



ADAMS COUNTY
COLORADO

VARIANCE

**Community & Economic Development Department
Planning & Development**

4430 S. Adams County Pkwy., 1st Floor, Suite W2000B

Brighton, CO 80601-8218

Phone: 720.523.6800

Website: adcogov.org

A variance is a means whereby the literal terms of these standards and regulations need not be applied if there are practical difficulties or unnecessary hardships associated with the subject site. In granting a variance, the spirit of these standards and regulations shall be observed, public safety and welfare secured, and substantial justice done.

Please include this page with your submittal. Submittal instructions and more information about checklist items can be found on page 2.

- Development Application Form (pg. 3)
- Written Narrative
- Site Plan
- Proof of Ownership (warranty deed or title policy)
- Proof of Water and Sewer Services
- Legal Description
- Statement of Taxes Paid

Number of Variance Requests:

A variance may only be approved from the dimensional requirements, performance standards, and other special physical requirements contained in the Adams County development standards and regulations.

| Type of Variance Request: | # of Requests: |
|---------------------------|----------------|
| Setback: | 1 |
| Height: | |
| Lot Coverage: | |
| Other: | |

| Application Fees: | Amount: |
|-------------------|---|
| Variance | \$500-residential \$700-non-residential <i>*\$100 per each additional request</i> |



DEVELOPMENT APPLICATION FORM

APPLICANT

Name(s): Phone #:

Address:

City, State, Zip:

2nd Phone #: Email:

OWNER

Name(s): Phone #:

Address:

City, State, Zip:

2nd Phone #: Email:

TECHNICAL REPRESENTATIVE (Consultant, Engineer, Surveyor, Architect, etc.)

Name: Phone #:

Address:

City, State, Zip:

2nd Phone #: Email:

DESCRIPTION OF SITE

Address:

City, State, Zip:

Area (acres or square feet):

Tax Assessor Parcel Number:

Existing Zoning:

Existing Land Use:

Proposed Land Use:

Have you attended a Conceptual Review? YES NO

If Yes, please list PRE#:

I hereby certify that I am making this application as owner of the above-described property or acting under the authority of the owner (attached authorization, if not owner). I am familiar with all pertinent requirements, procedures, and fees of the County. I understand that the Application Review Fee is non-refundable. All statements made on this form and additional application materials are true to the best of my knowledge and belief.

Name:

Date:

Owner's Printed Name

Name:

Owner's Signature

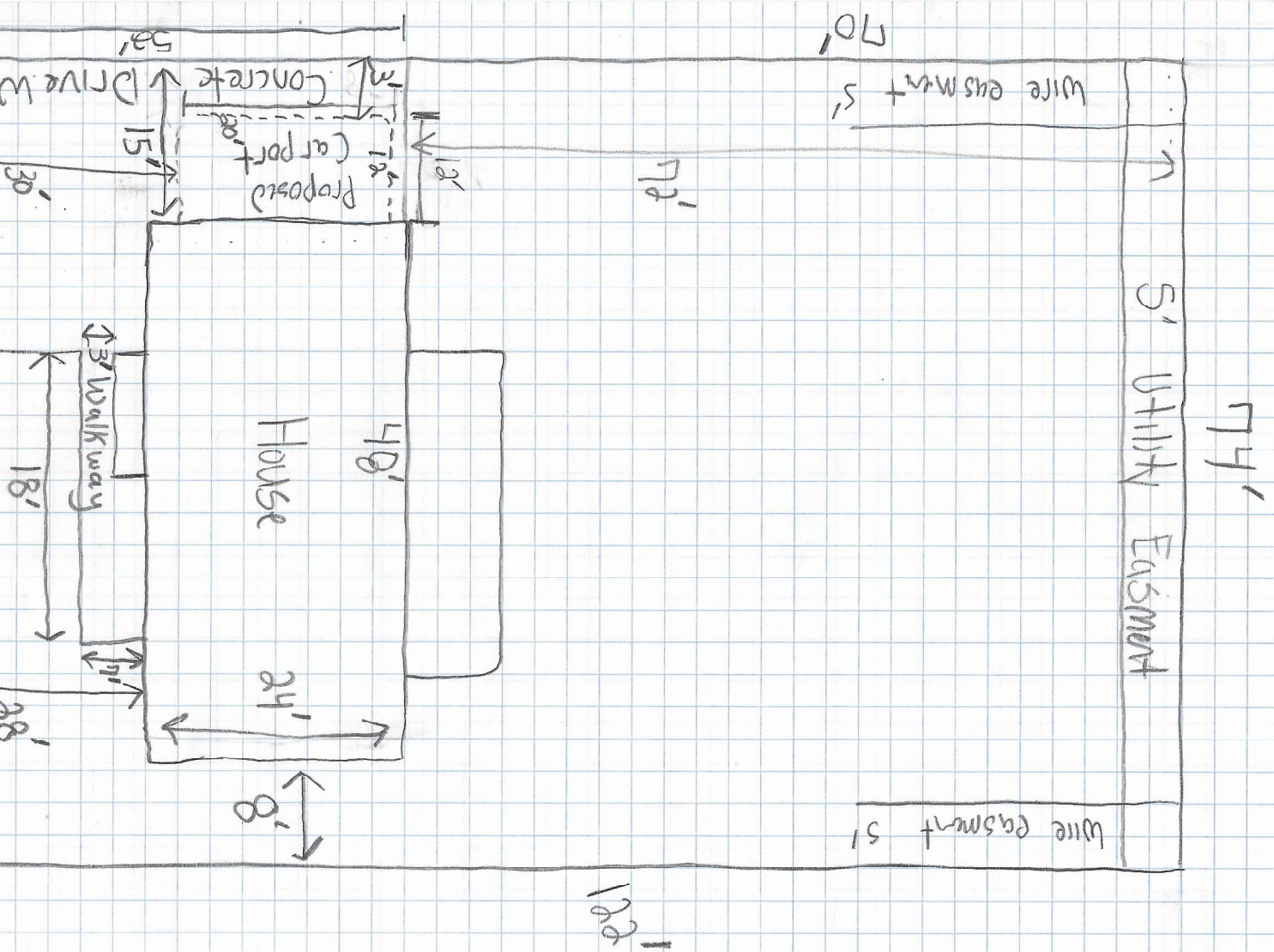
Which dimensional standard(s), performance standard(s), or physical requirement(s) can't be met? (Include code section reference from Adams County Standards and Regulations) Reach out to the Planner of the Day (cedd-plan@adcogov.org) if you have any questions.

We would like to add a carport on the east side of the house next to the garage. We have 15' of space from existing garage to the property line. The average, comfortable opening for a carport is 12'. This would put us within 5' zone of the property line which we are asking the variance for. Our fire rated wall will be 3' from the property line and our fire rated overhang would be 2' from property line. The size of the carport would be 13'x20'.

Why are you unable to meet this standard?

If we tried to build the carport without asking for variance, it would almost be impossible to get out of the car, in the carport, if the carport was built. We would have about 9' of space to park the car and open the doors. On average, cars are about 6 feet wide. This would leave about 1 ½ feet on each side which is not a reasonable amount to open your car door to get in or out.

Legal Description: SUB:CORONADO SECOND FILING BLK:18 LOT:27



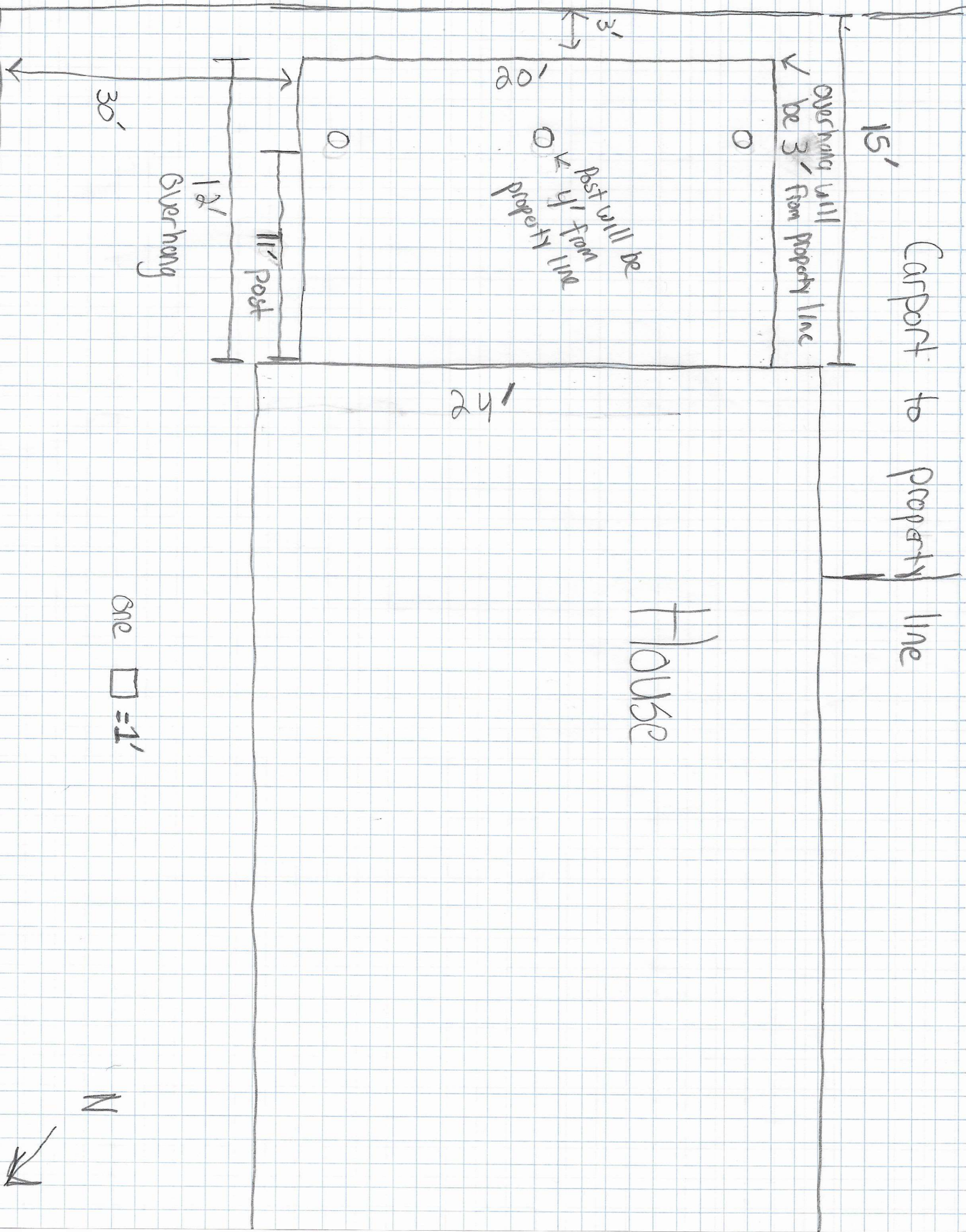
1 square
 $\square = 3'$

122'

172'

N

1500 Solomona Drive



Carport to property line

15'

Overhang will be 3' from property line

Post will be 4' from property line

20'

12' Overhang

11' post

24'

House

one □ = 1'

N



5

Recorded at _____ o'clock _____ M., _____ Recorder.
Reception No. _____

BOOK 3630 PAGE 727

QUIT CLAIM DEED 919216

THIS DEED, Made this 13th day of December, 1989
between Michael T. Masamori and Carol A. Masamori

of the _____ County of Adams and State of
Colorado, grantor(s), and Carol A. Masamori

whose legal address is 1500 Solana Drive
Denver, Colorado 80229
of the _____ County of Adams and State of Colorado, grantee(s).

WITNESSETH, That the grantor(s), for and in consideration of the sum of One Dollar
the receipt and sufficiency of which is hereby acknowledged, ha ~~ve~~ remised, released, sold, conveyed and QUIT CLAIMED, and by
these presents do ~~remise~~ release sell convey and QUIT CLAIM unto the grantee(s). ~~her~~ heirs, successors and assigns,
forever, all the right, title, interest, claim and demand which the grantor(s) ha ~~ve~~ in and to the real property, together with
improvements, if any, situate, lying and being in the _____ County of Adams and State of
Colorado, described as follows

Lot 27, Block 18,
CORONADO SUBDIVISION SECOND FILING

also known by street and number as: 1500 Solana Drive, Denver, Colorado 80229

TO HAVE AND TO HOLD the same, together with all and singular the appurtenances and privileges thereunto belonging or in
anywise thereunto appertaining, and all the estate, right, title, interest and claim whatsoever, of the grantor(s), either in law or equity, to
the only proper use, benefit and behoof of the grantee(s). ~~her~~ heirs and assigns forever
IN WITNESS WHEREOF, The grantor(s) ha ~~ve~~ executed this deed on the date set forth above.

Michael T. Masamori
MICHAEL T. MASAMORI

Carol A. Masamori
CAROL A. MASAMORI

STATE OF COLORADO,

City and County of Denver } ss.
The foregoing instrument was acknowledged before me this 13th day of December, 1989,
by Michael T. Masamori and Carol A. Masamori.



. 1989 Witness my hand and official seal

Jane F. Spagnoli
Notary Public

*If in Denver, insert "City and,"

919216

ROBERT SACK
ADAMS COUNTY CLERK AND RECORDER
DEC 15 8 00 AM '89



Certified to be a full, true and correct copy of the
Recorded Document consisting of _____ pages
in my custody.
Josh Zygielbaum, Adams County Clerk & Recorder
By Shirley Beckwith Date 11/18/24





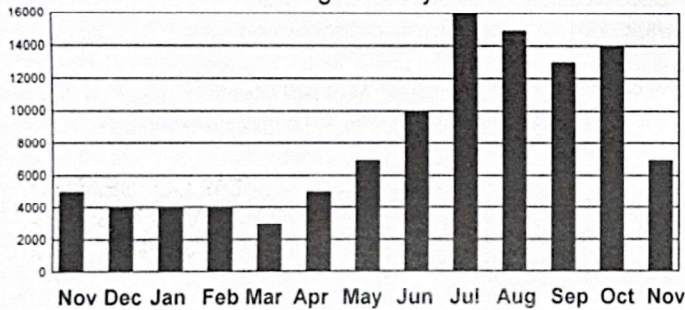
**North Washington Street
Water & Sanitation District**
3172 E. 78th Avenue
Denver, CO 80229 • 303-288-6664
<https://nwwashingtonwaterco.gov>
Pay By Phone 1-844-992-0160

| | | |
|-------------------|-----------------|------------------|
| ACCOUNT NUMBER | | |
| 202030355-01 | | |
| SERVICE ADDRESS | | |
| 1500 SOLANA DRIVE | | |
| BILL DATE | CURRENT CHARGES | TOTAL AMOUNT DUE |
| 11/12/2024 | \$ 107.42 | \$ 107.42 |

CAROL MASAMORI
1500 SOLANA DRIVE
DENVER, CO 80229

| READ DATE | | BILLING DAYS | METER READING | | USAGE GALLONS |
|------------|------------|-----------------|---------------|---------|------------------|
| PREVIOUS | PRESENT | | PREVIOUS | PRESENT | |
| 10/10/2024 | 11/12/2024 | 33 | 358 | 365 | 7000 |

Usage History



Billing Summary

| Utility Service | Total |
|-----------------|---------|
| Water | \$63.09 |
| Sewer | \$44.33 |

| | |
|---------------------------------|-----------------|
| Current Charges | \$107.42 |
| Previous Balance | \$158.52 |
| Payments we processed | \$-158.52 |
| Adjustments | \$0.00 |
| Miscellaneous Fee | \$0.00 |
| Balance Forward | \$0.00 |
| Total payment now due... | \$107.42 |

To obtain a 2024 Water Quality Report refer to the link below:
<https://www.denverwater.org/sites/default/files/water-quality-report-2024.pdf>
NEW PAY BY PHONE NUMBER 1-844-992-0160
NEW WEB-SITE: <https://nwwashingtonwaterco.gov>

NO OTHER NOTICE WILL BE SENT

Failure to receive bills or notices shall not prevent such bills from becoming delinquent nor relieve the customer from payment.

↓ PLEASE CUT HERE AND RETURN WITH YOUR PAYMENT ↓

ACCOUNT# R0056958
 PARCEL# 0171926312028
 TAX DISTRICT # 160

REAL ESTATE PROPERTY TAX NOTICE
 2023 TAXES DUE IN 2024

ALEXANDER L. VILLAGRAN
 ADAMS COUNTY TREASURER & PUBLIC TRUSTEE
 4430 S. ADAMS COUNTY PARKWAY
 BRIGHTON, COLORADO 80601 (720) 523-6160



| TAX AUTHORITY | TAX LEVY | TEMP TAX CREDIT | GENERAL TAX | VALUATION | ACTUAL | ASSESSED |
|---|------------------------|-----------------|-------------|--------------|-------------|-----------|
| RANGEVIEW LIBRARY DISTRICT | 3.65300 | 0.00000 | \$87.62 | LAND | \$79,000 | \$4,590 |
| ADAMS COUNTY FIRE PROTECT | 17.43900 | 0.00000 | \$418.31 | IMPROVEMENTS | \$334,000 | \$19,400 |
| ADAMS COUNTY | 26.83500 | 0.00000 | \$643.69 | TOTAL | \$413,000 | \$23,990 |
| NORTH WASHINGTON WATER & RTD | 0.57400 | 0.06100 | \$13.77 | | | |
| SD 12 | 0.00000 | 0.00000 | \$0.00 | SRVET EXEMPT | \$(100,000) | \$(6,698) |
| URBAN DRAINAGE SOUTH PLAT | 61.76000 | 0.00000 | \$1,481.42 | NET TOTAL | \$313,000 | \$17,292 |
| URBAN DRAINAGE & FLOOD CO | 0.10000 | 0.00000 | \$2.40 | | | |
| TOTAL | 0.90000 | 0.00000 | \$21.59 | | | |
| | NET LEVY--> | 111.2610 | \$2,668.80 | | | |
| | SENIOR HOMESTEAD EXEMP | | \$(745.10) | | | |
| | GRAND TOTAL | | \$1,923.70 | | | |
| <p>SB 25 - In absence of State Legislative Funding, your school mill levy would have been: 94.3130</p> <p>LEGAL DESCRIPTION OF PROPERTY</p> <p>SUB: CORONADO SECOND FILING BLK:18 LOT:27</p> <p>PROPERTY LOCATION: 1500 SOLANA DR</p> | | | | | | |
| <p>Unpaid prior year taxes:</p> <p>No</p> | | | | | | |
| <p>PAYMENT DUE DATE AMOUNT</p> <p>FIRST HALF FEB 29, 2024 \$961.85</p> <p>SECOND HALF JUN 15, 2024 \$961.85</p> <p>FULL PAYMENT APR 30, 2024 \$1,923.70</p> <p>PAY TAXES ONLINE AT: WWW.ADCOTAX.COM</p> | | | | | | |



See insert for Senior/Disabled Veteran exemptions and E-Statement instructions.
 Email Verification code: VH7KZRV3



R0056958
 MASAMORI CAROL A
 1500 SOLANA DR
 DENVER, CO 80229-8302

Make Checks Payable To: Adams County Treasurer
 POST DATED CHECKS ARE NOT ACCEPTED
 PARTIAL PAYMENTS ARE NOT ACCEPTED
 If you have sold this property, please forward this statement to the new owner or return to this office marked "property sold."
IF YOUR TAXES ARE PAID BY A MORTGAGE COMPANY, KEEP THIS NOTICE FOR YOUR RECORDS.
 Please see reverse side of this form for additional information.

RETAIN TOP PORTION FOR YOUR RECORDS

THAT YOU WILL RECEIVE THIS IS THE ONLY TAX BILL