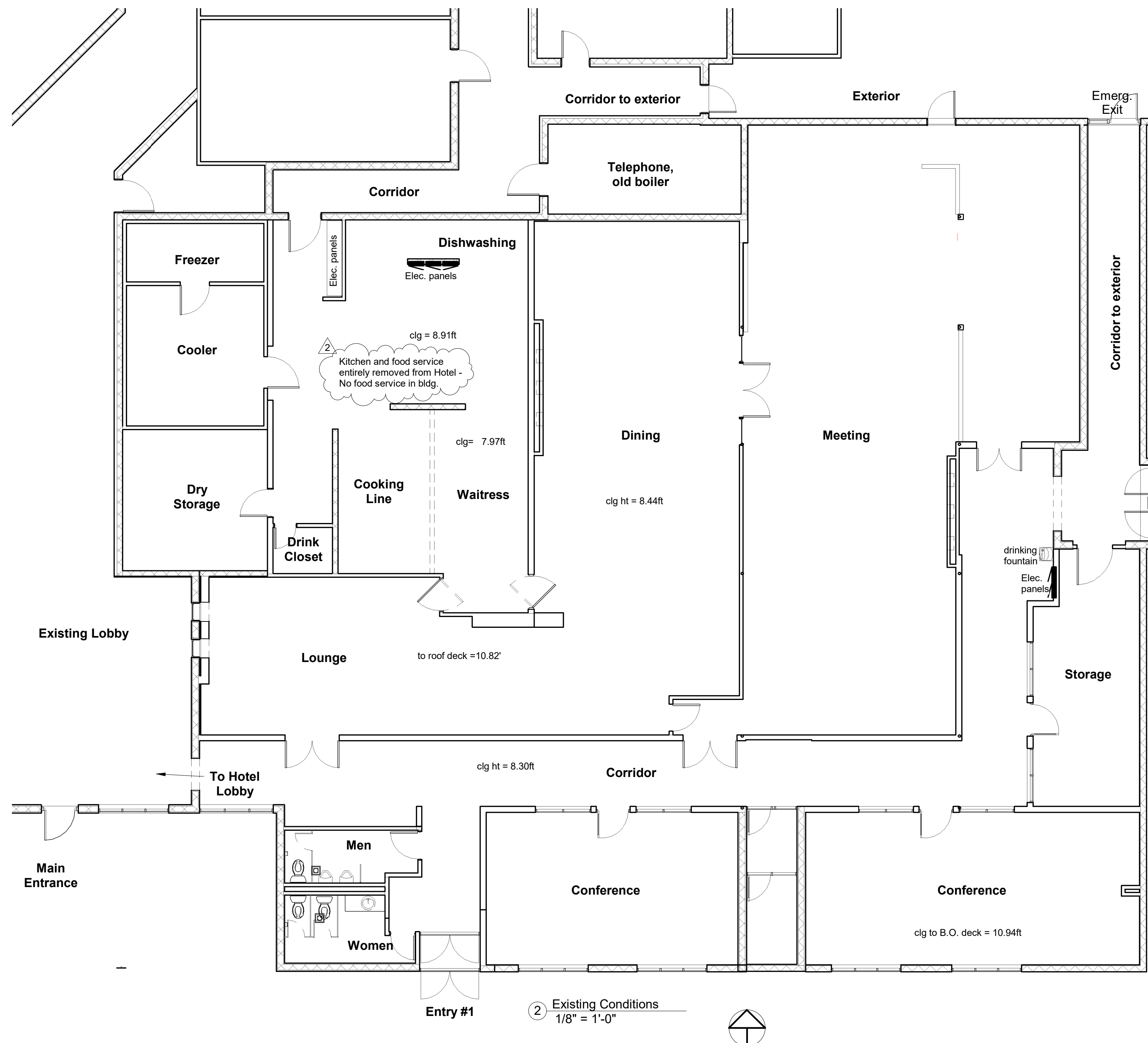
A1.1
SHEET #



YZ ARCHITECTS, LLC
 ARCHITECTURAL DESIGN SERVICES/
 LASER PRECISION AS-BUILTS
 1138 Northridge Drive
 Erie, Colorado 80516

Architect: Dan Walker
 Phone: 303-818-8272
 Email: plans@dw57.com

Ace Hardware Plan
401 E. 58th Ave.
Denver, Colorado 80216



Wall Legend

- Demolished walls, Equipment
- New wall construction
- Existing walls to remain



Note: Demolition was completed under separate, approved demo permit.

Revision Schedule

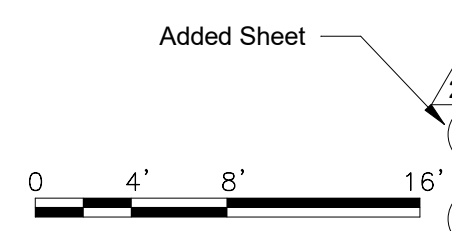
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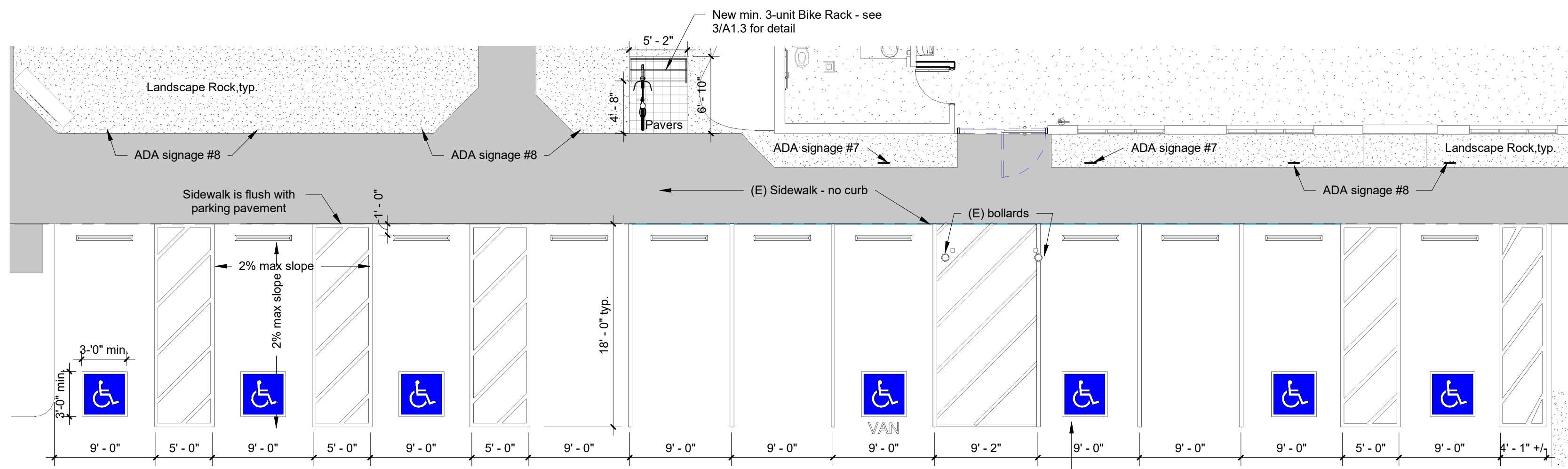
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 Demolition/Exst'g Plan

DATE: 6/27/23

A1.2
 SHEET #

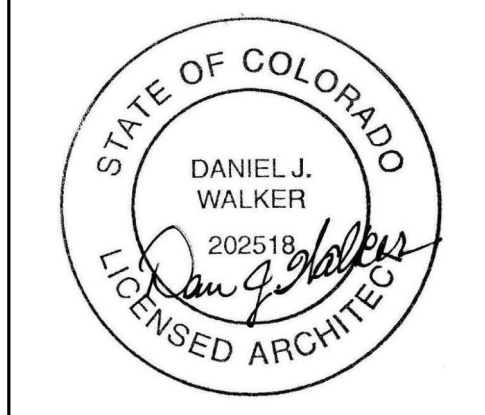


Added Sheet



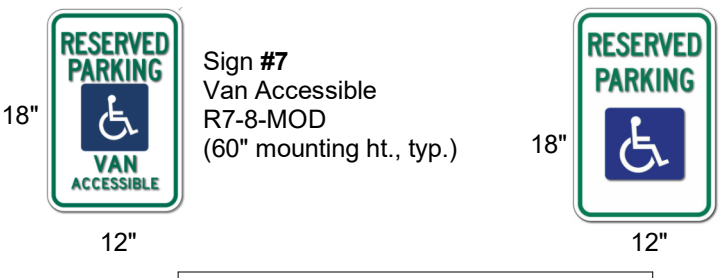
Legal Description
Mapleton Addition Amended No 5 Lot 3

Limited Changes to Site/Building Exterior
1. Additional 4 ADA parking units on adjacent property (dtl. 2/A1.3)
2. New parapet wall w/ signage (dtl. 2/A1.4)



YZ ARCHITECTS, LLC
ARCHITECTURAL DESIGN SERVICES/
LASER PRECISION AS-BUILTS
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Erie, Colorado 80516

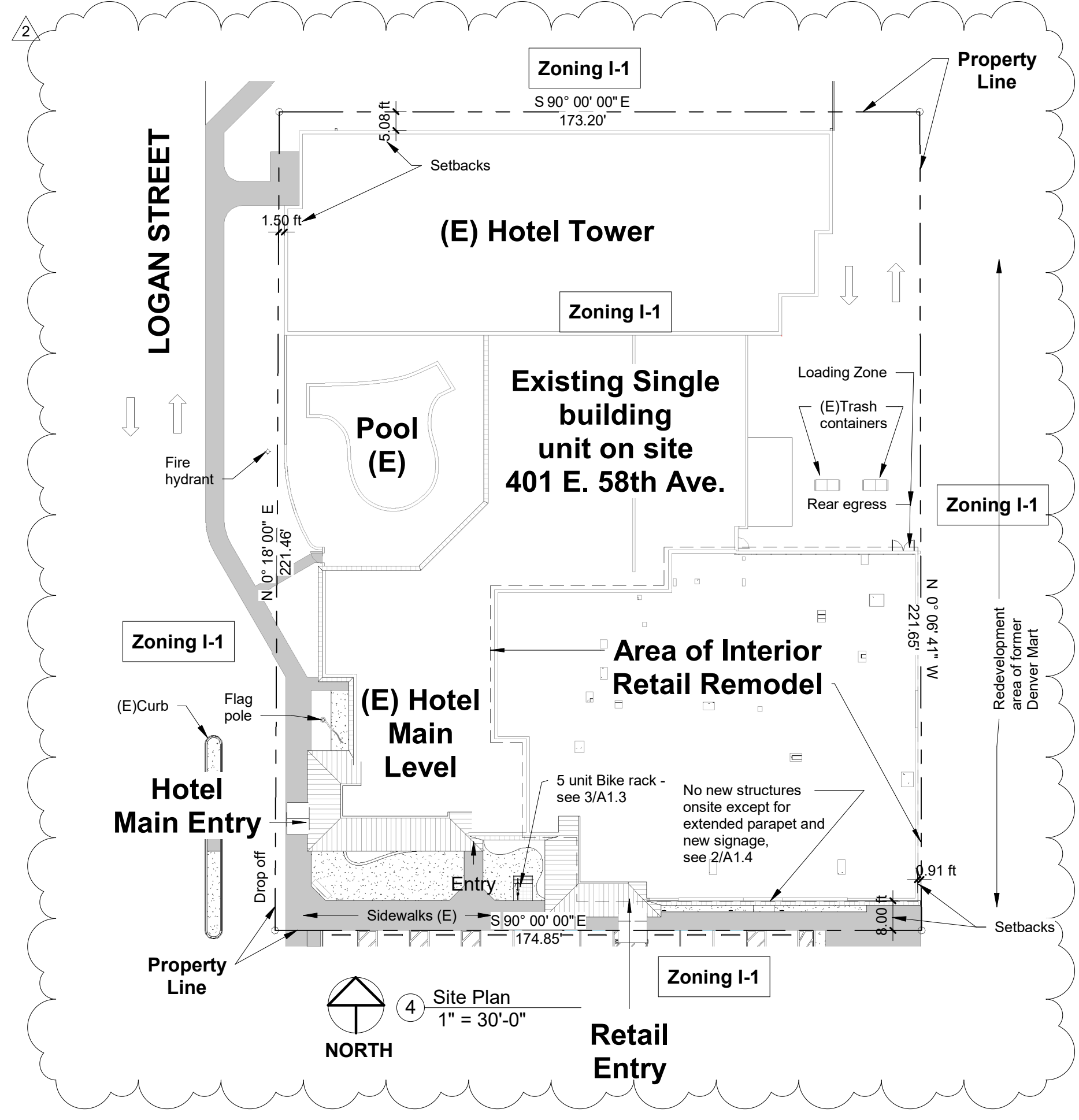
Architect: Dan Walker
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Email: plans@dw57.com



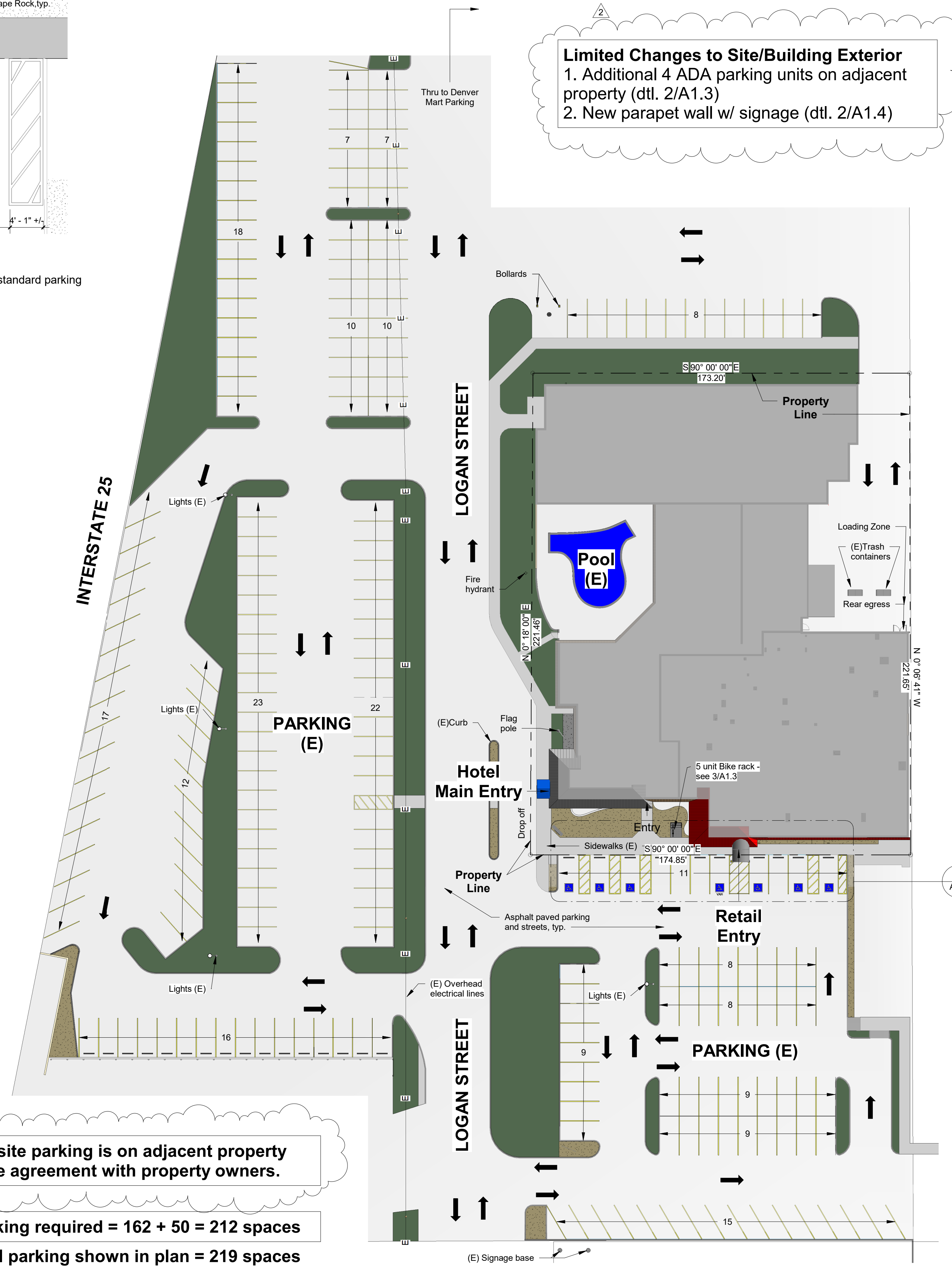
Note: 5 signs are post mtd., 2 signs are wall mounted

2 Offsite Accessible Parking Plan
1/8" = 1'-0"

NOTE: Only change to exterior parking design is 5 standard parking spaces converted to 4 ADA parking spaces.



4 Site Plan
1" = 30'-0"

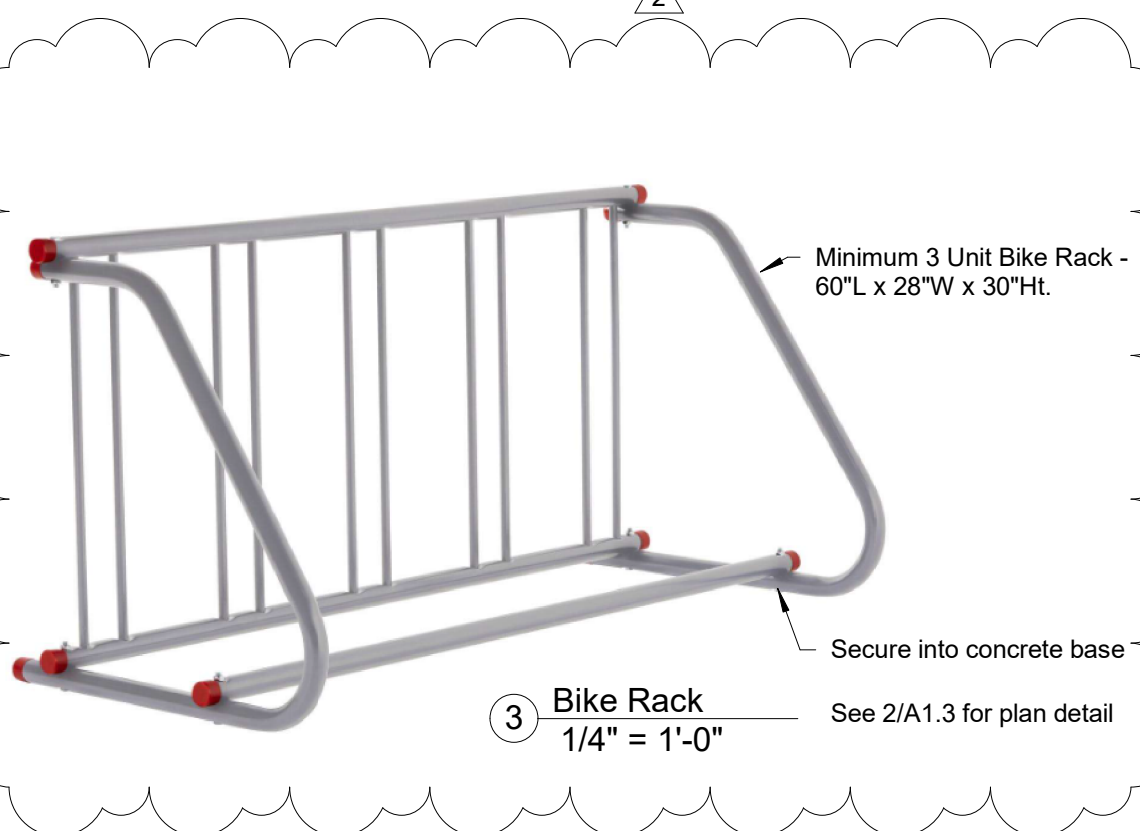


Note: All site parking is on adjacent property with a use agreement with property owners.

Total parking required = 162 + 50 = 212 spaces
Total parking shown in plan = 219 spaces
Required ADA accessible spaces = 7 (including 1 van)

Parking Spaces - Table 801.2.1

Hotel/Motel = 1 Parking space per sleeping unit
Hotel Rooms: Total: 162 Rooms Hotel requires 162 parking spaces
Proposed Retail Space
Retail = 1 Parking space per 200 Gross square feet
Hardware Store: = 9,809 SF @ 1 per 200SF = 50 parking spaces



Ace Hardware Plan
401 E. 58th Ave.
Denver, Colorado 80216

Revision Schedule

Rev. No.	Rev. Date	Revision Description
1	6/15/23	File Dept. comments
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3	7/17/23	City Comment Response

PROJECT NO.: 2021-431
CAD FILE NAME: *Comfort Ace Hardware Comfort Ace Hardware*
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SHEET TITLE
Site Plan/Parking Plan

DATE: 6/26/23

A1.3
SHEET #

2018 IBC Chapter 10 Compliance Summary

- Section 1001.1 Scope.**
Acknowledged
- Section 1001.2 - Change of Occupancy within a building that results in a different fire protection system requirement of Chapter 9 of the IBC - Requires Approval of the Code Official and a new Certificate of Occupancy issued once requirements are met.**
No existing sprinkler system. Sprinklers not required by code - Area of remodel is less than 12,000 SF (9,816), is on the 1st level and doesn't display furniture/mattresses per IBC 903.2.7
- Section 1001.2.2 - Change of Occupancy Classification or Group**
Only a portion of building changed occupancy, therefore see 1001.2.2.1 requirement below - #4
- Section 1001.2.2.1 Partial Change of Occupancy - Where the occupancy classification or group of a portion of an existing building is changed, Section 1011 shall apply (see below).**
Only a partial change of occupancy (9,816SF of 68,045SF)
- Section 1001.3 - Certificate of occupancy required.**
Acknowledged
- Section 1011 - Change of Occupancy Classification**
Section 1011.1.1.2 - Change of Occupancy Classification with separation.
Acknowledged - Existing conditions comply with IBC, Chptr 9, per 903.2.7, #1
- Section 1011.1.2 - Fire Protection and interior finish.**
Acknowledged
- Section 1011.1.3 - Change of occupancy classification based on hazard category.**
Acknowledged
- Section 1011.2 - Fire Protection Systems.**
Acknowledged
- Section 1011.2.1 - Fire sprinkler system.**
No existing sprinkler system. Sprinklers not required by code - Area of remodel is less than 12,000 SF (9,816), is on the 1st level and doesn't display furniture/mattresses per IBC 903.2.7
- Section 1011.2.2 - Fire Alarm & Detection Systems.**
Fire alarm system updated and approved under separate permit w/ Adams Co. Fire Dept.
- Section 1011.3 - Interior Finish**
All interior finishes comply with Chapter 8 of 2018 IBC. For non-sprinklered, interior rooms and enclosed spaces in Group M Occupancy, interior walls and ceiling finish required to be Class C rated.
See Interior Finish Tags & Notes, detail 1/ A1.1.
- Section 1011.4 - Means of Egress, general.**
Table 1011.4 - Means of Egress Hazard Categories
Hazard category for Mercantile occupancy is rated '3'.
Section 1011.4.1 - Means of egress for change to a higher-hazard category
Change in occupancy does not change to a higher hazard category. Previous occupancy A - (restaurant, dining, bar, meeting rooms), is same as new M occupancy.
Section 1011.4.2 - Means of egress for change of use to an equal or lower-hazard category.
Means of egress meets requirements of Section 805 and 905.2. See detail 1/A1.4. Egress unchanged.
- Section 1011.4.3 - Egress capacity**
Capacity of means of egress components = Occupant load (164) X 0.2 inches = 33 inches. Each of 2 exit doors exceed 33 inch wide egress. (Approx. 68 inches total) See detail 1/A1.4.
- Section 1011.4.4 - Handrails**
No handrails in project
- Section 1011.4.5 - Guards**
No guardrails in project
- Section 1011.5 - Heights and Areas**
Occupancy class is changed from an A-2 to M, which is a higher relative hazard category per Table 1011.5 which requires building to comply with Chptr 5 of IBC - see below.
- Section 1011.5.1 - Height and area for change to a higher-hazard category.**
The unchanged single story portion of the building that is changing occupancy, meets the allowable building height for an M occupancy (160 feet) in Table 504.3 & Table 504.4 in 2018 IBC and is below the 'Unlimited Area' that is allowed in Table 506.2 (9,816 SF).
- Section 1011.5.1.1 - Fire Wall Alternative.**
Not necessary/applicable
- Section 1011.5.1.2 - Height and area for change to an equal or lesser-hazard category.**
Not applicable
- Section 1011.5.3 - Fire barriers**
Only fire walls in project, No fire barriers
- Section 1011.6 - Exterior Wall - resistance ratings.**
Table 1011.6 - M occupancy = #2 Relative Hazard category.
- Section 1011.6.1 - Exterior wall rating for change of occupancy classification to a higher-hazard category.**
Exterior walls are allowed a 2-hour fire-resistance rating where a building does not exceed 3 stories in height and is classified an M occupancy such as this project (2hr exterior walls, 1 story in height).
- Section 1011.6.2 - Exterior wall rating for change of occupancy classification to an equal or lesser-hazard category.**
Not applicable
- Section 1011.6.3 - Opening protectives**
See Window note, Detail 1/A1.1 per IBC 705.8.1
- Section 1011.7 - Enclosure of vertical shafts.**
No vertical shafts in project - No stairways/stairwells

FULL STORE BASE DECK COUNT

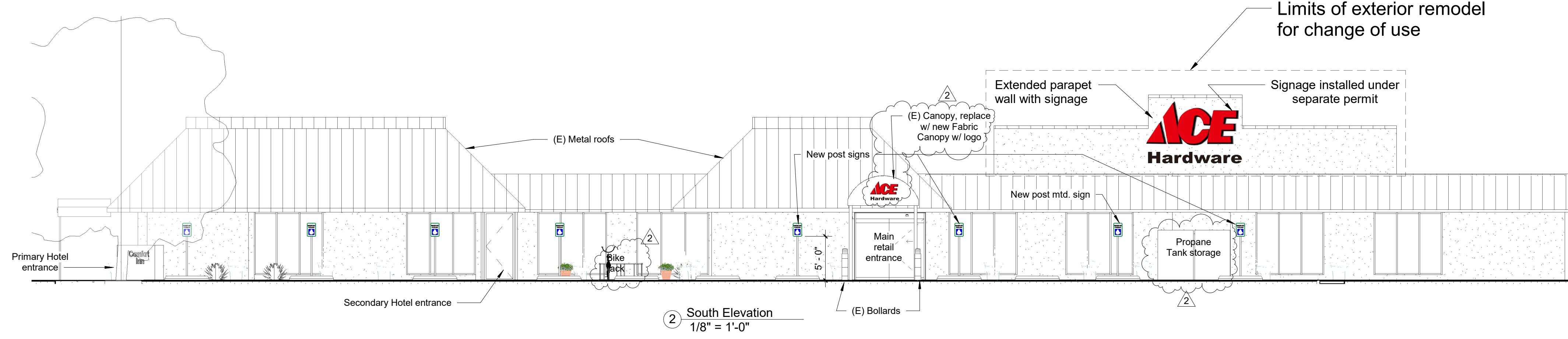
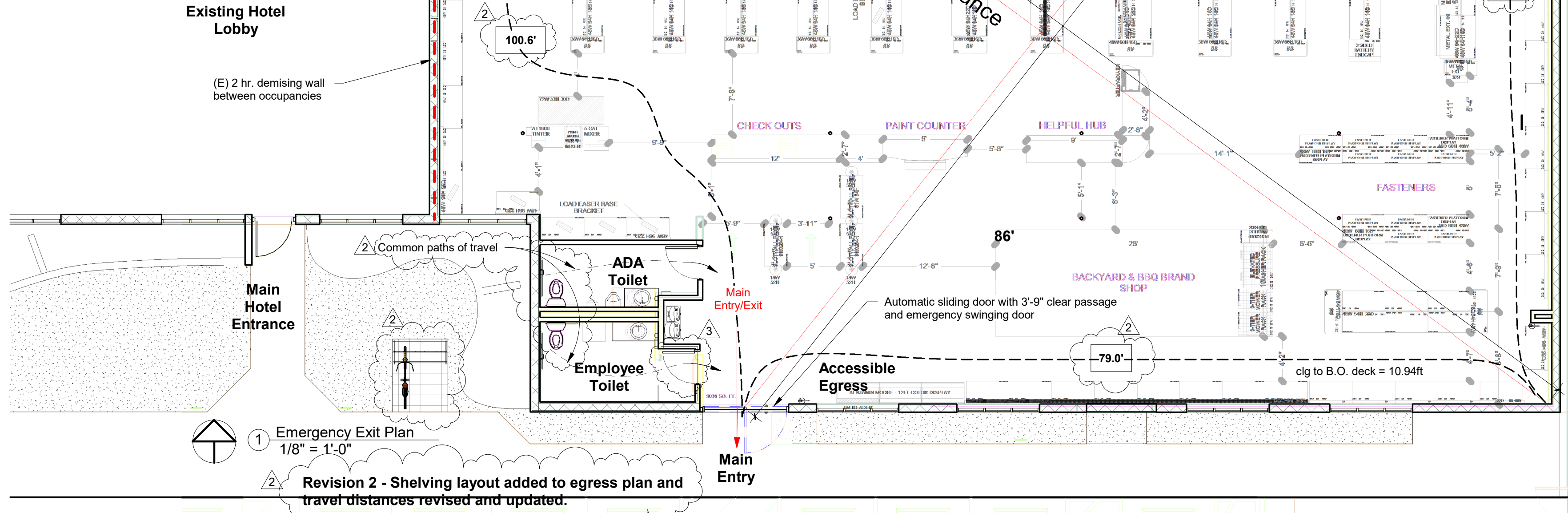
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2	BEAND SECTION	EB4816 FP
229	BEAND SECTION	EB4816 FP
25	BEAND SECTION	EB4816 FP
30	BEAND SECTION	EB4822 FP
37	WALL SECTION	WB4822 FP
204		

BACK STORE BASE DECK COUNT

Count	FIXTURE TYPE	Name
136	BEAND SECTION	EB4816 FP
10	BEAND SECTION	EB4816 FP
10	BEAND SECTION	EB4822 FP
16	TRAY DUTY	EB4822 FP
30	WALL SECTION	WB4822 FP
294		

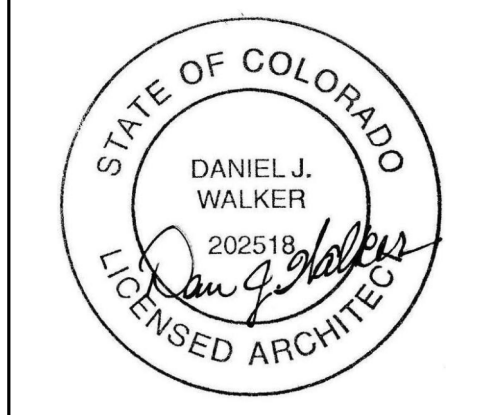
FRONT STORE BASE DECK COUNT

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5	CASE	DM5402 FP
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67	BEAND SECTION	EB4816 FP
13	BEAND SECTION	EB4816 FP
18	BEAND SECTION	EB4822 FP
37	WALL SECTION	WB4822 FP
174		



Mercantile space = 9,816 gross SF
= 8,944 usable SF

- Occupant Load - 1004.5 - Mercantile = 60 gross Occupant Load Factor. GSF = 9,816 / 60 = 164 Max. Occ. Load
- Means of Egress Door Sizing: 1005.3.2 - Capacity in inches = O.L. - 164 x .2 in. = 32.8 inches minimum egress exit width (see exit door widths in plan above)
- Exits - 1006.3.2 - 1-500 Occ. Load = Min. 2 Exits
- Distance Btwn Exits - 1007.1.1 - Distance apart equal to not less than 1/2 of the length of the maximum overall diagonal dimension of building or area to be served.
139.63' Diagonal Distance / 2 = 69.81'
Distance btwn exits = 119.53' not less than 69.81'
- Exit Access Travel Dist. - 1017.2 - 'M' occupancy, without sprinkler system = 200 feet max. - see max travel distances in plan above, and common paths of travel.



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Revision Schedule

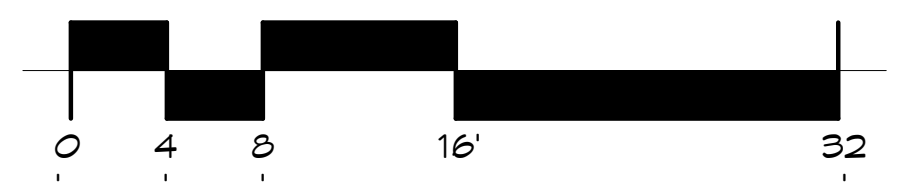
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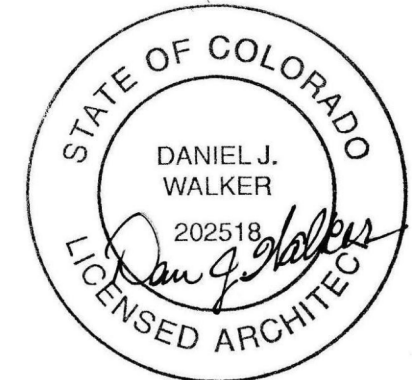
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SHEET TITLE
Egress Plan

DATE: 5/30/23

A1.4
SHEET #





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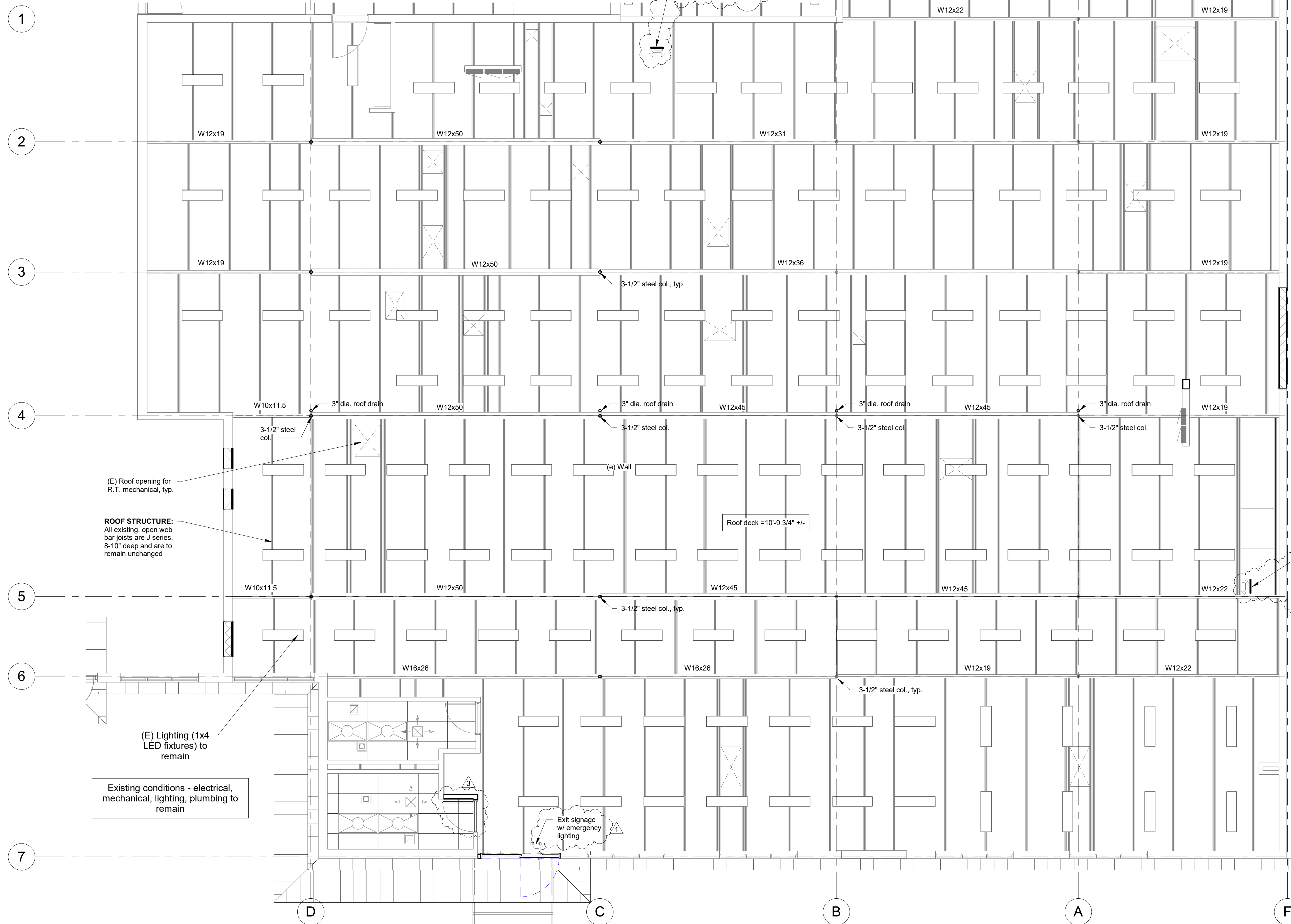
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SHEET TITLE
 Reflected Ceiling Plan

DATE: 5/30/23

A1.5
 SHEET #



Ceiling Legend

- 1 x 4 LED fixture
- 7" recessed can light -
- 10" recessed can light -
- Surface mt'd LED light
- Wall sconce
- Sprinkler head - (E) modify for any new clg. elev.
- Directional recessed can light
- Speaker
- Exit signage
- SD Smoke detector
- 2 x 2 return air diffuser
- 2 x 2 supply air diffuser
- 2 x 2 ACT Ceiling/Grid
- Emergency Lighting and illuminated Exit sign
- Emergency Lighting w/ battery

(E) Roof opening for R.T. mechanical, typ.

ROOF STRUCTURE:
 All existing, open web bar joists are J series, 8'-10" deep and are to remain unchanged

(E) Lighting (1x4 LED fixtures) to remain

Existing conditions - electrical, mechanical, lighting, plumbing to remain

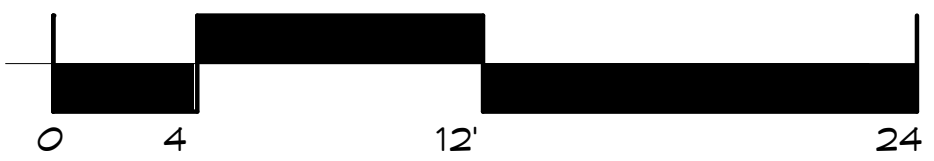
Emergency exit lighting, battery powered. lights to point both ways along back aisle, ceiling mount as necessary.

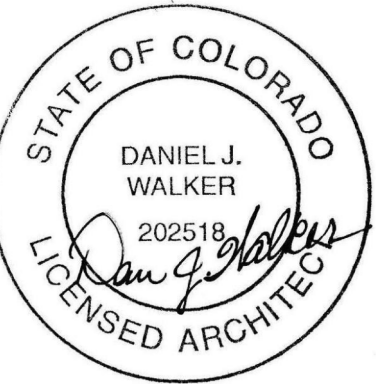
Exit signage w/ emergency lighting

Emergency exit lighting, battery powered. One light to point up the back aisle towards North exit door. Other light to point forward down front aisle, ceiling mount as necessary.

Also see Fire Alarm update drawings under separate permit: Record BDP23-0193

1 Reflected Ceiling Plan
 3/16" = 1'-0"





YZ ARCHITECTS, LLC
 ARCHITECTURAL DESIGN SERVICES/
 LASER PRECISION AS-BUILTS
 1138 Northridge Drive
 Erie, Colorado 80516

Architect: Dan Walker
 Phone: 303-818-8272
 Email: plans@dw57.com

Ace Hardware Plan
401 E. 58th Ave.
Denver, Colorado 80216

Revision Schedule

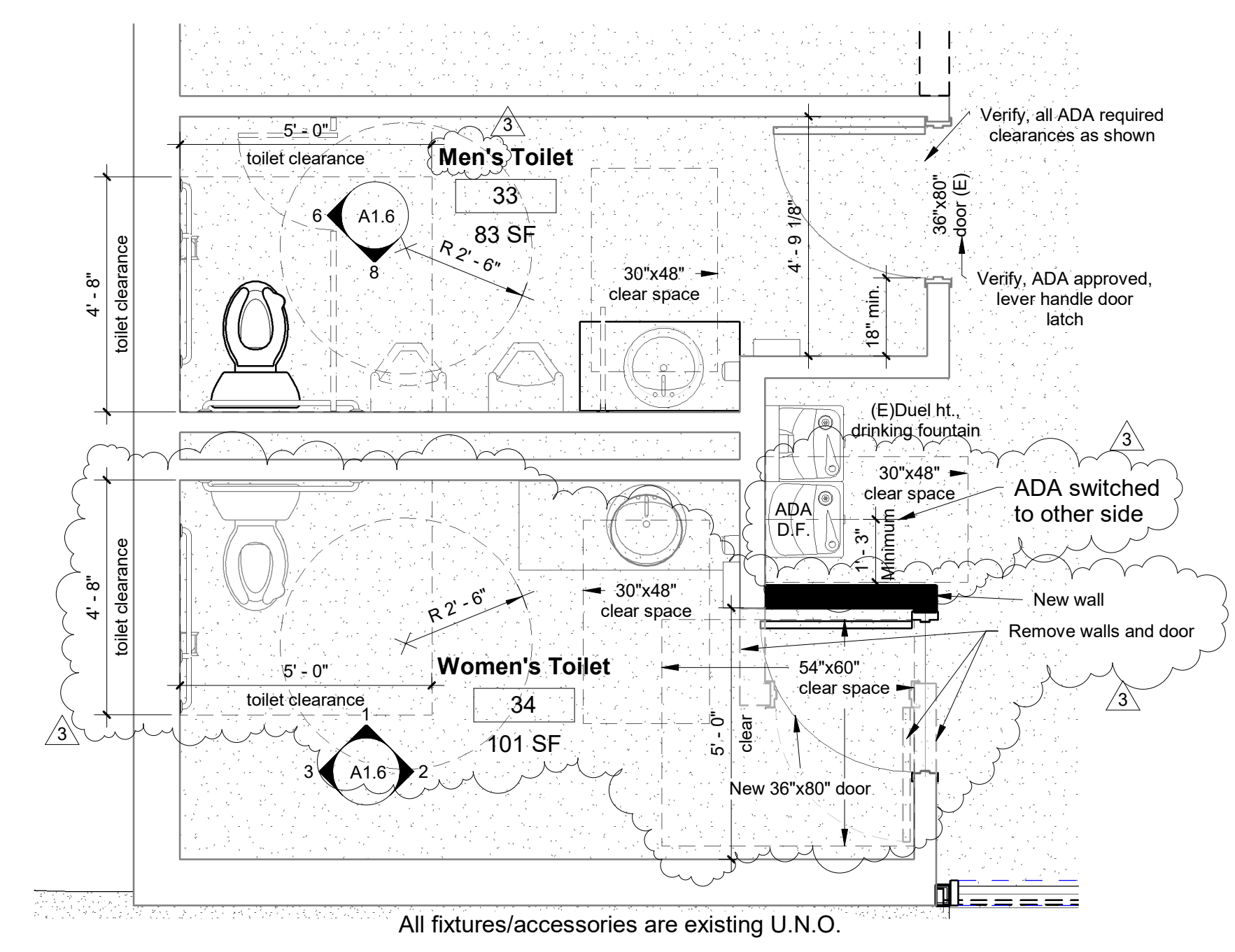
Rev. No.	Rev. Date	Revision Description
1	6/15/23	Fire Dept. comments
2	6/26/23	City Comments
3	7/17/23	City Comment Response

PROJECT NO.: 2021-431
 CAD FILE NAME: C:\Users\jwalker\OneDrive\Files\431-
 DRAWN BY: Comfort Ace Hardware\Comfort Ace
 CHECKED BY: C:\Users\jwalker\OneDrive\Files\431-
 12/24
 COPYRIGHT:
 YZ ARCHITECTS, LLC

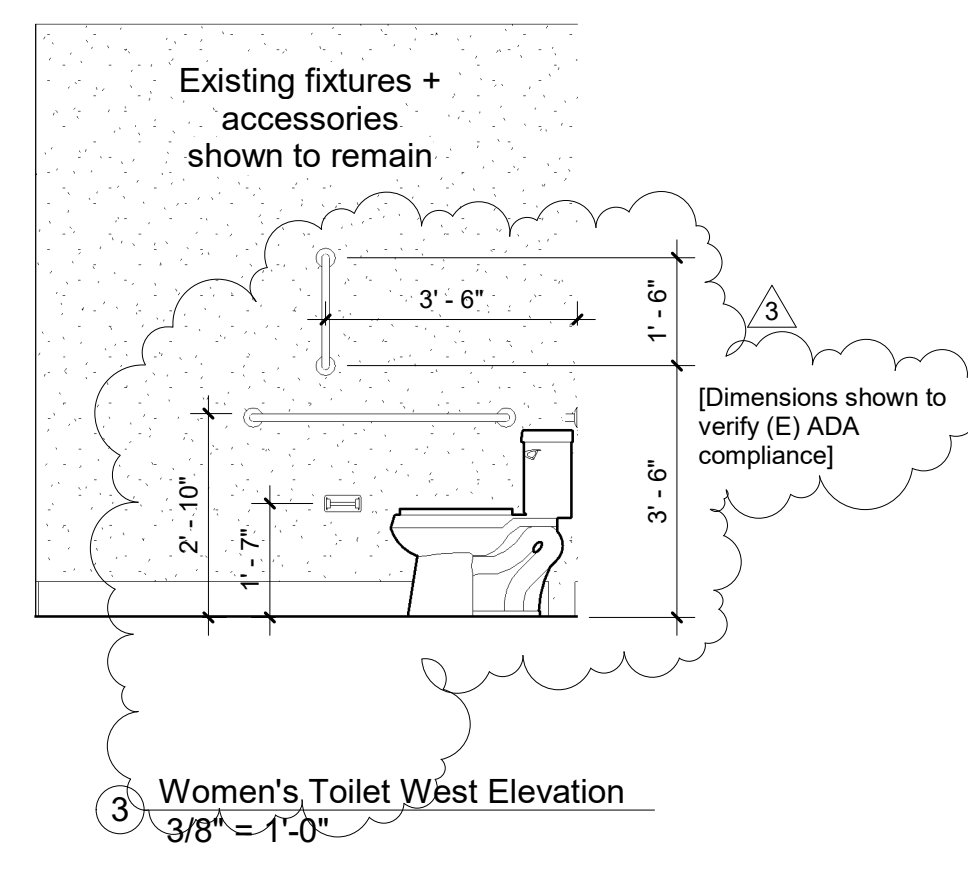
SHEET TITLE
 Misc. Details/Toilet Plan/Elevs

DATE: 5/30/2023

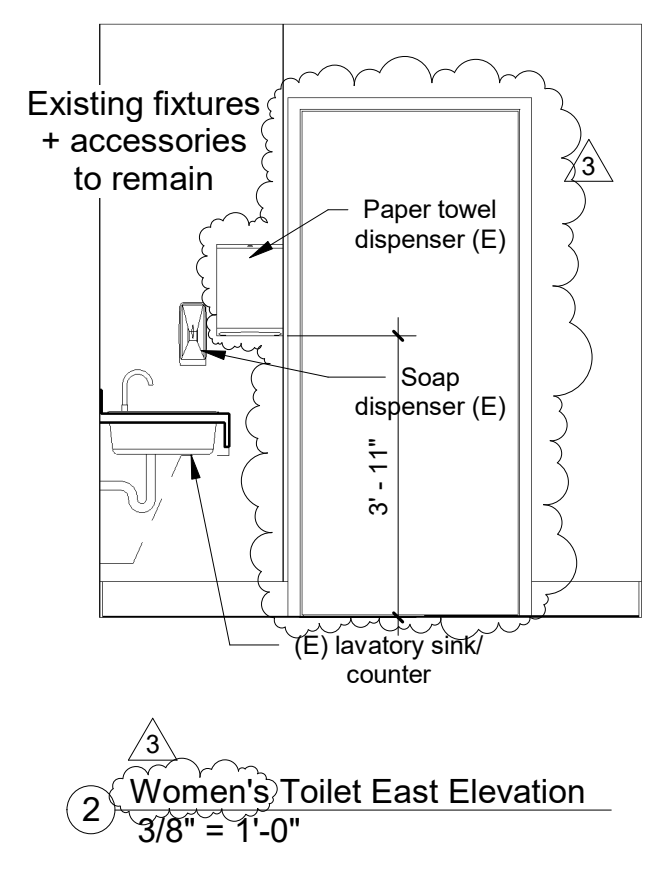
A1.6
 SHEET #



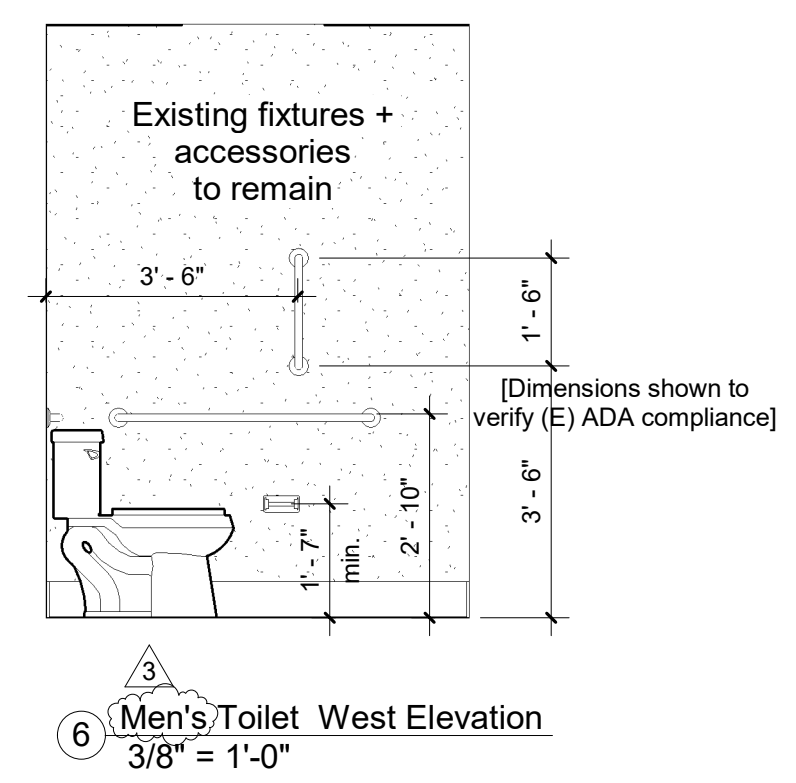
4 Toilet Rooms Detail Plan
 3/8" = 1'-0"



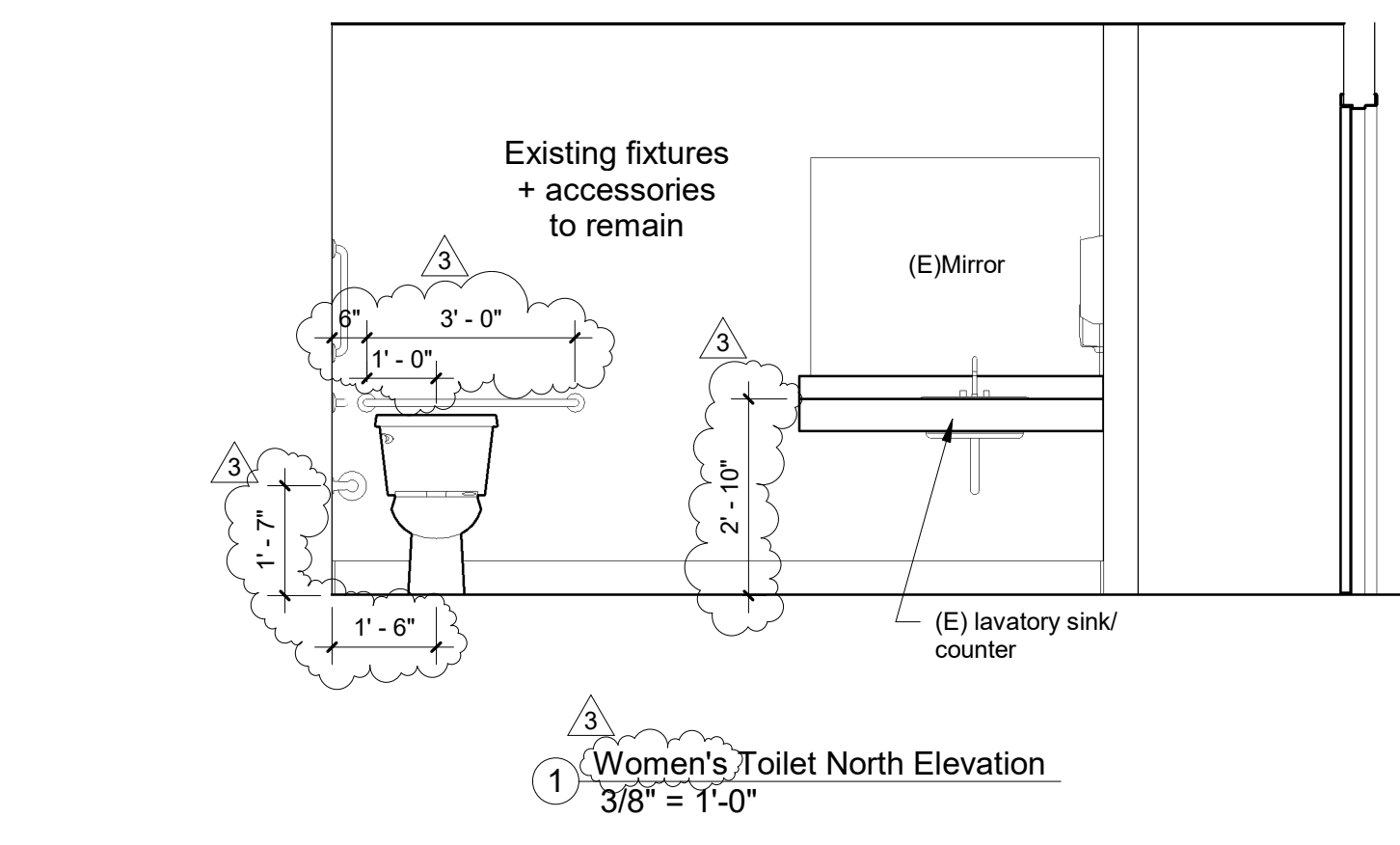
3 Women's Toilet West Elevation
 3/8" = 1'-0"



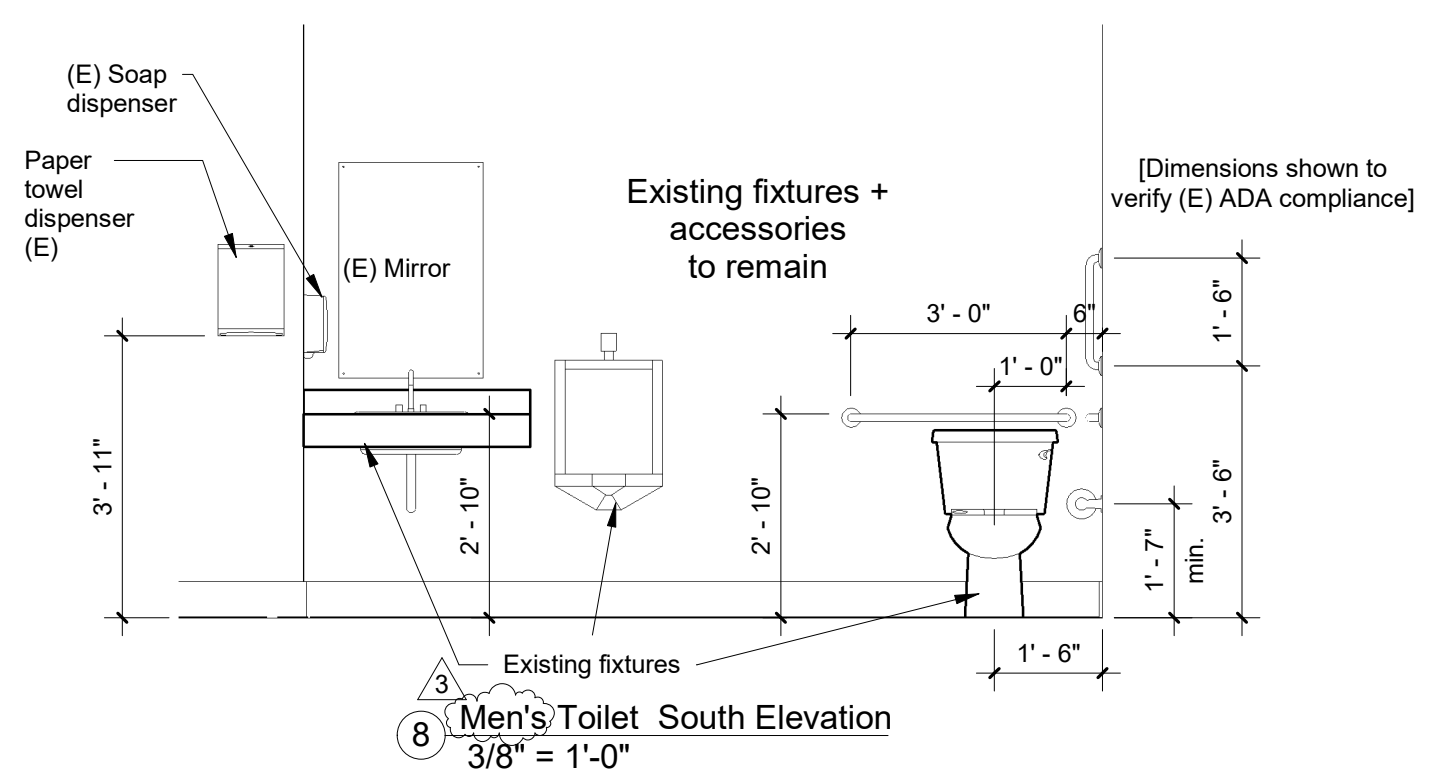
2 Women's Toilet East Elevation
 3/8" = 1'-0"



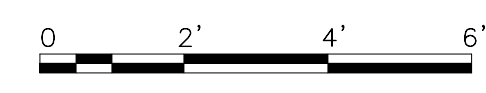
6 Men's Toilet West Elevation
 3/8" = 1'-0"

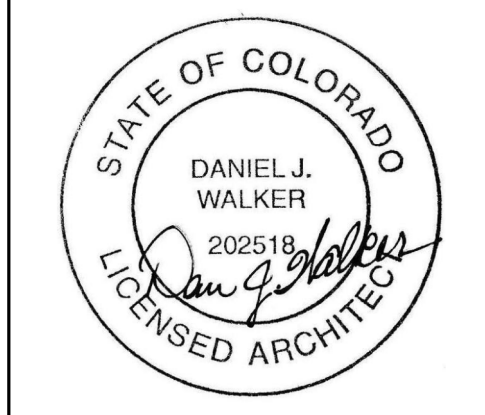
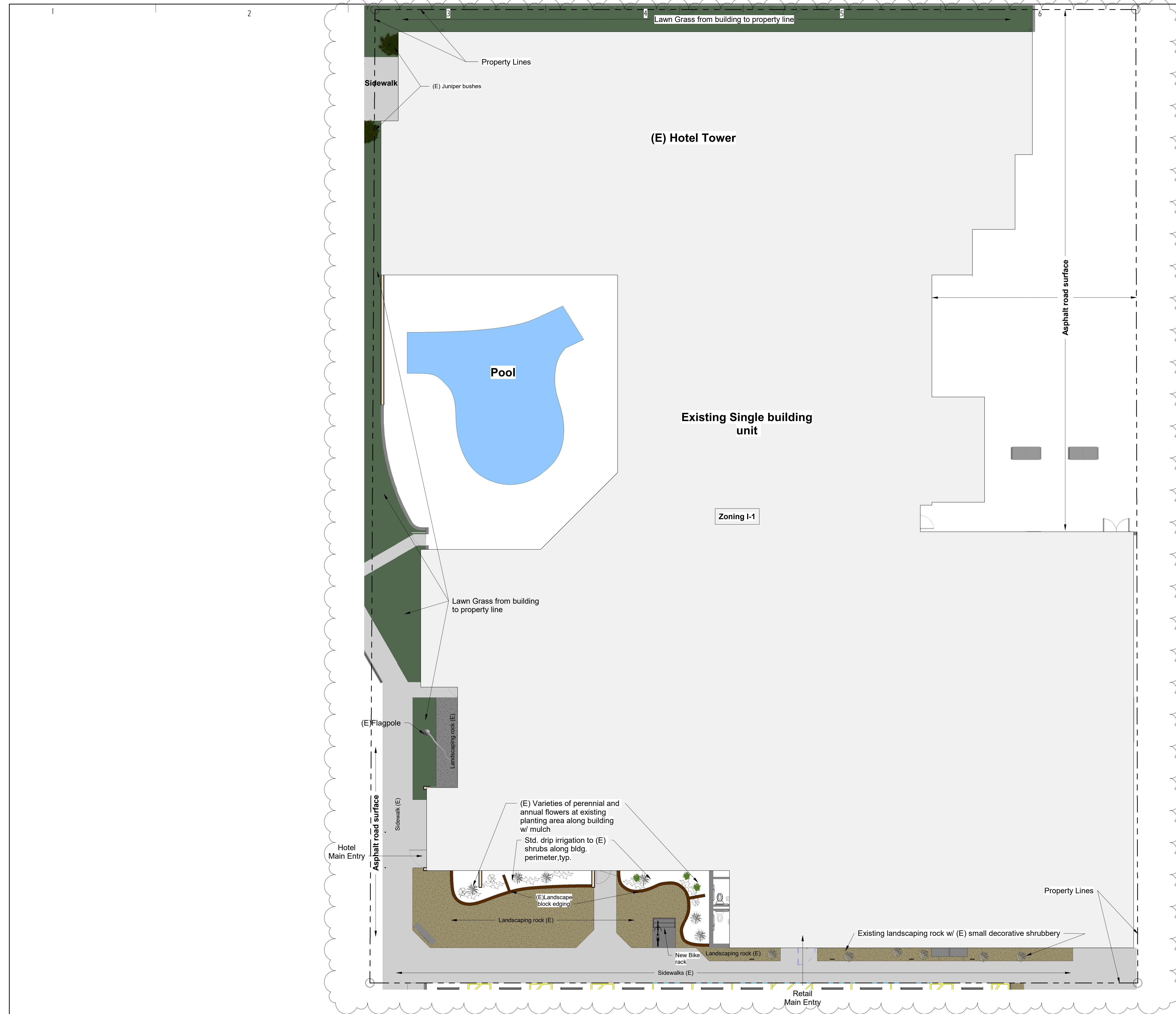


1 Women's Toilet North Elevation
 3/8" = 1'-0"



8 Men's Toilet South Elevation
 3/8" = 1'-0"





YZ ARCHITECTS, LLC
 ARCHITECTURAL DESIGN SERVICES/
 LASER PRECISION AS-BUILTS
 1138 Northridge Drive
 Erie, Colorado 80516

Architect: Dan Walker
 Phone: 303-818-8272
 Email: plans@dw57.com

Ace Hardware Plan
401 E. 58th Ave.
Denver, Colorado 80216

Revision Schedule

Rev. No.	Rev. Date	Revision Description
1	6/15/23	File Dept. comments
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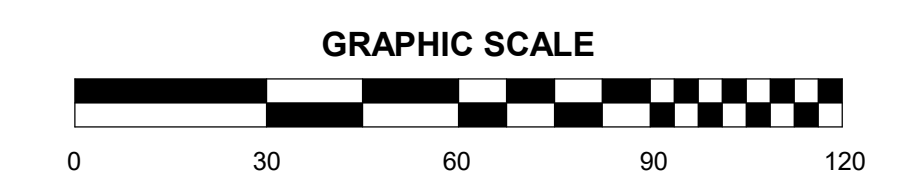
PROJECT NO.: 2021-431
 CAD FILE NAME: C:\Users\jwalker\OneDrive\OneDrive\Projects\431\431.dwg
 DRAWN BY: jwalker
 CHECKED BY: jwalker
 COPYRIGHT: YZ ARCHITECTS, LLC

SHEET TITLE
 Existing Landscape Plan

DATE: 06/22/23

A1.8
 SHEET #

1 Property Landscape Plan
 1" = 10'-0"





SM ROCHA, LLC

TRAFFIC AND TRANSPORTATION CONSULTANTS

September 11, 2023

Haleigh Macomb
Colorado Hospitality Services, Inc.
10 E 120th Avenue
Northglenn, Colorado 80233

**RE: 401 E 58th Ace Hardware / Traffic Generation Analysis
Adams County, Colorado**

Dear Haleigh,

SM ROCHA, LLC is pleased to provide traffic generation information for the development entitled 401 E 58th Ace Hardware. This development is located at 401 E 58th Avenue in Adams County, Colorado.

The intent of this analysis is to present traffic volumes likely generated by the proposed redevelopment, provide a traffic volume comparison to the existing land use, and consider potential impacts to the adjacent roadway network.

The following is a summary of analysis results.

Site Description and Access

Land for the development is currently occupied by a restaurant and conference rooms which serve as ancillary uses to the adjacent Comfort Inn hotel and is surrounded by a mix of industrial and commercial land uses. The proposed development is understood to entail the redevelopment of part of the existing building into an approximately 9,280 square-foot Ace Hardware store.

Existing access to the overall development area is provided at the following location: one three-quarter movement access onto E 58th Avenue via Logan Street. Additional access to the overall development area may also include other locations along E 58th Avenue or Washington Street. However, due to recent construction in the area, these access locations were not considered in this analysis. This provides for a conservative analysis.

General site and access locations are shown on Figure 1.

A conceptual site plan, as prepared by YZ Architects, LLC, is shown on Figure 2. This plan is provided for illustrative purposes only.



Not to Scale



401 E 58TH ACE HARDWARE
Traffic Generation Analysis

Figure 1
SITE LOCATION



SM ROCHA, LLC
Traffic and Transportation Consultants

September 2023
Page 2

Vehicle Trip Generation

Standard traffic generation characteristics compiled by the Institute of Transportation Engineers (ITE) in their report entitled Trip Generation Manual, 11th Edition, were applied to the existing and proposed land uses in order to estimate the average daily traffic (ADT) and peak hour vehicle trips. A vehicle trip is defined as a one-way vehicle movement from point of origin to point of destination.

Table 1 presents average trip generation rates for the existing and proposed development areas. Use of average trip generation rates presents a conservative analysis. ITE land use codes 712 (Small Office Building), 816 (Hardware/Paint Store), and 931 (Fine Dining Restaurant) were used for analysis because of their best fit to the existing and proposed land uses.

It is noted that the existing building serves as an ancillary use to the adjacent Comfort Inn hotel and consists of a restaurant and conference rooms/meeting space for guests. Although the existing uses are expected to primarily serve the adjacent hotel, in order to provide a comparison to the proposed development, it is considered likely that estimated trips will include some non-hotel visitors.

Table 1 – Trip Generation Rates

ITE CODE	LAND USE	UNIT	TRIP GENERATION RATES						
			24 HOUR	AM PEAK HOUR			PM PEAK HOUR		
				ENTER	EXIT	TOTAL	ENTER	EXIT	TOTAL
712	Small Office Building	KSF	14.39	1.37	0.30	1.67	0.73	1.43	2.16
816	Hardware/Paint Store	KSF	8.07	0.50	0.42	0.92	1.37	1.61	2.98
931	Fine Dining Restaurant	KSF	83.84	0.37	0.37	0.73	5.23	2.57	7.80

Key: KSF = Thousand Square Feet Gross Floor Area.

Note: All data and calculations above are subject to being rounded to nearest value.

Table 2 summarizes the projected ADT and peak hour traffic volumes likely generated by the land use area proposed and provides comparison to traffic volume estimates for the existing land use.

Table 2 – Trip Generation Summary

ITE CODE	LAND USE	SIZE	TOTAL TRIPS GENERATED						
			24 HOUR	AM PEAK HOUR			PM PEAK HOUR		
				ENTER	EXIT	TOTAL	ENTER	EXIT	TOTAL
<u>Site Development - Existing</u>									
712	Small Office Building	5.8 KSF	84	8	2	10	4	8	13
931	Fine Dining Restaurant	4.0 KSF	333	1	1	2	21	10	31
<i>Existing Total:</i>			<i>417</i>	<i>9</i>	<i>3</i>	<i>13</i>	<i>25</i>	<i>19</i>	<i>44</i>
<u>Site Development - Proposed</u>									
816	Hardware/Paint Store	9.8 KSF	79	5	4	9	13	16	29
<i>Proposed Total:</i>			<i>79</i>	<i>5</i>	<i>4</i>	<i>9</i>	<i>13</i>	<i>16</i>	<i>29</i>
<i>Difference Total:</i>			<i>-338</i>	<i>-5</i>	<i>1</i>	<i>-4</i>	<i>-12</i>	<i>-3</i>	<i>-14</i>

Key: KSF = Thousand Square Feet Gross Floor Area.
Note: All data and calculations above are subject to being rounded to nearest value.

As Table 2 shows, the proposed development area has the potential to generate approximately 79 daily trips with 9 of those occurring during the morning peak hour and 29 during the afternoon peak hour. Table 2 further shows how proposed development traffic volumes are not expected to exceed those of the existing land use.

Adjustments to Trip Generation Rates

A development of this type is not likely to attract trips from within area land uses nor pass-by or diverted link trips from the adjacent roadway system, therefore no trip reduction was taken in this analysis.

Vehicle Trip Generation Comparison & Development Impacts

As Table 2 shows, the proposed redevelopment does not exceed traffic volumes in comparison to the existing volumes of the overall development area. These volumes are not likely to negatively impact operations of Logan Street nor other adjacent roadways or intersections.

Conclusion

This analysis assessed traffic generation for the 401 E 58th Ace Hardware redevelopment, provided a traffic volume comparison to the existing land use, and considered potential impacts to the adjacent roadway network.

It is our professional opinion that the proposed site-generated traffic resulting from redevelopment is expected to create no negative impact to traffic operations for the surrounding roadway network and existing site access, nor at the Logan Street intersection with E 58th Avenue.

We trust that our findings will assist in the planning and approval of the 401 E 58th Ace Hardware redevelopment. Please contact us should further assistance be needed.

Sincerely,

SM ROCHA, LLC
Traffic and Transportation Consultants



Megan Bock, EIT
Traffic Engineer



Fred Lantz, PE
Traffic Engineer

This instrument prepared by or under the supervision of
(and after recording should be returned to):

American Mart Hotel Corporation, dba Comfort Inn of Denver
Jason Rae - Liquidating Trustee
Lain, Faulkner & Co., PC
400 N. Pearl St., Ste. 600
Dallas, TX 75201

1-4
26-

(Space Reserved for Clerk of Court)

DF 435.00

SPECIAL WARRANTY DEED

F 231979

THIS SPECIAL WARRANTY DEED is made and entered into as of the ^{13th} day of April, 2012, by AMERICAN MART HOTEL CORPORATION, a Nevada corporation ("Grantor"), whose mailing address is American Mart Hotel Corporation, dba Comfort Inn of Denver; Jason Rae - Liquidating Trustee, Lain, Faulkner & Co., PC, 400 N. Pearl St., Ste. 600; Dallas, TX 75201, and MART LODGING, LLC, a Colorado limited liability company ("Grantee"), whose mailing address is 113 Blue Heron Circle, Greenwood Village, CO 80121. Wherever used herein, the terms "Grantor" and "Grantee" shall include all of the parties to this instrument and their successors and assigns.

WITNESSETH:

GRANTOR, for and in consideration of Ten and No/100 Dollars (\$10.00) and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, has granted, bargained and sold, and by these presents does hereby grant, bargain and sell to Grantee and Grantee's heirs, successors and assigns forever, the following described land situate and being in Adams County, Colorado (the "Property"), to wit:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

TOGETHER WITH all the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining.

SUBJECT to all zoning restrictions, land use restrictions, deed restrictions, ordinances, taxes, encumbrances, covenants, conditions, restrictions, rights of way, reservations in patents, easements, mineral leases, mineral reservations, rights and royalty interests and all other matters of record and such matters as an accurate survey or visual inspection of the Property would disclose (hereinafter collectively referred to as the "Permitted Exceptions").

TO HAVE and to hold the same in fee simple forever, subject to the Permitted Exceptions.

GRANTOR hereby covenants with Grantee that it is lawfully seized of the Property in fee simple, that it has good right and lawful authority to sell and convey the Property, that it hereby fully warrants the title to the Property, subject to the Permitted Exceptions, and will defend the same against the lawful claims of all persons claiming by, through or under Grantor, but not otherwise, subject, however, to the Permitted Exceptions.

[Remainder of page intentionally left blank.]

EXHIBIT A

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF ADAMS, STATE OF COLORADO, AND IS DESCRIBED AS FOLLOWS:

Parcel One:

A tract of land in the NE1/4 SE1/4 Section 10, Township 3 South, Range- 68 West, 6th P.M., County of Adams, State of Colorado, previously recorded in Book 4301, Pages 298-302, more particularly described as follows:

COMMENCING at the Southwest corner of the Northeast quarter of the Southeast quarter of said Section 10, whence the center of said Section bears N 00 deg. 27 min. 26 sec. W., a distance of 1319.75 feet;
Thence N 00 deg. 27 min. 26 sec. W, along the West line of the Northeast quarter of the Southeast quarter of said Section 10, a distance of 357.14 feet;
Thence N 89 deg. 32 min. 33 sec. E, a distance of 30.00 feet to a point on the East right-of-way line of Logan Street also being the POINT OF BEGINNING;
Thence N 00 deg. 27 min. 26 sec. W, along said East right-of-way, distance of 273.00 feet;
Thence N 89 deg. 11 min. 13 sec. E, a distance of 171.41 feet to the Northerly extension of the exterior of the West Wall of the Merchandise Mart;
Thence S 00 deg. 52 min. 57 sec. E, along said Northerly extension of said West wall and along said West Wall, a distance of 272.99 feet;
Thence S 89 deg. 11 min. 13 sec. W, a distance of 173.44 feet to the POINT OF BEGINNING.

Parcel Two:

TOGETHER WITH the beneficial interest in and to the easements granted by Cross Easement and Reciprocal Parking Agreement recorded September 14, 1973 in Book 1888 at Page 577, EXCEPT any portions of said easements as conveyed by the Deeds recorded November 10, 1993 in Book 4190 at Page 579; August 23, 1973 in Book 1883 at Page 947; and June 19, 1985 in Book 3014 at Page 984,
County of Adams, State of Colorado.

North Washington Street North Washington Street Water and Sanitation District

3172 E. 78th Avenue, Denver, CO 80229 303 / 288 – 6664

To Whom It May Concern:

Dear Sir/Madame:

The North Washington Street Water and Sanitation District (“District”) provides the following in response to your request for water and sanitary sewer service dated July 7th 2023 related to the property located at 401 E 58th Ave. (“Property”). The District can provide water and sewer service to the Property based on conditions set forth herein. The following are general requirements for water and sanitary sewer service. The District Rules and Regulations and the standards and requirements of Denver Water and Metro Wastewater Reclamation District must be complied with as an on-going condition of service.

The subject Property is understood to be entirely within the service and boundary area of the District based on your assertions. The District makes no representation or warranty in regard to the Property boundaries and applicant is responsible for verification of same. If the Property is outside of the District’s boundaries, applicant is responsible for undertaking and paying all costs to include the Property within the District’s boundaries. Treatment of sewage generated within the District is provided by the Metro Wastewater Reclamation District. Treatment and provision of water within the District is provided by Denver Water. Conditions for water and sanitary service from the District include meeting the requirements contained herein and payment of all fees and costs as provided in District’s Rules and Regulations along with those of Denver Water and Metro Wastewater Reclamation District. Timing of water and sanitary availability is subject to further coordinated by the County and District.

Water and Sanitary availability are subject to review and acceptance of design documents from owner/developer of the Property, by the District. Appropriate right-of-way easements and agreements are required for all water and sanitary sewer extensions. Jurisdictional coordination, approvals, permitting, license agreements and easements are to be completed prior to acceptance of plans. All costs associated with collection and distribution system improvements required to serve the Property are the responsibility of the owner/developer including guarantee of improvements and warranty periods.

Receipt of service is also subject to all costs being paid by owner/developer for engineering, reviews, construction, observation, and inspections at the then current rate fee structure established by the District, including establishing an imprest account with the District as a deposit for such accounts. Please be aware that proper tap connection and development fees are required to be paid, at the most recent fee schedule, prior to connection to the District main.

The North Washington Street Water and Sanitation requires a signature of acceptance of this Will Sever Letter by the developer prior to scheduling a pre-design meeting.

Signature of developer representative: _____

Print Signature: _____

Date: _____

Mike DeMattee
303-288-6664
mdemattee@nwsbsd.com
District Manager



RECEIPT OF PAYMENT (Tax, Fees, Costs, Interests, Penalties)

Account	Parcel Number	Receipt Date	Receipt Number
R0194867	0182510401031	Jun 28, 2023	2023-06-28-WEB-29670

MART LODGING LLC
10 E 120TH AVE
NORTHGLENN, CO 80233-1002

Situs Address	Payor
401 E 58TH AVE	MART LODGING LLC

Legal Description
MAPLETON ADDITION AMENDED NO 5 LOT 3

Property Code	Actual	Assessed	Year	Area	Mill Levy
COMM LND LODGING - 2115	292,878	84,930	2022	085	107.8
LODGING - 2215	6,031,422	1,749,110	2022	085	107.8

Payments Received	
E-check	\$201,663.71

Payments Applied					
Year	Charges	Billed	Prior Payments	New Payments	Balance
2022	Interest Charge	\$3,954.19	\$0.00	\$3,954.19	\$0.00
2022	Tax Charge	\$197,709.52	\$0.00	\$197,709.52	\$0.00
				\$201,663.71	\$0.00
Balance Due as of Jun 28, 2023					\$0.00

4430 S ADAMS COUNTY PKWY C2436
BRIGHTON CO 80601
[Stay Safe! Please use website payment services www.adcotax.com]

Email: treasurer@adcogov.org
Telephone: 720-523-6160

ALL CHECKS ARE SUBJECT TO FINAL COLLECTION. THANK YOU FOR YOUR PAYMENT!



RECEIPT OF PAYMENT (Tax, Fees, Costs, Interests, Penalties)

Account	Parcel Number	Receipt Date	Receipt Number
P0001661	0182510401020	Jun 28, 2023	2023-06-28-WEB-29668

DENVER COMFORT INN
 401 E 58TH AVE
 DENVER, CO 80216-1422

Situs Address	Payor
401 E 58TH AVE	MART LODGING LLC

Legal Description	Property Code	Actual	Assessed	Year	Area	Mill Levy
Com Eq/Furn/Mch - 2410		82,262	23,860	2022	085	107.8

Payments Received	
E-check	\$2,673.54

Payments Applied		Billed	Prior Payments	New Payments	Balance
Year	Charges				
2022	Misc Charge	\$50.00	\$0.00	\$50.00	\$0.00
2022	Interest Charge	\$51.44	\$0.00	\$51.44	\$0.00
2022	Tax Charge	\$2,572.10	\$0.00	\$2,572.10	\$0.00
				\$2,673.54	\$0.00
Balance Due as of Jun 28, 2023					\$0.00

4430 S ADAMS COUNTY PKWY C2436
 BRIGHTON CO 80601
 [Stay Safe! Please use website payment services www.adcotax.com]

Email: treasurer@adcogov.org
 Telephone: 720-523-6160

ALL CHECKS ARE SUBJECT TO FINAL COLLECTION. THANK YOU FOR YOUR PAYMENT!