



## Re-submittal Form

Case Name/ Number: \_\_\_\_\_

Case Manager: \_\_\_\_\_

### Re-submitted Items:

- Development Plan/ Site Plan
- Plat
- Parking/ Landscape Plan
- Engineering Documents
- Subdivision Improvements Agreement (Microsoft Word version)
- Other: \_\_\_\_\_

**\* All re-submittals must have this cover sheet and a cover letter addressing review comments.**

**Please note the re-submittal review period is 21 days.**

The cover letter must include the following information:

- Restate each comment that requires a response
- Provide a response below the comment with a description of the revisions
- Identify any additional changes made to the original document

For County Use Only:

Date Accepted:

Staff (accepting intake):

Resubmittal Active:  Engineering;  Planner; Right-of-Way; Addressing; Building Safety;

Neighborhood Services; Environmental; Parks; Attorney; Finance;  Plan Coordination

## APPLICANT RESPONSES TO ADAMS COUNTY – DEVELOPMENT REVIEW TEAM COMMENTS – 2<sup>nd</sup> REVIEW

Date of Comments: March 4, 2025

**PROJECT NAME:** Maiker Boyers Rezoning and Preliminary Development Plan  
**LOCATION:** 7295 Washington St.  
**DATE OF COMMENTS:** 3/4/2025  
**PROJECT NUMBER:** PRC2024-00017  
**REVIEW TYPE:** Rezoning and Preliminary Development Plan Application

### COMMENT RESPONSES ARE PROVIDED IN BLUE

<p><b>Commenting Division: Development Services, Planning</b>  <b>Name of Reviewer:</b> Brayon Marin, Senior Planner  <b>Email:</b> <a href="mailto:Bmarin@adcogov.org">Bmarin@adcogov.org</a></p>	
<p>PLN01</p>	<p>Staff recognize the challenges involved in improving the RTD bus station, given the current low ridership on routes along Washington Street, as well as the logistical considerations related to incorporating a grocery store into the project's commercial area. Considering the projected future density of the development, staff recommend that the applicant continue efforts to enhance the bus station and collaborate with potential grocery store operators to ensure convenient access to groceries for future residents as the nearest supermarket around this area is about a mile and a half from the subject property. Additionally, staff would like the applicant to develop a plan outlining how these improvements will be incorporated into the final development plan, as the commissioners will be mindful of the current conditions of the area in contrast to the proposed level of density the project envisions.</p>
	<p><b>Response: Maiker has reviewed the proposed bus location with staff and, provided we are allowed to encroach into the existing ROW to avoid losing parking spaces, we propose to relocate the bus stop to the front of our parcel and provide a sheltered bus stop at this location, as shown on the architectural and civil plans, see sheets C1.01 and A1.00.</b></p> <p><b>We have previously contacted RTD about this relocation and RTD appears to be amenable. We will continue coordination with RTD to relocate this bus stop. Pending approval from RTD, we will plan to construct a new bus stop and shelter during the building construction. Following completion of the building and construction the team will coordinate with RTD to decommission the existing bus stop and open the new bus stop. We request staff provide their knowledge about the existing bus stop location north of our site, specifically as to the permitting of this work, what the required remediation will be, and to the right of ingress/egress on the neighbor's parcel if needed.</b></p> <p><b>Maiker agrees that a grocery store could be a positive for the residents and for the surrounding community, but we stress that it is beyond our capability to promise one. We have contacted Denver Housing Authority (DHA) and learned more about their Decatur Fresh market at Sun Valley, as no other local chains expressed interest or feasibility in the matching location's scope, size, and Snap-EBT focus. What we hoped was a small market plug-and-play grocery lessee, turned out to be a DHA-managed LLC where DHA provides all overhead and</b></p>



	<p>logistical duties themselves. Because overhead &amp; logistics costs are particularly high with grocery stores, Maiker does not have the capacity to match this structure ourselves. That said, Maiker’s senior management are considering the possibility of exploring a partnership with DHA where they could open a Decatur Fresh branch. This would reduce their dependance on small-use logistics services and could lead to ready-to-eat meals at all locations. We are both public institutions bound by municipality lines and as such it would require a lot of legal entity structuring and is certainly not an easy thing to do. Nonetheless, we see many aligned goals; healthy and inexpensive food, employment for residents and teenagers, as well as use of locally grown crops. Maiker’s development team is doing everything we can to push this idea to fruition. We ask that the County does not hold us to or require a grocery store, despite us giving our best efforts to bring one.</p> <p>Our plan to incorporate these ideas into the final development plan will be to show offsite work on our plans, with the intent to request an infrastructure permit to relocate the bus stop, improve ADA sidewalk ramps, and provide a new traffic mast arm. Unless significant updates are made, our FDP will reflect a general commercial space and nothing specific towards the grocery market.</p>
<p><b>Commenting Division: Development Services, Right-of-way:</b>  <b>Name of Review:</b> David Dittmer / Right-of-way Agent  <b>Email:</b> <a href="mailto:Ddittmer@adcogov.org">Ddittmer@adcogov.org</a></p>	
ROW1	<p>Any water quality locations, detention, and storm water facilities must be dedicated to the county by separate instrument. An Exhibit A for access to these locations by m/b legal description and illustration to match must be provided. Public Works ROW team will provide the easement document for the dedication, and ROW and Easement Application packet for required information.</p>
	<p><b>Response: Exhibits, legal descriptions, and applications for dedications will be provided during final development plan once storm water facilities are further along in design process. This will be completed towards the end of final engineering approval or immediately after. See sheet C1.01 for preliminary linework for this easement.</b></p>
ROW2	<p>Any infrastructure/ROW improvements along Washington Street requiring dedication to the county will be by separate instrument. See comment above. Both of these dedications will be pursuant to the engineering review of the civil construction plans and exhibits reviewed and approved prior to processing.</p>
	<p><b>Response: (R&amp;R) Noted. Separate Instruments to be provided during final development plan once improvements and locations of dedications are further along in design process. This will be completed towards the end of final engineering approval or immediately after. See sheet C1.01 for preliminary linework for ROW dedications.</b></p>
<p><b>Commenting Division: Development Services, Engineering:</b>  <b>Name of Review:</b> Caio Gajdys / Civil Engineer I  <b>Email:</b> <a href="mailto:agajdys@adcogov.org">agajdys@adcogov.org</a></p>	
ENG1	<p>The developer will be required to bring the two ADA ramps on the west side of Washington St. up to current standards. It is advisable to also bring the two east side ramps up to current standards, as this is a multimodal oriented development.</p>

	<b>Response: We propose to bring ADA ramps on both the east and west sides of Washington street, adjacent to the site, up to current code standards. Callouts have been added for ADA ramps on the east and west side of the street to sheet C1.01.</b>
ENG2	The County is requesting that the off-site bus shelter be relocated to the frontage of this development to better serve the property. The bus shelter may be located as much in the Right of way as possible, but if any portion of it is on the development's property, an easement will be required for that portion.
	<b>Response: The developer is amenable to relocate the current off-site bus stop, located north of our site, to the frontage of this development provided we are allowed to encroach into the existing ROW to avoid losing parking spaces, as noted above. We will provide a standard RTD shelter or similar approved shelter at this bus-stop. An area for the proposed bus stop shelter has been indicated on both the architectural and civil plans on sheets C1.01 and A1.00. We will continue to coordinate with RTD on the relocation of this bus stop to our property frontage.</b>
ENG3	Appears that the new SE corner signal mast arm is recommended improvements in the TIS. The County agrees with this recommendation and the mast arm will be required. The vehicle detection and traffic cameras are required for any new signals in the County, and as such those improvements will be required. County cannot participate in paying for any improvements required for the development.
	<b>Response: Acknowledged. Callout for new mast arm added to sheet C1.01.</b>
ENG4	The County has a CIP for Washington St. The proposed traffic lane improvements will have to be coordinated with the County's Public Works Department. *Resolved, please acknowledge*
	<b>Response: Acknowledged.</b>
ENG5	Underground detention is acceptable for the reasons provided by the applicant. Specifics regarding Water Quality measures will be addressed at the time of engineering review. *Resolved, please acknowledge*
	<b>Response: Acknowledged.</b>
<b>Adams County Fire Rescue, Fire Prevention Bureau</b>	
<b>Name of Review:</b> Carla Gutierrez	
<b>Email:</b> <a href="mailto:fireprevention@acfpd.org">fireprevention@acfpd.org</a>	
<b>Fire Protection Water Supply and Hydrants</b>	
14	A fire hydrant shall be located within 400' (un-sprinklered building) or 600' (fully sprinkled building) of all ground level exterior portions of the building. <b>Fire hydrants are not shown on the reviewed preliminary plan. Fire hydrants will need to be shown on the engineered civil plans.</b>
	<b>Response: Scaled civil engineering drawing exhibits have been provided in addition to the preliminary development plans which show (2) existing fire hydrant locations adjacent to the property and a 500' radius from each hydrant. These exhibits were sent via email to the Adams County Fire Department on 03.25.2025 for review. The design team and developer will continue coordination with the fire department to confirm all water supply and hydrant needs are met.</b>
15	The number and distribution of fire hydrants is based on the required fire flow. You may refer to Appendix C of the 2018 IFC for guidance.
	<b>Response: Scaled civil engineering drawing exhibits have been provided in addition to the preliminary development plans which show (2) existing fire hydrant locations adjacent to the property and a 500' radius from each hydrant. These exhibits were sent via email to the</b>

	<p>Adams County Fire Department on 03.25.2025 for review. The design team and developer will continue coordination with the fire department to confirm all water supply and hydrant needs are met.</p>
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## **LIST OF CHANGES MADE TO PREVIOUS SUBMISSION:**

### **GENERAL:**

1. A0.01 – Minor change to overall building area under Zoning Data & Sheet Index updated to include added sheets.

### **CIVIL:**

1. C1.00 – Demolition notes added to indicate removal of existing curb, gutter and sidewalk at existing ADA ramps, which will be brought up to current code standards.
2. C1.01 – Notes and drawings updated to incorporate additional scope of adding new mast arm, bringing existing ADA ramps up to current code standards, and adding bus stop shelter to property frontage.
3. C1.01 & C1.02 – Proposed maintenance access and drainage easement for storm water quality elements adjusted to include expanded site access per ROW comments.

### **LANDSCAPE:**

1. L1.00 – Proposed plant counts in Adams County Landscape Requirements Table updated to reflect landscape changes associated with the incorporation of the bus-shelter to the Washington street frontage.
2. L2.00 – Planting along Washington Street Frontage updated to incorporate bus shelter.

### **ARCHITECTURAL:**

1. A1.00 – Site plan updated to incorporate proposed bus shelter along Washington Street Frontage.
2. A1.10 – Ground Level Floor Plan updated to show proposed bus shelter along Washington Street Frontage.



# MAIKER BOYERS COVER SHEET



CONCEPTUAL RENDERING

## PDP & REZONING SUBMITTAL - REV. 02 - 03.28.2025

7295 WASHINGTON ST, ADAMS COUNTY, CO 80229

**OWNER**

MAIKER HOUSING PARTNERS  
3033 W. 71ST AVE., SUITE 1000  
WESTMINSTER, CO 80030

CONTACT  
CHUCK CHRISTIAN  
CCHRISTIAN@MAIKERHP.ORG

**ARCHITECT**

SOPHER SPARN ARCHITECTS, LLC.  
2505 WALNUT STREET, SUITE 200  
BOULDER, COLORADO 80302  
P. 303.442.4422

CONTACT  
ERIN BAGNALL  
EBAGNALL@SOPHERSPARN.COM

**CIVIL ENGINEER**

R&R ENGINEERS  
1635 W. 13TH AVE., SUITE 310  
DENVER, CO 80204  
P. 303.753.6730

CONTACT  
CLIF DAYTON  
CDAYTON@RREENGINEERS.COM

**LANDSCAPE ARCHITECT**

OUTDOOR DESIGN GROUP  
5690 WEBSTER ST.  
ARVADA, CO 80002  
P. 303.993.4811

CONTACT  
TODD RUTHERFORD  
TRUTHERFORD@ODGDESIGN.COM

**GENERAL CONTRACTOR**

DENEUVE CONSTRUCTION  
2344 SPRUCE ST.  
BOULDER, CO 80302  
P. 303.444.6633

CONTACT  
MARTY JOHNSON  
MJOHNSON@DENEUVECONSTRUCTION.COM

**CERTIFICATE OF OWNERSHIP**

(X), BEING THE OWNER OR REPRESENTATIVE OF THE MAIKER BOYERS SITE LOCATED IN THE COUNTY OF ADAMS, STATE OF COLORADO, HEREBY SUBMITS THIS PRELIMINARY DEVELOPMENT PLAN AND REZONING SUBMITTAL AND AGREES TO PERFORM UNDER THE TERMS NOTED HEREON.

\_\_\_\_\_  
(OWNER'S SIGNATURE)

THE OWNERS SIGNATURE(S) SHALL BE ACKNOWLEDGED AS FOLLOWS:

STATE) \_\_\_\_\_

COUNTY) \_\_\_\_\_

CITY) \_\_\_\_\_

THE FOREGOING OWNERSHIP CERTIFICATE WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_, DAY OF \_\_\_\_\_, 20\_\_.

NOTARY PUBLIC \_\_\_\_\_

MY COMMISSION EXPIRES: \_\_\_\_\_

**PLANNING COMMISSION APPROVAL:**

APPROVED BY THE ADAMS COUNTY PLANNING COMMISSION THIS \_\_\_\_, DAY OF \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
CHAIRMAN

**BOARD OF COUNTY COMMISSIONERS APPROVAL:**

APPROVED BY THE ADAMS COUNTY BOARD OF COMMISSIONERS THIS \_\_\_\_, DAY OF \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
CHAIRMAN

**CERTIFICATE OF THE CLERK AND RECORDER:**

THIS MAJOR PUD AMENDMENT WAS FILED FOR RECORD IN THE OFFICE OF THE ADAMS COUNTY CLERK AND RECORDER IN THE STATE OF COLORADO AT \_\_M. ON THE \_\_\_\_, DAY OF \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
COUNTY CLERK AND RECORDER

No.	Date



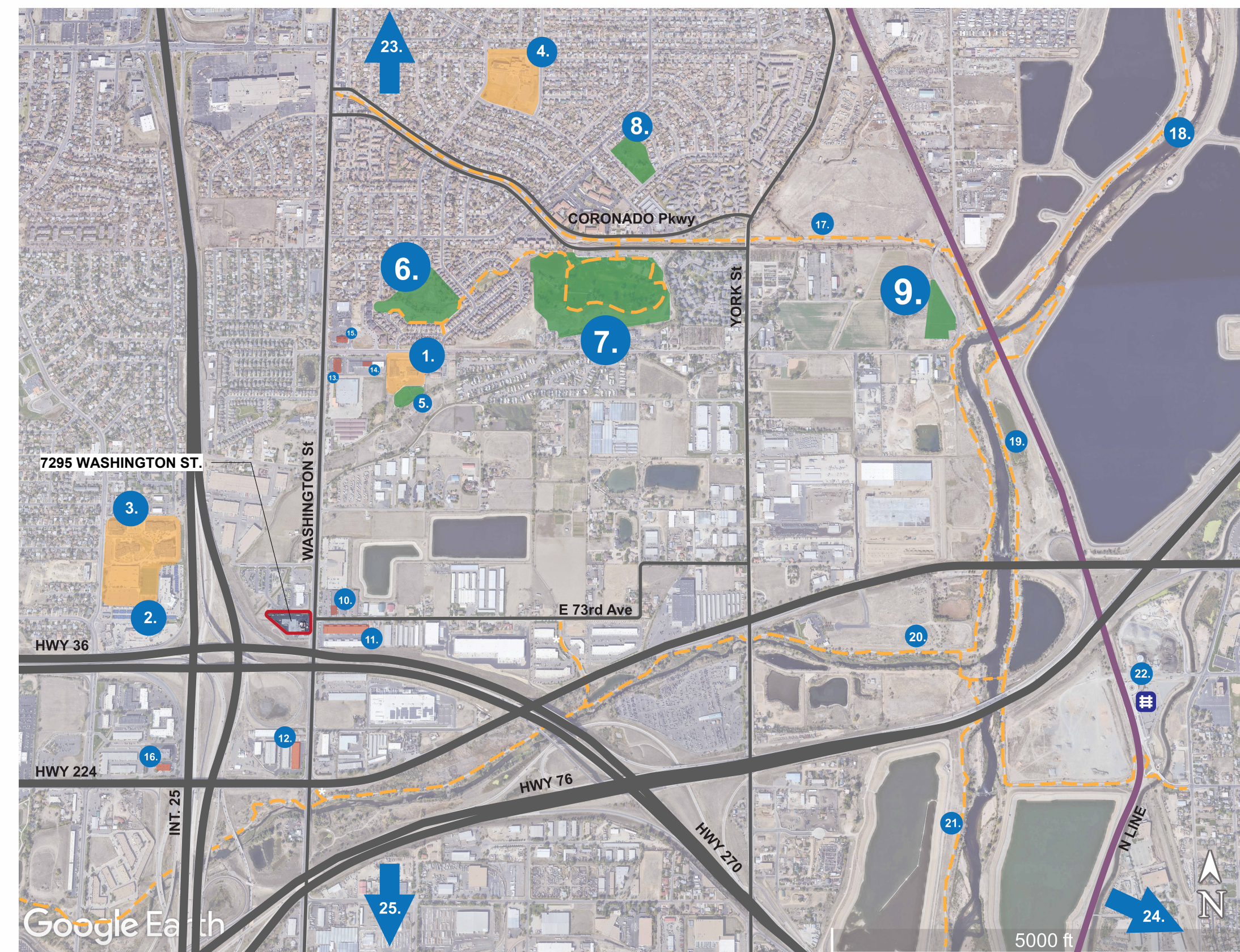
# MAIKER BOYERS

## PROJECT INFORMATION & SHEET INDEX

### ZONING DATA

BUILDING CODE:	2018 INTERNATIONAL BUILDING CODE
IBC USE AND OCCUPANCY:	R-2 (APARTMENT UNITS) B (COFFEE SHOP) M (MERCANTILE RETAIL) (4) STORIES TYPE VA OVER (1) STORY TYPE IA
CONSTRUCTION TYPE:	EXISTING: I-1, <b>PROPOSED: PUD</b> NFPA 13, PER SECTION 903.3.1.2 92,862 SQ. FT. (2.132 ACRES) 117 DUS 54.9 DUAC
ZONING DESIGNATION: SPRINKLER SYSTEM: LOT AREA: (PER SURVEY) PROPOSED DWELLING UNITS: DWELLING UNITS PER ACRE:	30,285 SQ. FT. 36,013 SQ. FT. 135,832 SQ. FT.
EXISTING BUILDING COVERAGE: PROPOSED BUILDING COVERAGE: PROPOSED BUILDING AREA:	28'-0" (WASHINGTON SCHOOL BUILDING) 62'-0" 5 STORIES: (4) STORIES TYPE VA OVER (1) STORY TYPE IA
PROPOSED SETBACKS: FRONT (WASHINGTON ST.) REAR SIDE - SOUTH SIDE - NORTH	50'-0" NOT APPLICABLE 9'-9" 70'-4"
ROOF FIRE CLASS: ROOF DESIGN WIND SPEED (V 3SEC ASD): ROOF EXPOSURE CATEGORY: SEISMIC DESIGN CATEGORY: SNOW LOAD:	CLASS B 130 MPH C 30 PSF
PARKING PROVIDED: TOTAL VEHICLE PARKING STANDARD COMPACT	148 SPACES 117 (79%) 31 (21%)
BICYCLE PARKING: TOTAL BICYCLE PARKING LONG-TERM SHORT-TERM	102 70 32

### VICINITY MAP



### LEGEND

- SITE**  
7295 WASHINGTON STREET
- EDUCATION**
  - 1. WELBY COMMUNITY SCHOOL - 1 MILE
  - 2. MAPLETON PUBLIC SCHOOLS - 1.4 MILES
  - 3. GLOBAL LEADERSHIP ACADEMY - 1.6 MILES
  - 4. CORONADO HILLS ELEMENTARY SCHOOL - 2
- RECREATION**
  - 5. WELBY LEARNING PARK - 1 MILE
  - 6. SANDHOFFER OPEN SPACE - 1 MILE
  - 7. ROTELLA PARK - 1.6 MILES
  - 8. CITY VIEW PARK - 1.8 MILES
- AMENITIES**
  - 9. STEELE STREET PARK - 2.2 MILES
  - 10. MR. EGG - .1 MILE
  - 11. FARM TO TRUCK COLORADO - 2 MILES
  - 12. PHO 15 - .4 MILES
  - 13. RICCO'S BURRITOS - .8 MILES
  - 14. CROSSFIT EMINENCE - .8 MILES
  - 15. JAY'S GRILLE & BAR - .8 MILES
- MULTIMODAL PATHS**
  - 16. ETAI'S BAKERY CAFE - .8 MILES
  - 17. NIVER CREEK TRAIL
  - 18. COLORADO FRONT RANGE TRAIL
  - 19. FERNALD TRAIL
  - 20. CLEAR CREEK TRAIL
- # **LIGHT RAIL**
  - 21. S PLATTE RIVER TRAIL
- ➔ **OFF MAP**
  - 22. 72nd AVE STATION - 3.4 MILES
  - 23. WALMART - 2 MILES
  - 24. KING SOOPERS - 5.4 MILES

### PROJECT DESCRIPTION

A 5-STORY MIXED-USE DEVELOPMENT CONTAINING GROUND LEVEL COMMERCIAL SPACE INCLUDING SPACE FOR A FUTURE BOYERS COFFEE SHOP, RESIDENTIAL LOBBY, AND COVERED PARKING, WITH PERMANENTLY AFFORDABLE HOUSING ON THE UPPER FLOORS. THE AFFORDABLE HOUSING WILL CONSIST OF APPROXIMATELY 117 PERMANENTLY AFFORDABLE 1 & 2 BEDROOM FOR RENT APARTMENT UNITS. RESIDENTIAL AMENITIES WILL INCLUDE TWO ELEVATED COURTYARDS, A FITNESS ROOM AND ROOF TOP AMENITY DECK.

### PROJECT INTENT

MAIKER HOUSING PARTNERS PROPOSES TO REZONE THE SITE TO PUD ZONING AND DEVELOP THE SITE INTO A MIXED-USE DEVELOPMENT CONTAINING GROUND LEVEL COMMERCIAL SPACE FOR A FUTURE BOYERS COFFEE SHOP WITH PERMANENTLY AFFORDABLE HOUSING ON THE UPPER FLOORS. THE PROJECT WILL BE A NEW COMMUNITY HUB AND GATEWAY FOR THE WELBY NEIGHBORHOOD OF ADAMS COUNTY, IN SUPPORT OF THE GOALS AND VISION ESTABLISHED IN THE WELBY SUBAREA PLAN. THE PROJECT WILL CELEBRATE THE HISTORY OF THE SITE BY INCORPORATING HISTORIC ELEMENTS OF THE 1927 SCHOOLHOUSE AND CONTINUE THE RICH TRADITION OF THE BOYERS COFFEE SHOP AS A COMMUNITY HUB AND MEETING PLACE.

THE PURPOSE AND OBJECTIVE OF A PLANNED UNIT DEVELOPMENT (P.U.D.) IS TO ENCOURAGE THE DEVELOPMENT OF LAND AS A SINGLE UNIT. A P.U.D. ALLOWS GREATER FLEXIBILITY IN THE DESIGN OF A DEVELOPMENT, MORE VARIETY AND DIVERSIFICATION IN THE RELATIONSHIPS BETWEEN BUILDINGS, OPEN SPACES AND USES, AND CONSERVATION AND RETENTION OF HISTORICAL AND NATURAL TOPOGRAPHIC FEATURES WHILE MEETING THE GOALS, POLICIES AND OBJECTIVES OF THE COMPREHENSIVE PLAN.

#### PROJECT CHARACTER - GENERAL

THE NEW PROPOSAL WILL CREATE A VIBRANT, PERMANENTLY AFFORDABLE RESIDENTIAL OPTION FOR ADAMS COUNTY RESIDENTS. THE SITE'S VICINITY TO DOWNTOWN DENVER AND PROXIMITY TO MASS TRANSIT OPTIONS AND THE CLEAR CREEK TRAILWAY MAKE IT A PERFECT OPPORTUNITY TO BEGIN TO IMPLEMENT THE STRATEGIES IDENTIFIED IN THE WELBY SUBAREA PLAN WHEN IMPLEMENTED IN 2014. THE STATED GOAL OF THE DOCUMENT WAS TO BUILD ON AND TRANSFORM THE EXISTING ASSETS, REINVEST, AND MAINTAIN A VIBRANT COMMUNITY. INVESTMENTS FROM BOTH INSIDE AND OUTSIDE WELBY. THE NEW WELBY PROPOSAL UNDER REVIEW WILL NOT ONLY RE-ESTABLISH A WELL-LOVED COMMUNITY ASSET IN THE BOYERS COFFEE SHOP, BUT IT WILL ALSO HELP MEET ADAMS COUNTY'S AFFORDABLE HOUSING GOALS, A RESIDENTIAL BUILDING MANAGED AND DELIVERED VIA MAIKER HOUSING PARTNERS.

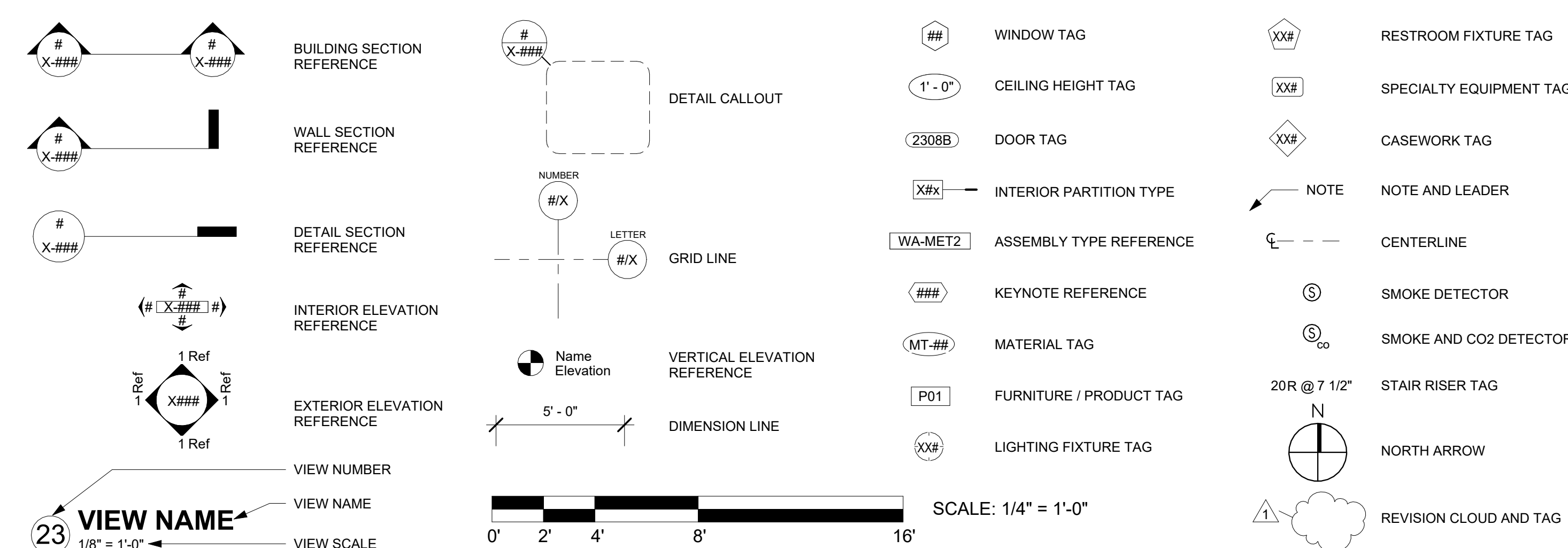
### SHEET INDEX

01-GENERAL	
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C0.02	GENERAL NOTES
C0.03	GENERAL NOTES
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C1.01	SITE PLAN
C1.02	UTILITY PLAN
C2.00	EROSION AND SEDIMENT CONTROL PLAN - INITIAL
C2.01	EROSION AND SEDIMENT CONTROL PLAN - INTERIM
C2.02	EROSION AND SEDIMENT CONTROL PLAN - FINAL
C2.03	EROSION AND SEDIMENT CONTROL DETAILS
C2.04	EROSION AND SEDIMENT CONTROL DETAILS
C2.05	EROSION AND SEDIMENT CONTROL DETAILS
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E 1.20	LEVELS 2 & 5 PHOTOMETRIC PLANS
E 2.10	LIGHTING CUTSHEETS
E 2.20	LIGHTING CUTSHEETS
E 2.30	LIGHTING CUTSHEETS

### ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR	INSUL.	INSULATION
APPROX.	APPROXIMATE	INT.	INTERIOR
ARCH.	ARCHITECT	IDF	INTERMEDIATE DISTRIBUTION FRAME (ELECTRICAL)
BM	BEAM	JC	JANITOR CLOSET
B.O.	BOTTOM OF BUILDING	LAV	LAVATORY
BLDG	BRICK	LP	LOW POINT (ROOF)
BR	CABINET	MECH.	MECHANICAL
CAB.	CLEAR	MEP	MECHANICAL-ELECTRICAL-PLUMBING
CLR.	CONCRETE MASONRY UNIT	MEZZ.	MEZZANINE
CMU	COLUMN	MFR.	MANUFACTURER
COL.	CONCRETE	MIN.	MINIMUM
CONC.	CONTINUOUS	MIR.	MIRROR
CONTR.	CONTRACTOR	MTL.	METAL
CP	COMPOSITE PANEL	O/	OVER
C.W.	CURTAIN WALL	O.C.	ON CENTER
DIA.	DIAMETER	O.P.H.	OPPOSITE HAND
DS	DOWNSPOUT	PERF.	PERFORATED
DWGS.	DRAWINGS	PERIM.	PERIMETER
ELEC.	ELECTRICAL	PLYWD.	PLYWOOD
ELEV.	ELEVATOR	PTD.	PAINTED
EQMT.	EQUIPMENT	QTY.	QUANTITY
EXT.	EXTERIOR	RD	ROOF DRAIN
FAFP	FIRE ALARM ANNUNCIATOR PANEL	REIN.	REINFORCED
FACP	FIRE ALARM CONTROL PANEL	REQ'D	REQUIRED
FD	FLOOR DRAIN	R.O.	ROUGH OPENING
FDC	FIRE DEPARTMENT CONNECTION	S.F.	SQUARE FEET
FEC	FIRE EXTINGUISHER CABINET	SHT'G	SHOOTING
FG BATT	FIBERGLASS BATT	SIM	SIMILAR
FTG.	FOOTING	SQ.	SQUARE
FLR.	FLOOR	STL	STEEL
FLRG	FLOORING	STOR.	STORAGE
FT.	FOOT	STRUC.	STRUCTURAL
GA	GAUGE	T&G	TONGUE AND GROOVE
GALV.	GALVANIZED	T.O.	TOP OF
GL.	GLASS	TEMP.	TEMPERED
GWB	GYPSON WALL BOARD	TYP.	TYPICAL
HORZ.	HORIZONTAL	T.P.O.	THERMOPLASTIC POLYOLEFIN MEMBRANE
HP	HIGH POINT (ROOF)	U.N.O.	UNLESS NOTED OTHERWISE
HT.	HEIGHT	VERT.	VERTICAL
HVAC	HEATING, VENTILATION, & AIR CONDITIONING	W/	WITH
IN	INCH	WD.	WOOD
		VL	VINYL

### DRAWING SYMBOLS



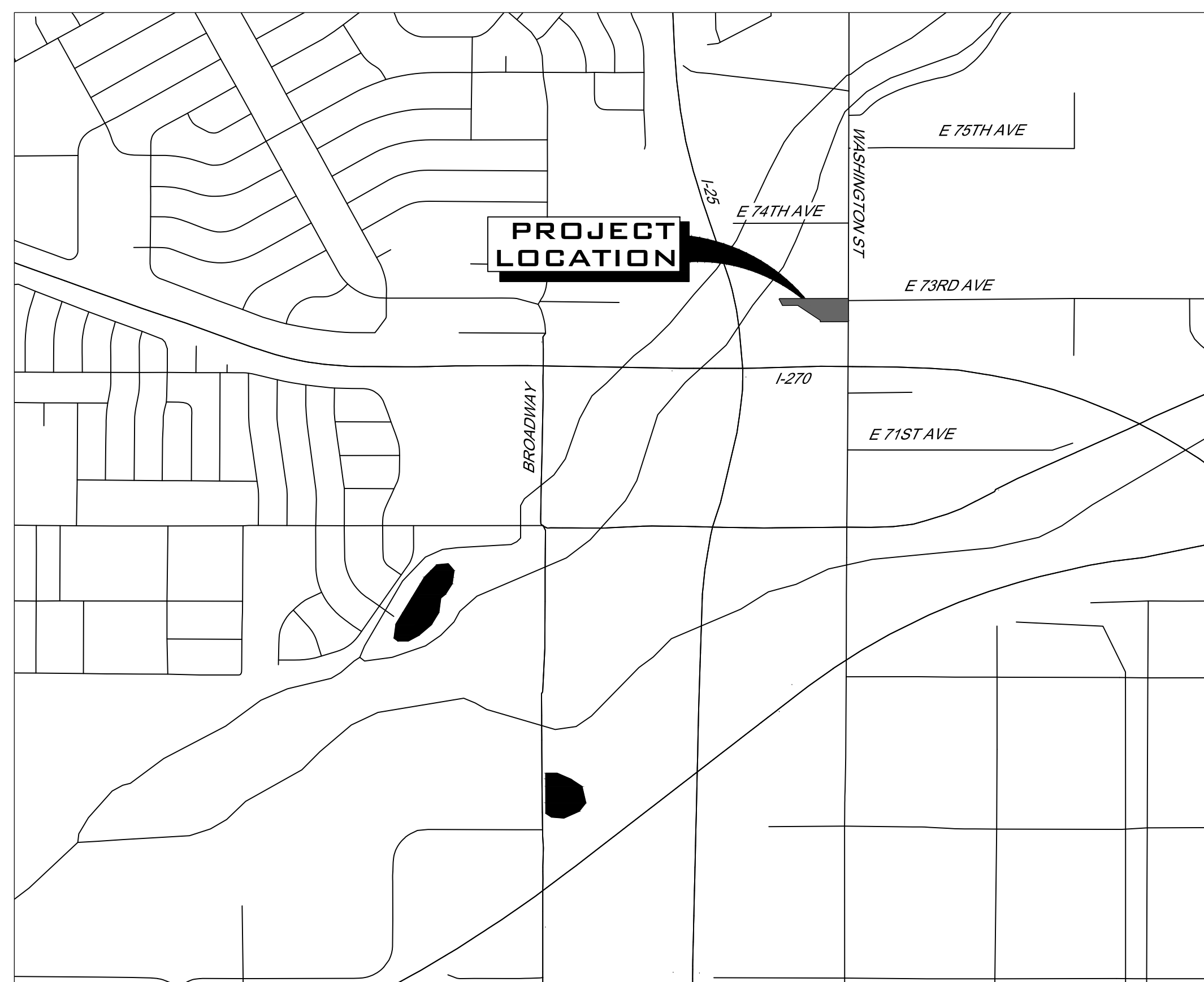
No.	Date



# MAIKER BOYERS COVER SHEET

## PRELIMINARY DEVELOPMENT PLAN

LOCATED AT: 7295 WASHINGTON ST., ADAMS COUNTY, CO 80229  
 LOT 1, AMENDED BOYER COFFEE SUBDIVISION (7295 WASHINGTON ST, DENVER, CO)  
 LOCATED IN THE SE QUARTER OF SECTION 34, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN  
 CITY OF DENVER, COUNTY OF ADAMS, STATE OF COLORADO



**VICINITY MAP**  
SCALE 1" = 1,000'

SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
C0.01	COVER SHEET
C0.02	GENERAL NOTES
C0.03	GENERAL NOTES
C1.00	EXISTING CONDITIONS AND DEMO PLAN
C1.01	SITE PLAN
C1.02	UTILITY PLAN
C2.00	EROSION AND SEDIMENT CONTROL PLAN - INITIAL
C2.01	EROSION AND SEDIMENT CONTROL PLAN - INTERIM
C2.02	EROSION AND SEDIMENT CONTROL PLAN - FINAL
C2.03	EROSION AND SEDIMENT CONTROL DETAILS
C2.04	EROSION AND SEDIMENT CONTROL DETAILS
C2.05	EROSION AND SEDIMENT CONTROL DETAILS

**BENCHMARK:**  
(NAVD83 DATUM)

ORIGINATING BENCHMARK:  
SET MAG NAIL IN ASPHALT AS SHOWN ON SHEET 2. USED OPUS PROCESSING FOR COORDINATE AND ELEVATION RESULT ON MARCH 9, 2023, HAVING USED 13,340 OF 14,196 OBSERVATIONS (94%) AND 68 OF 71 FIXED AMBIGUITIES (96%). (LIES APPROXIMATELY 9.2' NORTH OF WESTERLY MOST CORNER OF CONCRETE FOUNDATION.)

ELEVATION = 5149.69'

**BASIS OF BEARINGS:**

BEARINGS ARE BASED ON THE EAST LINE OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 34, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH P.M. HAVING AN ASSUMED BEARING OF NORTH 00°04'31" WEST, SAID LINE BEING MONUMENTED AT EACH END BY A FOUND REBAR WITH 3-1/4" ALUMINUM CAP (STAMPING ILLEGIBLE) IN A RANGE BOX.

No.	Date



# MAIKER BOYERS GENERAL NOTES

## GENERAL CONSTRUCTION AND SURVEY NOTES

- LOCAL JURISDICTIONAL REQUIREMENTS SHALL OVERRIDE THE SPECIFICATIONS ON THESE GENERAL NOTES PAGES IF APPLICABLE.
- CONTRACTOR AGREES THAT THEY SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF THE WORK ON THIS PROJECT, EXCEPTING FROM LIABILITY ARISING FROM SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
- ANY DISCREPANCY OR CONFLICT WITHIN THE DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER. DISCREPANCIES OR CONFLICTS NOT BROUGHT TO THE ENGINEER'S ATTENTION AND CLARIFIED DURING BIDDING OF THE PROJECT WILL BE DEEMED TO HAVE BEEN BID OR PROPOSED IN THE MORE COSTLY MANNER, AND THE BETTER QUALITY OR GREATER QUANTITY OF THE WORK SHALL BE PROVIDED BY THE CONTRACTOR IN ACCORDANCE WITH ENGINEER'S INTERPRETATION.
- LOCATIONS, ELEVATIONS, AND DIMENSION OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME THESE DRAWINGS WERE PREPARED, BUT DO NOT PURPORT TO BE ABSOLUTELY CORRECT. THE INDICATED LOCATION OF UNDERGROUND UTILITIES, STRUCTURES, AND FACILITIES IS APPROXIMATE AND REFLECTS THE BEST INFORMATION AVAILABLE FROM SURVEYS AND RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT SIZE, LOCATION, DEPTH, HEIGHT, ELEVATION, DIMENSION, AND EXTENT OF ALL UNDERGROUND AND OVERHEAD FACILITIES AND OTHER FEATURES AFFECTING THEIR WORK PRIOR TO PROCEEDING WITH ANY CONSTRUCTION ACTIVITY THAT MAY AFFECT SUCH FACILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE CAUSED BY FAILURE TO COMPLY WITH THESE INSTRUCTIONS.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND ALL RESPECTIVE GOVERNMENTAL OR UTILITY AGENCIES AFFECTED BY CONSTRUCTION 72 HOURS PRIOR TO STARTING CONSTRUCTION. ANY TIE-IN SHALL BE COORDINATED BY THE CONTRACTOR WITH THE PUBLIC WORKS DEPARTMENT, AT LEAST 48 HOURS IN ADVANCE.
- THE CONTRACTOR'S SURVEYOR SHALL OBTAIN AN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARKS, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO THE OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK. ALL BENCHMARKS OR MONUMENTS THAT NEED TO BE RELOCATED SHALL BE DONE SO BY A LICENSED SURVEYOR.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER/DEVELOPER AND ENGINEER OF ANY PROBLEM CONFORMING TO THE APPROVED PLANS FOR ANY ELEMENT OF THE PROPOSED IMPROVEMENTS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR MUST HAVE THE APPROVED CONSTRUCTION DRAWINGS IN THEIR POSSESSION PRIOR TO THE START OF CONSTRUCTION. AT LEAST ONE (1) COPY OF THE APPROVED PLANS, WITH REVISIONS, MUST BE KEPT ON-SITE AT ALL TIMES.
- THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS SPECIFIC AUTHORIZATION HAS BEEN GRANTED BY ADJACENT PROPERTY OR RIGHT OF WAY OWNER.
- CONTRACTOR SHALL MAINTAIN A CLEAN AND ORDERLY JOB SITE AT ALL TIMES.
- ALL STATIONS AND OFFSETS REFER TO THE CONSTRUCTION REFERENCE LINE, WHICH SHALL BE THE CENTERLINE OF THE ROADWAY, UNLESS OTHERWISE NOTED.
- ATTENTION IS DIRECTED TO THE FACT THAT THESE PLANS MAY HAVE BEEN ALTERED IN SIZE BY REPRODUCTION. THIS MUST BE CONSIDERED WHEN OBTAINING SCALED DATA.
- THE CONSTRUCTION LENGTHS INDICATED IN THESE PLANS ARE APPROXIMATE. ACTUAL LIMITS MAY BE SET IN THE FIELD AS DIRECTED BY THE ENGINEER.
- THE CONTRACTOR SHALL OBTAIN, AT THEIR OWN EXPENSE, ALL APPLICABLE CODES, LICENSES, STANDARDS, SPECIFICATIONS, PERMITS, BONDS, ETC. WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK.
- THE CONTRACTOR SHALL HAVE A FOREMAN, OR RESPONSIBLE PARTY ON SITE AT ALL TIMES WHEN WORK IS BEING PERFORMED. ALL WORKERS ON THE JOB SITE WILL BE COURTEOUS TO THE PUBLIC AT ALL TIMES AND SHALL REFER ANY QUESTIONS OR CONCERNS TO THE CONTRACTOR'S FOREMAN OR MUNICIPALITY INSPECTOR.
- THE CONTRACTOR SHALL MAINTAIN DETAILED "RECORD" DRAWINGS THROUGH THE COURSE OF CONSTRUCTION THAT DETAIL ALL FIELD ADJUSTMENTS IN THE EVENT SURVEYED AS-BUILT INFORMATION CANNOT BE OBTAINED PRIOR TO UTILITY BURIAL. RECORD DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER ALONG WITH SURVEYED AS-BUILT DRAWINGS FOR APPROVAL PRIOR TO FINAL ACCEPTANCE OF THE WORK BY THE OWNER.
- "AS-BUILT" DRAWINGS ARE TO BE PREPARED BY A LICENSED SURVEYOR PER JURISDICTIONAL PERMIT REQUIREMENTS AND SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO FINAL ACCEPTANCE OF THE WORK BY OWNER. AS-BUILT DRAWINGS MUST DEPICT THE SIZE, TYPE OF MATERIAL, AND HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITY, STORMWATER RELATED SITE IMPROVEMENTS. THIS INCLUDES BUT IS NOT LIMITED TO STORMWATER PIPES (INVERTS MUST BE SHOWN), INLETS, CURBS, SWALES, BERMS AND GRADE CHANGES IN PAVED AREAS. IN PARKING AND RETENTION AREAS THE AS-BUILT DRAWINGS MUST INCLUDE TOP-OF-BANK, TOE-OF-SLOPE, GRADE BREAKS, AND BOTTOM ELEVATIONS. PAVED, CONCRETE, AND LANDSCAPED AREAS MUST BE CLEARLY DEFINED. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE AS-BUILTS THAT MEET ALL OWNER, GOVERNMENTAL AGENCIES, AND ENGINEER OF RECORD'S REQUIREMENTS. AS-BUILTS MUST BE PERFORMED AND SIGNED AND SEALED BY A STATE LICENSED LAND SURVEYOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL QUALITY CONTROL MEASURES AND TESTING TO ENSURE THE WORK CONFORMS TO THE SPECIFICATIONS AND DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR ARRANGING ALL NECESSARY INSPECTIONS. ANY WORK FOUND TO BE DEFECTIVE OR NOT IN COMPLIANCE SHALL BE CORRECTED BY THE ENGINEER AT THEIR OWN EXPENSE.
- CONSTRUCTION EASEMENTS, RIGHT-OF-WAY, AND OTHER CRITICAL EASEMENTS SHALL BE DELINEATED WITH TEMPORARY STAKING BY THE CONTRACTOR.
- REFER TO FINAL RECORDED PLAT FOR LOT, TRACT, PARCEL, AND EASEMENT LOCATIONS AND DESIGNATIONS.
- ALL RETAINING WALLS OVER 4' IN HEIGHT REQUIRE A BUILDING PERMIT. (MEASURED FROM BOTTOM OF FOOTER TO TOP OF WALL)
- THE INFORMATION PROVIDED ON THESE PLANS DEPICT ONLY THE TOP OF WALL ELEVATION AND THE BOTTOM OF WALL ELEVATION WHERE THE FACE OF THE WALL MEETS THE FINISHED GRADE. DEPTH OF FOOTINGS OR ANY OTHER REQUIRED STRUCTURAL ELEMENTS ARE NOT INCLUDED. RETAINING WALLS SHALL BE DESIGNED BY OTHERS.
- THE ENGINEER SHALL NOT HAVE CONTROL OVER OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK SHOWN ON THESE PLANS. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S SCHEDULE OR FAILURE TO CARRY OUT THE WORK. THE ENGINEER IS NOT RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR THEIR AGENTS OR EMPLOYEES, OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.
- ALL TRENCH EXCAVATIONS SHALL BE PROPERLY SLOPED, SHORED, OR OTHERWISE SUPPORTED IN A MANNER REQUIRED BY OSHA AND AS REQUIRED BY STATE OR LOCAL LAWS.
- IF CONFLICTING INFORMATION IS NOTED WITHIN THESE PLANS, THE CONTRACTOR IS TO IMMEDIATELY CONTACT THE ENGINEER FOR CLARIFICATION.

## EROSION AND SEDIMENT CONTROL NOTES

- LOCAL JURISDICTIONAL REQUIREMENTS SHALL OVERRIDE THE SPECIFICATIONS ON THESE GENERAL NOTES PAGES, IF APPLICABLE.
- THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPRISED OF THE EROSION PLANS AND STANDARD DETAILS IN THIS PLAN SET PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS. ALL STORMWATER POLLUTION PREVENTION MEASURES PRESENTED IN THESE DRAWINGS, AND/OR IN THE STORMWATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
- ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORMWATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORMWATER POLLUTION PREVENTION PLAN AND THE STATE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERIC PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SITE CONDITIONS DURING CONSTRUCTION UNTIL THE PROJECT IS ACCEPTED.
- THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES (BMP'S) AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- BEST MANAGEMENT PRACTICES AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY OR OWNER.
- PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS SHALL ALWAYS BE RETAINED ON SITE.
- THE CONTRACTOR SHALL LIMIT CLEARING TO THE MINIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- CONTRACTOR TO LIMIT DISTURBANCE OF SITE IN STRICT ACCORDANCE WITH EROSION CONTROL SEQUENCING SHOWN ON THESE PLANS. NO UNNECESSARY OR IMPROPERLY SEQUENCED CLEARING AND/OR GRADING SHALL BE PERMITTED.
- CONTRACTOR SHALL APPLY EROSION CONTROL BLANKETS TO ALL SLOPES 3:1 (H:V) OR STEEPER.
- THE GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATION IS PROHIBITED.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- ALL DENUDED AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE, MUST BE STABILIZED TEMPORARILY WITH THE USE OF FAST-GERMINATING ANNUAL GRASS/GRAN VARIETIES, STRAWHAY, MULCH, WOOD CELLULOSE FIBERS, TACKIFIERS, NETTING OR BLANKETS AS SHOWN ON THESE DRAWINGS.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED AS SHOWN ON THE PLANS. THESE AREAS SHALL BE SEEDED, SODDED AND/OR VEGETATED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. ONLY USE INGRESS/EGRESS LOCATIONS AS PROVIDED.
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE. CONTRACTOR SHALL ALSO REMOVE ALL SILT/SEDIMENT/DEBRIS PRIOR TO CERTIFICATION.
- ON-SITE & OFF-SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- DUE TO THE GRADE CHANGES DURING DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE.
- SEE SITE PLAN FOR PERMANENT AND TEMPORARY SIGNAGE.
- THE GENERAL CONTRACTOR IS TO DESIGNATE/IDENTIFY AREAS ON THESE DRAWINGS, INSIDE THE LIMITS OF DISTURBANCE FOR WASTE DISPOSAL AND DELIVERY OF MATERIAL STORAGE.
- THE CONTRACTOR SHALL INSPECT ALL EROSION AND SEDIMENT CONTROL MEASURES ON A WEEKLY BASIS AND FOLLOWING MAJOR STORM EVENTS. REPARATIVE ACTION SHALL BE TAKEN WITHIN 24 HOURS OF INSPECTION. EROSION CONTROL INSPECTORS SHALL KEEP A RECORD OF ALL INSPECTIONS AND MAINTENANCE ACTIVITIES INCLUDING DATES OF INSPECTIONS, NAMES OF INSPECTORS, OBSERVATIONS, ACTIONS TAKEN, AND RAINFALL AMOUNTS.
- SEDIMENT SHALL BE REMOVED FROM BMP MEASURES ONCE SEDIMENT HAS REACHED ONE-HALF HEIGHT OF THE BARRIER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A DEWATERING PLAN TO REGULATORY AGENCIES IF NECESSITATED.

## DEMOLITION NOTES

- LOCAL JURISDICTIONAL REQUIREMENTS SHALL OVERRIDE THE SPECIFICATIONS ON THESE GENERAL NOTES PAGES, IF APPLICABLE.
- ALL EXISTING ABOVE AND BELOW GROUND STRUCTURES WITHIN THE LIMITS OF CONSTRUCTION SHALL BE DEMOLISHED OR REMOVED UNLESS NOTED OTHERWISE WITHIN THIS CONSTRUCTION SET AND/OR PROJECT SPECIFICATIONS. ALL PAVEMENT, BASE COURSES, SIDEWALKS, CURBS, BUILDINGS, FOUNDATIONS, ETC., WITHIN THE AREA TO BE DEMOLISHED SHALL BE REMOVED TO FULL DEPTH. THIS INCLUDES FOUNDATION SLABS, WALLS, AND FOOTINGS. CAVITIES LEFT BY STRUCTURE REMOVAL SHALL BE BACKFILLED WITH SATISFACTORY MATERIALS AND COMPACTED PER THE PROJECT SPECIFICATIONS, AS DETERMINED BY THE ONSITE GEOTECHNICAL ENGINEER.
- ITEMS SHOWN TO BE RELOCATED SHALL BE CAREFULLY REMOVED AND STORED BY THE CONTRACTOR UNTIL SUCH TIME AS THEY CAN BE PLACED IN THEIR NEW LOCATION. CONTRACTOR SHALL VERIFY THESE ITEMS WITH THE OWNER PRIOR TO CONSTRUCTION.
- IF ELEMENTS ARE DISCOVERED THAT ARE NOT DEPICTED IN THIS SET OF PLANS OR SUPPORTING REPORTS, THEY SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER.
- CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD.
- ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE DESIGNATED AND SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF OFFSITE IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS. TAKE CARE TO PROTECT UTILITIES AND STRUCTURES THAT ARE TO REMAIN. REPAIR DAMAGE ACCORDING TO THE APPROPRIATE UTILITY COMPANY STANDARDS AND AT THE CONTRACTOR'S EXPENSE.
- ALL UTILITY DISCONNECTION, REMOVAL, RELOCATION, CUTTING, CAPPING AND /OR ABANDONMENT SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY / AGENCY.
- ALL UTILITY AND STRUCTURE REMOVAL, RELOCATION, CUTTING, CAPPING AND/OR ABANDONMENT SHALL BE COORDINATED AND PROPERLY DOCUMENTED BY A CERTIFIED PROFESSIONAL, WHEN APPLICABLE WITH THE APPROPRIATE UTILITY COMPANY, MUNICIPALITY AND/OR AGENCY. DEMOLITION OF REGULATED ITEMS MAY INCLUDE, BUT IS NOT LIMITED TO: WELLS, ASBESTOS, UNDERGROUND STORAGE TANKS, SEPTIC TANKS AND ELECTRIC TRANSFORMERS. DEMOLITION CONTRACTOR SHALL REFER TO ANY ENVIRONMENTAL STUDIES FOR DEMOLITION RECOMMENDATIONS AND GUIDANCE. AVAILABLE ENVIRONMENTAL STUDIES MAY INCLUDE, BUT ARE NOT LIMITED TO: PHASE I ESA, PHASE II, AND ASBESTOS SURVEY. ALL APPLICABLE ENVIRONMENTAL STUDIES SHALL BE MADE AVAILABLE UPON REQUEST.
- EROSION AND SEDIMENTATION CONTROL MEASURES AROUND AREAS OF DEMOLITION SHALL BE PROPERLY INSTALLED AND SHALL FUNCTION PROPERLY PRIOR TO INITIALIZATION OF DEMOLITION ACTIVITIES. ADDITIONALLY, THE CONTRACTOR SHALL USE SUITABLE METHODS TO CONTROL DUST AND DIRT CAUSED BY THE DEMOLITION ACTIVITIES.
- CONTRACTOR SHALL COORDINATE AN ASBESTOS INSPECTIONS/SURVEY PRIOR TO DEMOLITION OF ANY BUILDING, ASBESTOS OR HAZARDOUS MATERIALS, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED. THE DEVELOPER AND OR OWNER SHALL PROVIDE THE PHASE I ESA TO THE CONTRACTOR.
- CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, FEDERAL AND OSHA REGULATIONS DURING ALL DEMOLITION ACTIVITIES.
- CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES, STRUCTURES, AND FEATURES TO REMAIN. ANY ITEMS TO REMAIN THAT HAVE BEEN DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. REPAIR TO PRE-CONSTRUCTION CONDITION OR BETTER.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH STATE DEPARTMENT OF TRANSPORTATION REGULATIONS AND AS REQUIRED BY LOCAL AGENCIES WHEN WORKING IN AND/OR ALONG STREETS, ROADS, HIGHWAYS, ETC. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN APPROVAL AND COORDINATE WITH LOCAL AND/OR STATE AGENCIES REGARDING THE NEED, EXTENT AND LIMITATIONS ASSOCIATED WITH INSTALLING AND MAINTAINING TRAFFIC CONTROL MEASURES.
- DAMAGE TO LOOPS OR ANY SIGNAL EQUIPMENT CAUSED BY CONSTRUCTION OF THIS PROJECT MUST BE REPAIRED OR REPLACED TO ORIGINAL OR BETTER CONDITION BY THE CONTRACTOR AT NO COST TO THE OWNER OR MUNICIPALITY.
- ASPHALT/CONCRETE REMOVAL SHALL BE FULL DEPTH TO SUBGRADE PROVIDE NEAT, STRAIGHT, FULL DEPTH, SAW CUTS OF EXISTING PAVEMENT. LANDSCAPE AREAS SHALL BE BACKFILLED PER LANDSCAPE PLANS/GUIDELINES.
- NO TREES SHALL BE REMOVED, NOR VEGETATION DISTURBED BEYOND THE LIMITS OF CONSTRUCTION WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR ENSURING THAT APPROPRIATE MEASURES ARE TAKEN IF PREVIOUSLY UNIDENTIFIED ENVIRONMENTAL IMPACTS ARE DISCOVERED ON THE DEVELOPMENT SITE.
- UPON DISCOVERY OF PREVIOUSLY UNIDENTIFIED CONTAMINATION, THE CONTRACTOR WILL BE RESPONSIBLE FOR ENSURING WORKERS' HEALTH AND SAFETY. IF UNSAFE WORKING CONDITIONS PREVAIL, THE CONTRACTOR WILL BE RESPONSIBLE FOR STOPPING WORK WITHIN SAID AREA IMMEDIATELY. THE CONTRACTOR SHALL MAKE AN ATTEMPT TO DOCUMENT AND ASSESS THE NATURE AND DISPOSITION OF THE IDENTIFIED IMPACT. FOLLOWING THIS INITIAL DOCUMENTATION, THE CONTRACTOR WILL NOTIFY THE ENVIRONMENTAL CONSULTANT OF THE DISCOVERY.
- IF IT IS SAFE TO OPERATE WITHIN THE AFFECTED AREA, THE CONTRACTOR, UNDER THE DIRECTION OF THE ENVIRONMENTAL CONSULTANT, WILL APPLY APPROPRIATE MEASURES TO PRECLUDE EXACERBATION OF THE IDENTIFIED IMPACT.
- UPON NOTIFICATION, THE ENVIRONMENTAL CONSULTANT SHALL CONDUCT A PRELIMINARY INVESTIGATION OF THE AFFECTED AREA(S) AND DETERMINE THE APPROPRIATE COURSE OF ACTION. FURTHERMORE, THE ENVIRONMENTAL CONSULTANT SHALL BE RESPONSIBLE FOR INITIATING THE REQUISITE NOTIFICATION PROCEDURES IN ACCORDANCE WITH THE REQUIREMENTS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- WORK WILL RESUME WITHIN THE AFFECTED AREA AT THE DIRECTION OF THE ENVIRONMENTAL CONSULTANT.
- APPROVAL FROM THE PERMIT ISSUING JURISDICTION MUST BE OBTAINED PRIOR TO THE REMOVAL OF NATIVE VEGETATION.
- CONTRACTOR TO COORDINATE WITH LOCAL UTILITY PROVIDERS PRIOR TO ANY MODIFICATION OR ANY INTERRUPTION IN SERVICE.
- ANY DISTURBANCE OR DAMAGE TO EXISTING FEATURES WITHIN RIGHTS-OF-WAYS SHALL BE REPAIRED TO ORIGINAL CONDITION OR BETTER, AND THE RIGHT OF WAY OWNER SHALL BE NOTIFIED IMMEDIATELY.
- ANY DESTRUCTION OF PAVEMENT AS A RESULT OF UTILITY CONSTRUCTION SHALL BE REPLACED THE FULL LANE WIDTH PER APPLICABLE CONSTRUCTION STANDARDS.
- IF ANY HISTORICAL OR CULTURAL ARTIFACTS ARE DISCOVERED DURING DEMOLITION, THE CONTRACTOR SHALL IMMEDIATELY CEASE WORK IN THAT AREA AND NOTIFY THE OWNER AND APPROPRIATE AUTHORITIES.
- THE CONTRACTOR SHALL COMPLY WITH LOCAL NOISE ORDINANCES AND RESTRICT LOUD DEMOLITION ACTIVITIES TO THE HOURS SPECIFIED BY LOCAL REGULATIONS OR AS DIRECTED BY THE OWNER
- THE CONTRACTOR SHALL MONITOR AND CONTROL VIBRATIONS FROM DEMOLITION ACTIVITIES TO PREVENT DAMAGE TO ADJACENT STRUCTURES AND UTILITIES.

## TEMPORARY TRAFFIC CONTROL NOTES

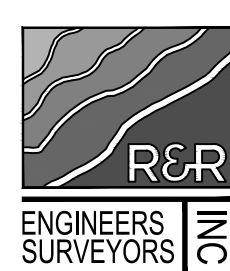
- LOCAL JURISDICTIONAL REQUIREMENTS SHALL OVERRIDE THE SPECIFICATIONS ON THESE GENERAL NOTES PAGES, IF APPLICABLE.
- THE CONTRACTOR SHALL PROVIDE FOR THE SAFE MOVEMENT OF PEDESTRIANS AND VEHICLES THROUGHOUT ALL PHASES OF CONSTRUCTION, INCLUDING DELIVERIES AND DROP-OFFS IN WORK ZONES. THE CONTRACTOR SHALL FURNISH, ERECT AND MAINTAIN ALL NECESSARY TRAFFIC CONTROL AND SAFETY DEVICES, IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) AND MUTCD STANDARDS AS WELL AS ANY ADDITIONAL REQUIREMENTS IMPOSED BY THE STATE'S DOT.
- ALL TRAFFIC CONTROL MEASURES SHALL PRIORITIZE SAFETY ABOVE ALL ELSE.
- ACCESS TO ALL SIDE STREETS AND DRIVEWAYS SHALL BE CONTINUOUSLY MAINTAINED FOR THE DURATION OF THE PROJECT UNLESS PREVIOUSLY APPROVED BY THE LOCAL JURISDICTION.
- ANY LANE CLOSURE REQUIRES APPROVAL BY THE LOCAL JURISDICTION DEPARTMENT AS WELL AS ADVANCED NOTICE OF 72 HOURS WHEN THE LANE CLOSURE IS TO OCCUR. CONTRACTOR TO TAKE ADDITIONAL CONSIDERATION IN COMMUNICATION OF SPECIFIC HOMES AND BUSINESSES THAT ARE TO BE IMPACTED.
- ENSURE EMERGENCY VEHICLES CAN ACCESS AT ALL TIMES. ANY BLOCKAGES OR DIVERSIONS SHOULD BE COMMUNICATED TO LOCAL EMERGENCY SERVICES IN ADVANCE.
- DURING PERIODS OF LANE CLOSURES, THE CONTRACTOR IS TO PROVIDE A DOT CERTIFIED SITE TRAFFIC SUPERVISOR FOR THE INSTALLATION, MAINTENANCE, AND REMOVAL OF TRAFFIC CONTROL DEVICES (E.G. BARRICADES, SIGNS, ARROW PANELS, ETC.) AS OUTLINED IN THE STATE'S DEPARTMENT OF TRANSPORTATION STANDARDS.
- TRAFFIC CONTROL MEASURES ARE TO BE MONITORED, PARTICULARLY DURING PEAK HOURS, TO ENSURE THAT CONTROL MEASURES ARE EFFECTIVE AND THAT NO DANGEROUS SITUATIONS ARISE.
- BE PREPARED TO ADJUST TRAFFIC CONTROL MEASURES AS NEEDED. WHAT WORKS DURING ONE PHASE OF CONSTRUCTION MAY NOT BE SUITABLE FOR ANOTHER.
- IF WORK IS BEING PERFORMED AT NIGHT, ENSURE ALL TRAFFIC CONTROL DEVICES ARE CLEARLY VISIBLE. THIS MIGHT REQUIRE ADDITIONAL LIGHTING OR REFLECTIVE MATERIALS.
- MAINTAIN THOROUGH DOCUMENTATION OF ALL TRAFFIC CONTROL MEASURES, INCLUDING ADJUSTMENTS MADE DURING THE CONSTRUCTION PROCESS.

SOURCES OF INFORMATION*		
DESCRIPTION	COMPANY	DATE
BOUNDARY SURVEY	R&R ENGINEERS-SURVEYORS, LLC	3/17/2023
TOPOGRAPHIC SURVEY	R&R ENGINEERS-SURVEYORS, LLC	3/17/2023
ARCHITECTURAL INFORMATION & DIMENSIONS	SOPHER SPARN ARCHITECTS, LLC	11/19/2024
HISTORICAL/CULTURAL RESOURCE SURVEY		
BUILDING UTILITY CONNECTION LOCATIONS	RJA ENGINEERING	11/15/2024
GEOTECHNICAL REPORT	PARTNER ASSESSMENT CORPORATION	3/22/2023
ENVIRONMENTAL REPORT		
TRAFFIC IMPACT ANALYSIS	LSC TRANSPORTATION CONSULTANTS	TBD
MECHANICAL, ELECTRICAL, PLUMBING (MEP)	RJA ENGINEERING	11/15/2024

\* = THE FOLLOWING SOURCES HAVE BEEN UTILIZED IN PREPARATION OF THESE PLANS. IT IS POSSIBLE THAT UPDATES TO THESE SOURCES HAVE BEEN COMPLETED FOLLOWING ISSUANCE OF THESE PLANS AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE LATEST VERSION.



**NOTICE: DUTY OF COOPERATION**  
 RELEASE OF THESE DOCUMENTS CONTINGENT UPON THE OWNER, HIS CONTRACTOR, AND THE ARCHITECT DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH CARE AND DILIGENCE, THE ARCHITECT ASSUMES NO LIABILITY FOR ERRORS, OMISSIONS, OR DISCREPANCY DISCOVERED BY THE USE OF THESE DOCUMENTS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.



No.	Date

**MAIKER BOYERS**  
 7295 WASHINGTON ST., ADAMS COUNTY, CO 80229



# MAIKER BOYERS

## GENERAL NOTES

### PAVING NOTES

- LOCAL JURISDICTIONAL REQUIREMENTS SHALL OVERRIDE THE SPECIFICATIONS ON THESE GENERAL NOTES PAGES, IF APPLICABLE.
- EXISTING PAVEMENT SHALL BE SAWCUT IN PROPOSED PATCH AREAS TO A DEPTH REQUIRED FOR THE PROPOSED PAVEMENT AS SHOWN ON THE PLANS.
- ALL PROPOSED ASPHALT PATCHES AND SURFACING OVERLAIN ON EXISTING PAVEMENT SHALL BE FEATHERED SMOOTHLY INTO THE EXISTING PAVEMENT, AND MAY REQUIRE THE NEED FOR A MILLED BUTT-JOINT AS DIRECTED BY THE ENGINEER.
- ALL SIDEWALKS ARE TO BE 4" THICK IN NON-VEHICULAR AREAS, UNLESS OTHERWISE NOTED.
- UNLESS OTHERWISE STATED IN THE SPECIFICATIONS OR UNDER A SEPARATE ITEM, ALL EXCESS MILLINGS SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF AT AN APPROVED SITE PROVIDED BY THE CONTRACTOR.
- NO SURFACING SHALL BE APPLIED TO ANY MANHOLE COVERS, FRAMES, VALVE BOXES, GAS DROPS, ETC. EXISTING APPURTENANCES ARE TO BE ADJUSTED TO FINISHED GRADE.
- ALL EXISTING AND PROPOSED UTILITY AND STORM SEWER STRUCTURE TOPS THAT ARE TO BE EXPOSED WITHIN ANY SIDEWALK OR PAVED AREAS SHALL BE ADJUSTED SO THAT THE TOP SURFACE OF COVERS OR FRAMES SHALL BE FLUSH WITH THE SIDEWALK OR PAVEMENT SURFACE.
- ANY FACILITIES DAMAGED THAT ARE LOCATED OUTSIDE THE LIMITS OF DISTURBANCE SHALL BE REPAIRED IN A TIMELY MANNER AND AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR IS TO ENSURE THAT THE QUALITY OF MATERIALS AND WORKMANSHIP FOR PAVING MEETS OR EXCEEDS THE STANDARDS SET BY LOCAL AND STATE REGULATIONS.
- PAVING OPERATIONS SHALL NOT BE CONDUCTED DURING RAINY WEATHER OR WHEN THE BASE MATERIAL IS WET OR FROZEN.
- PROPER COMPACTION OF THE SUBGRADES, BASE, AND SURFACE LAYERS IS ESSENTIAL. THE CONTRACTOR SHALL ENSURE THAT THESE ARE COMPACTED TO THE SPECIFICATIONS PROVIDED IN THE PLANS OR DICTATED BY STATE/LOCAL REGULATION.
- ALL JOINTS SHALL BE PROPERLY SEALED TO PREVENT WATER INFILTRATION AND ENSURE THE LONGEVITY OF THE PAVEMENT.
- FRESHLY LAID ASPHALT SHALL BE PROTECTED FROM TRAFFIC UNTIL IT HAS COOLED AND HARDENED.
- THE CONTRACTOR SHALL DISTURB NO MORE GROUND THAN WHAT IS NECESSARY FOR CONSTRUCTION. NO OPEN EXCAVATED TRENCH, OR OTHER UNSAFE CONDITION, WILL BE LEFT OVERNIGHT.
- UPON COMPLETION OF PAVING WORK, THE CONTRACTOR SHALL CLEAN UP AND REMOVE ALL SURPLUS MATERIALS, LEAVING THE SITE IN A NEAT AND ORDERLY CONDITION.
- CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT THICKNESS AND FOUNDATION RECOMMENDATIONS.

### TREES & VEGETATION NOTES

- LOCAL JURISDICTIONAL REQUIREMENTS SHALL OVERRIDE THE SPECIFICATIONS ON THESE GENERAL NOTES PAGES, IF APPLICABLE.
- THE CONTRACTOR SHALL VERIFY WHICH TREES ARE TO BE SAVED AND PROTECTED PRIOR TO COMMENCING CONSTRUCTION. DURABLE FENCE PROTECTION BARRIERS SHALL BE INSTALLED AROUND ALL TREES TO BE SAVED WITH FENCE PLACEMENT A MINIMUM OF 10 FEET FROM TREE CANOPY OR THE DRIP LINE, WHICHEVER IS GREATER.
- THE CONTRACTOR SHALL NOT DISTURB AREAS AROUND EXISTING TREES TO BE SAVED.
- THE CONTRACTOR SHALL PROTECT EXISTING GRASS, LANDSCAPING, AND TREES NOT IN DIRECT CONFLICT WITH PROPOSED IMPROVEMENTS DURING CONSTRUCTION. GRASSED AREAS DAMAGED DURING CONSTRUCTION SHALL BE RESTORED BY THE CONTRACTOR WITH TOPSOIL AND SODDED.
- THE CONTRACTOR SHALL REMOVE ALL VEGETATION, TREES, STUMPS, GRASSES, ORGANIC SOIL, DEBRIS, AND DELETERIOUS MATERIALS IN CONFLICT WITH IMPROVEMENTS.
- AFTER THE CONTRACTOR HAS REMOVED THE MATERIALS AS DESCRIBED ABOVE, HE SHALL STRIP SUITABLE TOPSOIL AND STOCKPILE FOR LANDSCAPING USE.
- THE CONTRACTOR SHALL EXERCISE EXTRA CARE TO AVOID DAMAGE TO TREES AND ORNAMENTAL SHRUBS PLANTED AND MAINTAINED BY PROPERTY OWNERS IN THE TERRACES FRONTING THEIR PROPERTY.
- CONTRACTOR SHALL COMPENSATE OWNER FOR DAMAGE TO TREES NOT SHOWN TO BE REMOVED IN PLANS.
- OAK TREES DAMAGED DURING CONSTRUCTION SHALL BE SEALED WITHIN SIX HOURS OF DAMAGE TO PREVENT INFECTION BY OAK WILT.

### GRADING & DRAINAGE NOTES

- LOCAL JURISDICTIONAL REQUIREMENTS SHALL OVERRIDE THE SPECIFICATIONS ON THESE GENERAL NOTES PAGES, IF APPLICABLE.
- ELEVATIONS DEPICTED HEREON ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988, (NAVD 88), OR AS SPECIFIED ON THE PLAN SET.
- THE CONTRACTOR SHALL THOROUGHLY REVIEW ASSOCIATED PROFESSIONAL REPORTS (ENVIRONMENTAL, DRAINAGE, GEOTECHNICAL, ETC.) AND IMPLEMENT SITE SPECIFIC RECOMMENDATIONS OF THESE REPORTS.
- PRIOR TO GRADING, CONTRACTOR TO COORDINATE WITH UTILITY CONTRACTORS TO ENSURE NO UNDERGROUND UTILITIES ARE DAMAGED DURING OPERATIONS.
- CONTRACTOR SHALL ENSURE ALL NECESSARY PERMITS RELATED TO GRADING AND DRAINAGE HAVE BEEN OBTAINED PRIOR TO COMMENCING WORK.
- IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER AND ENGINEER FOR REVIEW.
- ANY SETTLEMENT OR SOIL ACCUMULATION BEYOND THE PROPERTY LIMITS DUE TO GRADING OR EROSION SHALL BE REPAIRED IMMEDIATELY.
- STREET CONTOURS SHOWN ON THESE PLANS REPRESENT TOP OF ASPHALT ELEVATION.
- COMPACTION FILL MATERIAL SHALL BE COMPACTED ACCORDING TO THE APPROPRIATE GOVERNING AGENCY REGULATIONS AND THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT.
- STATION AND OFFSET INFORMATION FOR STORM DRAIN INFRASTRUCTURE REFERENCE THE CENTER OF THE SPECIFIED STRUCTURE BOTTOM. CONTRACTOR IS TO CONFIRM LENGTHS ASSOCIATED WITH PIPES THAT INCLUDE A MITERED END SECTION.
- PRESSURIZED MAINS OR OTHER "DRY UTILITY" LINES IN CONFLICT WITH GRAVITY SEWER OR GRAVITY STORM ARE TO BE RESOLVED BY ADJUSTING THE PRESSURIZED AND/OR "DRY UTILITY" SYSTEMS. CONTRACTOR TO IMMEDIATELY NOTIFY ENGINEER IF CONFLICTS ARE OBSERVED THAT ARE NOT DEPICTED ON THESE PLANS.
- WHERE IT IS NECESSARY TO DEFLECT PIPE EITHER HORIZONTALLY OR VERTICALLY, PIPE JOINT DEFLECTION SHALL NOT EXCEED THE MAXIMUM VALUES SPECIFIED IN AWWA C-600-B2 OR BOX OF THE PIPE MANUFACTURER'S MAXIMUM RECOMMENDED DEFLECTION, WHICHEVER IS MORE STRINGENT.
- PROOF ROLL BUILDING AND ALL PARKING AREAS. NOTIFY THE ENGINEER OF ANY UNACCEPTABLE AREAS.
- EDGE OF NEW PAVEMENT TO BE FLUSH WITH EXISTING PAVEMENT TO ASSURE A SMOOTH, CONTINUOUS GRADE.
- ALL SIDEWALK CURB AND GUTTER, STREET PAVING, CURB CUTS, DRIVEWAY APPROACHES, HANDICAP RAMPS, ETC. CONSTRUCTED OUTSIDE THE PROPERTY LINE IN THE RIGHT-OF-WAY SHALL CONFORM TO ALL MUNICIPAL, ADA, AND STATE SPECIFICATIONS AND REQUIREMENTS.
- CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL ADA ACCESSIBLE SIDEWALKS MAINTAIN SLOPES NOT TO EXCEED 5% LONGITUDINALLY AND 2% CROSS SLOPES, SLOPES AT ACCESSIBLE PARKING SPACES AND ACCESS AISLE SHALL BE A MAXIMUM 2%, AND THE MANEUVERING CLEARANCE AT EXTERIOR ENTRANCES SHALL HAVE A MAXIMUM SLOPE OF 2%. THE MAXIMUM SLOPE OF A RAMP SHALL NOT EXCEED 12:1 (H:V).
- FOR AREAS OUTSIDE THE PROPERTY LINES, REPAIR AND/OR REPLACE ALL DAMAGE DONE TO EXISTING ELEMENTS (SIDEWALKS, PAVING, LANDSCAPING, ETC.) AS REQUIRED BY THE OWNER AND/OR GOVERNING AUTHORITY.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY. CONTRACTOR SHALL DISPOSE OF ALL WASTE/DEBRIS FROM SITE TO A PROPER AND APPROVED WASTE SITE.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST THE EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL CUT OR FILL SLOPES SHALL BE 4:1 (H:V) OR FLATTER UNLESS OTHERWISE NOTED.
- EXISTING DRAINAGE STRUCTURES SHALL BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES SHALL BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- CONTRACTOR TO VERIFY EXISTING PAVEMENT GRADES WHERE MODIFICATIONS AND/OR DRIVEWAY CONNECTIONS ARE BEING MADE. IF THERE IS ANY DEVIATION FROM THE EXISTING GRADES SHOWN HEREON THE CONTRACTOR MUST CONTACT ENGINEER OF RECORD FOR DIRECTION.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 3" OF TOPSOIL AND BE SODDED TO MATCH SURROUNDING AREA.
- ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
- ALL STORM PIPE SHALL BE REINFORCED CONCRETE PIPE WITHIN THE RIGHT OF WAY, OR AS SPECIFIED IN THESE DOCUMENTS.
- CONTRACTOR TO RAISE ALL EXISTING UTILITY MANHOLES, VAULT BOXES, METER BOXES, ETC. TO PROPOSED GRADES UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL REVIEW ALL GEOTECHNICAL REPORTS FOR SUPPLEMENTAL CONSTRUCTION RECOMMENDATIONS.

### UTILITY NOTES

- LOCAL JURISDICTIONAL REQUIREMENTS SHALL OVERRIDE THE SPECIFICATIONS ON THESE GENERAL NOTES PAGES, IF APPLICABLE.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST PLACE AN 811 TICKET, AND/OR CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (1-800-922-1987), CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED. ANY DEVIATION FROM THESE PLANS SHALL NEED TO BE APPROVED BY THE ENGINEER OF RECORD AND/OR AGENCIES WITH SIGNED AND WRITTEN CONSENT.
- THE CONTRACTOR IS TO VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES, WHETHER SHOWN OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY CONFLICTS TO ENGINEER.
- THE CONTRACTOR SHALL MAINTAIN OPEN COMMUNICATION WITH UTILITY PROVIDERS THROUGHOUT THE PROJECT TO ENSURE THAT ANY DISRUPTIONS TO SERVICE ARE MINIMIZED AND COORDINATED.
- BEFORE STARTING ANY EXCAVATION, THE CONTRACTOR SHALL USE A UTILITY LOCATING SERVICE TO IDENTIFY AND MARK THE LOCATION OF ALL UNDERGROUND UTILITIES.
- NO TEMPORARY CONNECTIONS TO FIRE HYDRANTS MAY BE MADE WITHOUT THE EXPRESS AUTHORIZATION OF THE UTILITY OWNER.
- BACKFLOW DEVICES ARE CRUCIAL FOR PREVENTING CONTAMINATION OF THE POTABLE WATER SUPPLY. THE CONTRACTOR SHOULD ENSURE THAT THESE DEVICES ARE INSTALLED CORRECTLY, TESTED REGULARLY, AND PASS ALL LOCALLY REQUIRED INSPECTIONS.
- NO VALVES IN THE OWNER'S WATER DISTRIBUTION SYSTEM SHALL BE OPERATED BY THE CONTRACTOR WITHOUT PRIOR PERMISSION OF THE OWNER. THE CONTRACTOR SHALL NOTIFY THE OWNER WHEN A VALVE IS TO BE OPERATED AND SHALL ONLY OPERATE THE VALVE IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE. COORDINATE ALL SHUTDOWN OF MAINS FOR TIE-INS WITH THE OWNER 72 HOURS PRIOR TO WORK BEING COMPLETED. THE CONTRACTOR SHALL INSPECT THE MATERIALS FOR DEFECTS AT THE TIME THEY ARE UNLOADED, AND ANY MATERIALS FOUND DEFECTIVE SHALL BE REMOVED FROM THE SITE.
- ALL UTILITY WORK SHALL BE INSPECTED BY A QUALIFIED PROFESSIONAL TO ENSURE IT MEETS THE DESIGN SPECIFICATIONS AND ANY APPLICABLE REGULATIONS.
- THE CONTRACTOR SHALL HAVE EMERGENCY PROTOCOLS IN PLACE IN CASE OF UTILITY DAMAGE OR OTHER UNFORESEEN ISSUES. THIS INCLUDES IMMEDIATE NOTIFICATION OF ALL APPROPRIATE PARTIES AND TAKING STEPS TO MITIGATE ANY POTENTIAL HAZARDS.
- WHEN WORKING NEAR WATER SOURCES OR IN ENVIRONMENTALLY SENSITIVE AREAS, THE CONTRACTOR SHALL TAKE EXTRA PRECAUTIONS TO PREVENT CONTAMINATION OR DAMAGE TO THE ENVIRONMENT.
- NO TIE-IN SHALL BE MADE TO THE EXISTING UTILITY SYSTEM UNTIL ALL TEST RESULTS HAVE BEEN PROVIDED TO THE LOCAL PUBLIC WORKS DEPARTMENT AND ARE VERIFIED.
- PRIOR TO TESTING, ANY CONNECTION TO THE PUBLIC WATER SUPPLY SHALL BE THROUGH AN APPROVED AND TESTED BACKFLOW DEVICE.
- PLUG EXISTING SEWER BEFORE INSTALLING ANY NEW SEWER MAIN.
- CONCRETE PADS SHALL BE PROVIDED AROUND CLEAN-OUTS (24"x24"x4").
- ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH THRUST BLOCKING AS CALLED OUT IN STATE/LOCAL SPECIFICATIONS FOR WATER MAIN CONSTRUCTION.
- WATER AND SANITARY SEWER SHOULD BE KEPT TEN (10') APART (PARALLEL) OR 18" APART WHEN CROSSING (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
- THE CONTRACTOR SHALL INSTALL ALL WATER MAINS BELOW THE JURISDICTIONAL FROST DEPTH.
- CONTRACTOR TO PLACE IDENTIFICATION RIBBON AND TRACER WIRE PER UTILITY PROVIDER'S SPECIFICATIONS.
- NEW WATER MAINS AND FORCE MAINS TO BE PVC C900, UNLESS OTHERWISE SHOWN IN PLANS AND APPROVED BY UTILITY PROVIDER. HYDROSTATIC TESTING WILL BE PERFORMED UNDER THE SUPERVISION OF THE UTILITY PROVIDER.
- NEW SEWER MAINS ARE TO BE SDR31 PVC UNLESS OTHERWISE SHOWN IN PLANS AND APPROVED BY THE UTILITY PROVIDER.
- CONTRACTORS SHOULD USE HTH FOR DISINFECTION OF WATER LINES (NOT CHLORINE INJECTION) UNLESS APPROVED OTHERWISE PRIOR TO ISSUANCE OF PERMIT.
- NEW WATERLINES SHALL BE TIED INTO THE EXISTING WATER SYSTEM UNDER THE SUPERVISION OF LOCAL PUBLIC WORKS PERSONNEL NO LATER THAN 14 DAYS AFTER PASSING BACTERIOLOGICAL TESTS.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT NO OVERFLOWS OR SPILLAGE OF SEWER OCCURS. SHOULD THIS OCCUR, THE CONTRACTOR SHALL:
  - IDENTIFY THE SOURCE OF THE SPILL AND ATTEMPT TO ELIMINATE ANY ADDITIONAL SPILLAGE.
  - NOTIFY THE UTILITY PROVIDER.
  - CONTAIN THE SPILL IN PLACE AND AVOID CONTAMINATION OF STREAMS.
  - DISINFECT THE AREA OF THE SPILL WITH A MIXTURE OF HTH CHLORINE AND WATER.
  - ALL WORK SHALL BE DONE ACCORDING TO STATE AND LOCAL GUIDELINES.
- CONTRACTOR TO PROVIDE NOTICE TO RESIDENTS OF SHUTDOWN OF MAIN. CONTRACTOR TO NOTIFY RESIDENTS OF WORK WITHIN THEIR PROPERTY AND OF THE RELOCATION OF METERS. ANY COMPLAINTS BY RESIDENTS ARE TO BE PASSED IMMEDIATELY TO THE UTILITY PROVIDER'S INSPECTOR OR TO THE UTILITY PROVIDERS' OFFICE. TAKE APPROPRIATE MEASURES TO PROTECT EXISTING SANITARY SEWER LATERALS SHOWN IN PLANS. ANY REPAIRS TO BE MADE AT THE CONTRACTORS' EXPENSE.
- ABANDONED CUSTOMER LINES SHALL BE CAPPED OR PLUGGED AT THE PROPERTY LINE.
- ASBESTOS PIPE REMOVAL AND DISPOSAL IS THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING IN THE PROXIMITY OF WATER MAINS, WASTEWATER FORCE MAINS, AND GRAVITY MAINS. MAIN LOCATIONS SHOWN ON PLANS MAY NOT BE EXACT. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING EXISTING UTILITY LOCATIONS.
- SHOULD A PIPE EMERGENCY OCCUR, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE UTILITY OWNER.
- THE CONTRACTOR SHALL NOTIFY THE UTILITY PROVIDER AT LEAST SEVEN DAYS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION PROJECT.
- THE CONTRACTOR SHALL NOTIFY THE UTILITY PROVIDER AT LEAST 48 HOURS PRIOR TO ANY UTILITY CONSTRUCTION.
- CONSTRUCTION ACTIVITIES SHALL NOT CAUSE INTERRUPTIONS IN WATER OR WASTEWATER SERVICE. THE CONTRACTOR SHALL COORDINATE PREAPPROVED INTERRUPTIONS OF SERVICE

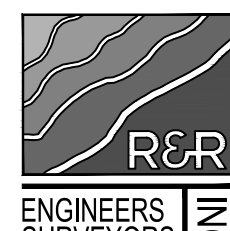
- WITH THE INSPECTORS 7 WORKING DAYS IN ADVANCE.
- THE MATERIALS, PRODUCTS, AND CONSTRUCTION OF ALL UTILITIES CONNECTING TO THE MUNICIPAL SYSTEMS SHALL BE IN CONFORMANCE WITH MUNICIPAL UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS.
- ALL MAINS AND FACILITIES WITHIN THE LIMITS OF THE PROJECT SHALL BE SUPPORTED AND PROTECTED AGAINST DAMAGE DURING CONSTRUCTION.
- THE CONTRACTOR SHALL ADJUST ALL EXISTING MAINS AND FACILITIES IN CONFLICT WITH NEW GRADE, NEW OR ALTERED ROADWAYS, SIDEWALKS, DRIVEWAYS, OR STORM WATER IMPROVEMENTS. FACILITIES TO BE ADJUSTED INCLUDE, BUT ARE NOT LIMITED TO PIPELINES, PUMP STATIONS, VALVE BOXES, AIR RELEASE VALVES, FIRE HYDRANTS, MANHOLE COVERS, AND METERS.
- THE CONTRACTOR SHALL PROVIDE FOR BYPASSING AND/OR HAULING WASTEWATER DURING APPROVED INTERRUPTIONS OF WASTEWATER FLOWS AND CONNECTIONS. THE CONTRACTOR SHALL SUBMIT A BYPASS PLAN SIGNED AND SEALED BY A PROFESSIONAL ENGINEER TO THE UTILITY COMPANY FOR APPROVAL PRIOR TO IMPLEMENTATION BY CONTRACTOR.
- ALL VALVES INSTALLED AS PART OF THIS CONSTRUCTION PROJECT SHALL REMAIN CLOSED DURING CONSTRUCTION. KEEP VALVES ON ALL WET TAPS CLOSED UNTIL CLEARED BY INSPECTOR. DO NOT CONNECT NEWLY CONSTRUCTED WATER MAINS TO ANY EXISTING WATER MAINS UNLESS CLEARED BY UTILITY PROVIDER.
- THE CONTRACTOR SHALL PROVIDE A JUMPER ASSEMBLY WITH A BACKFLOW PREVENTER FOR MAKING TEMPORARY CONNECTIONS TO AN EXISTING POTABLE WATER SOURCE IN ORDER TO CHLORINATE AND FLUSH NEW WATER MAINS WITH POTABLE WATER. ANY TEMPORARY POTABLE WATER CONNECTIONS TO FORCE MAIN SHALL ALSO BE EQUIPPED WITH A BACKFLOW PREVENTER.
- FOR PVC PIPE THAT WILL BE OWNED AND MAINTAINED BY THE MUNICIPALITY, NO PIPE BENDING IS ALLOWED. THE MAXIMUM ALLOWABLE TOLERANCE FOR JOINT DEFLECTION IS 0.75 DEGREES (3-INCHES PER JOINT PER 20 FT STICK OF PIPE). ALIGNMENT CHANGE SHALL BE MADE ONLY WITH SLEEVES AND FITTINGS.
- FOR NON-PVC PIPE THAT WILL BE OWNED AND MAINTAINED BY THE MUNICIPALITY, LONG RADIUS CURVES, EITHER HORIZONTAL OR VERTICAL, MAY BE INSTALLED WITH STANDARD PIPE BY DEFLECTIONS AT THE JOINTS. MAXIMUM DEFLECTIONS AT PIPE JOINTS, FITTINGS AND LAYING RADIUS FOR THE VARIOUS PIPE LENGTHS SHALL NOT EXCEED 75% OF THE PIPE MANUFACTURER'S RECOMMENDATION.
- MAINTAIN UTILITY PROVIDER'S RECOMMENDED MINIMUM COVER OVER ALL PROPOSED WATER, WASTEWATER, AND RECLAIMED WATER LINES.
- ANY LIGHTING SHOWN HEREON IS AS SPECIFIED BY THE CLIENT AND IS INCLUDED FOR INFORMATION PURPOSES ONLY AS DIRECTED BY THE OWNER AND/OR PUBLIC AGENCY REQUIREMENTS. R&R ENGINEERS-SURVEYORS, INC. HAS NOT PERFORMED THE LIGHTING DESIGN, AND THEREFORE DOES NOT WARRANT AND IS NOT RESPONSIBLE FOR THE DEGREE AND/OR ADEQUACY OF ILLUMINATION ON THIS PROJECT.
- CONTRACTOR SHALL MAINTAIN ELECTRICAL SERVICE TO ALL EXISTING BUILDINGS, TRANSFORMERS TO REMAIN, AND ALL EXISTING SITE LIGHTS DURING ALL PHASES OF CONSTRUCTION.
- ANY SEPTIC SYSTEMS DEPICTED ON THESE PLANS ARE REPRESENTATIVE ONLY. A SEPTIC SYSTEM SHALL REQUIRE DESIGN AND PERMITTING TO BE PERFORMED BY OTHERS.
- ALL WATER WELLS SHALL BE TESTED, AND APPROVED BY STATE DEP AND LOCAL HEALTH DEPARTMENT PRIOR TO USE ON PRIVATE HOMES. WELLS WILL NOT BE ALLOWED FOR PUBLIC POTABLE WATER CONSUMPTION. WELLS WILL NOT BE ALLOWED AS A SOURCE OF FIRE PROTECTION.

### SIGNAGE & STRIPING NOTES

- LOCAL JURISDICTIONAL REQUIREMENTS SHALL OVERRIDE THE SPECIFICATIONS ON THESE GENERAL NOTES PAGES, IF APPLICABLE.
- STRIPING SHALL REFER TO COLORADO DOT STANDARD PLANS S-627-1
- ALL EXISTING SIGNS WITHIN THE PROJECT LIMITS SHALL REMAIN UNLESS OTHERWISE NOTED IN THE PLANS OR AS DIRECTED BY THE ENGINEER. SIGN LOCATIONS SHOWN ON PLANS ARE APPROXIMATE AND MAY REQUIRE FIELD ADJUSTMENT, AS DIRECTED BY THE ENGINEER.
- ANY EXISTING SIGNS TO REMAIN THAT ARE DISTURBED OR RELOCATED DURING CONSTRUCTION SHALL BE RESET TO CURRENT STANDARDS FOR HEIGHT, OFFSET, AND METHOD OF INSTALLATION.
- CAUTION SHOULD BE EXERCISED WHILE RELOCATING EXISTING SIGNS SO AS TO PREVENT DAMAGE TO THE SIGN DAMAGE BEYOND USE, AS DETERMINED BY THE ENGINEER, SHALL REQUIRE REPLACEMENT BY THE CONTRACTOR AT HIS EXPENSE.
- CAUTION SHOULD BE EXERCISED DURING THE INSTALLATION OF NEW SIGNS, BOTH EXISTING AND PROPOSED UTILITIES MAY EXIST IN THE VICINITY OF PROPOSED SIGN LOCATIONS, INCLUDING THE POTENTIAL FOR UTILITIES AND OTHER OBJECTS NOT IDENTIFIED IN THESE PLANS.
- ALL SIGNS SHALL BE COMPLIANT WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND DOT STANDARDS, AS WELL AS ANY ADDITIONAL LOCAL REQUIREMENTS.
- ALL STRIPING AND PAVEMENT MARKINGS IN THE RIGHT-OF-WAY SHALL BE THERMOPLASTIC AND SHALL NOT BE APPLIED UNTIL A MINIMUM OF 30 DAYS AFTER THE PLACEMENT OF THE FINAL ASPHALT SURFACE. IN THE INTERIM, STRIPING SHALL BE PAINT AND ANY REQUIRED RPM'S INSTALLED PER THE PLANS. DO NOT STRIPE ACROSS MANHOLE LIDS OR DRAINAGE GRATES.
- STRIPING WITHIN PRIVATE PROPERTY IS TO FOLLOW DOT GUIDELINES WHERE PRACTICABLE. PAINT MAY BE UTILIZED FOR PARKING STRIPING AND LANE STRIPING WITHIN PRIVATE DEVELOPMENT.
- REFLECTIVE PAVEMENT MARKINGS (RPM'S) SHALL BE INSTALLED IN ALL LOCATIONS AS REQUIRED BY DOT DESIGN STANDARD (LATEST EDITION).
- ANY PAVEMENT MARKINGS AND RPM'S THAT ARE DESTROYED, DAMAGED, OR DIMINISHED BY CONSTRUCTION ACTIVITIES FOR UP TO 500 FEET IN EITHER DIRECTION BEYOND THE LIMITS OF CONSTRUCTION SHALL BE REPLACED OR REFURBISHED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE ADJACENT RIGHT-OF-WAYS FOR THE DURATION OF CONSTRUCTION. AT A MINIMUM, THE CONTRACTOR SHALL MOW THE RIGHT-OF-WAY ON AN AS NEEDED BASIS AND MAINTAIN THE DRAINAGE CONVEYANCE SYSTEM. ADDITIONAL MAINTENANCE MAY BE REQUIRED ON A CASE-BY-CASE BASIS.
- ALL SIGNS AND STRIPING SHALL BE CLEARLY VISIBLE TO DRIVERS, PEDESTRIANS, AND OTHER ROAD USERS. THIS INCLUDES ENSURING THAT SIGNS ARE NOT OBTSCURED BY VEGETATION, OTHER STRUCTURES, OR DIRT/GRIME.
- ALL HANDICAPPED SPACES SHALL HAVE AN ABOVE GRADE IDENTIFICATION SIGN MEETING ADA AND OTHER APPROPRIATE GOVERNING AGENCY STANDARDS.



NOTICE: DUTY OF COOPERATION  
RELEASE OF THESE DOCUMENTS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, HIS CONTRACTOR, AND THE ARCHITECT. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND GUIDANCE, THE CURRENT DESIGN AND CONSTRUCTION ARE SUBJECT TO CHANGE. THE ARCHITECT AND HIS CONSULTANTS SHALL BE RESPONSIBLE FOR ANY ERRORS, OMISSIONS, OR DISCREPANCY DISCOVERED BY THE USE OF THESE DOCUMENTS. THE ARCHITECT AND HIS CONSULTANTS SHALL BE RESPONSIBLE FOR ANY FAILURE TO NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS, OR DISCREPANCY DISCOVERED BY THE USE OF THESE DOCUMENTS. THE ARCHITECT AND HIS CONSULTANTS SHALL BE RESPONSIBLE FOR ANY FAILURE TO NOTIFY THE ARCHITECT FROM RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.  
THE DESIGNS AND PLANS ARE COPYRIGHT AND ARE NOT TO BE USED OR REPRODUCED WHOLLY OR IN PART WITHOUT THE WRITTEN PERMISSION OF SBARCHITECTS. THE DRAWINGS AND SPECIFICATIONS ARE NOT INVENETS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED OR NOT, COPYRIGHT SBARCHITECTS.  
DO NOT SCALE FROM DRAWING. VERIFY ALL DIMENSIONS ON SITE.



No.	Date

**MAIKER BOYERS**  
7295 WASHINGTON ST., ADAMS COUNTY, CO 80229

PDP & REZONING SUBMITTAL

03.28.2025

GENERAL NOTES

C0.03



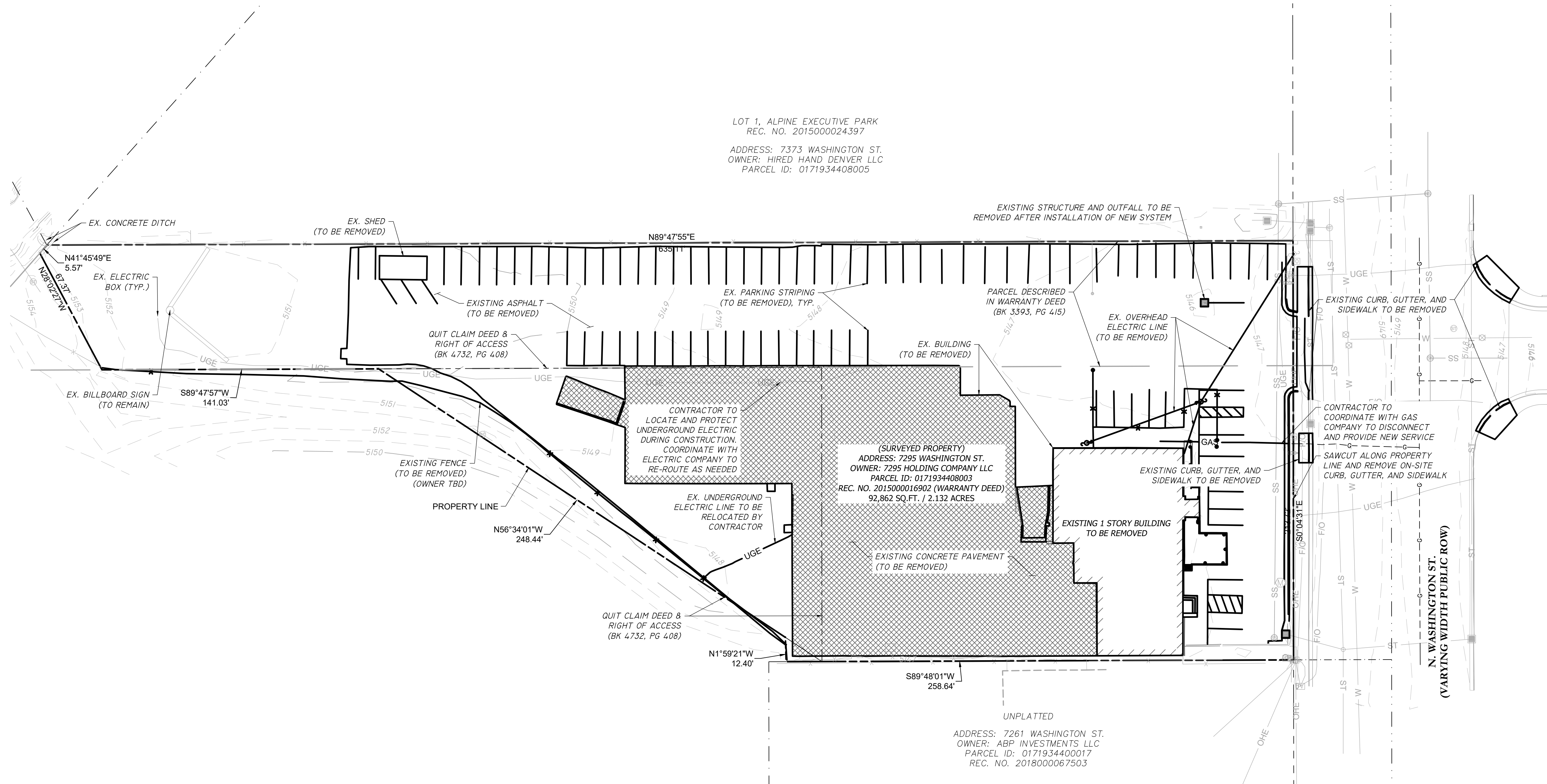
# MAIKER BOYERS

## EXISTING CONDITIONS AND DEMO PLAN

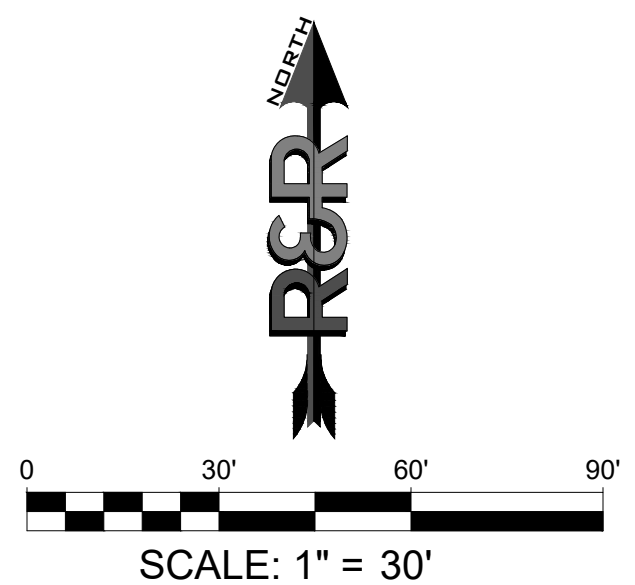
CASE NO. PRC2024-00017

### DEMOLITION LEGEND

EXISTING	DEMOLITION	
T	T	COMMUNICATIONS
CATV	CATV	CABLE TV
F/O	F/O	FIBER OPTIC
GAS	GAS	NATURAL GAS PIPE
OHE	OHE	POWER - OVERHEAD
UGE	UGE	POWER - UNDERGROUND
SS	SS	SANITARY SEWER PIPE
ST	ST	STORM SEWER PIPE
W	W	WATER PIPE
X	X	EASEMENT
		FENCE LINE
		ROAD CURB AND GUTTER
		SIDEWALK
		WALL - RETAINING
-5820-		MAJOR CONTOUR
-5822-		MINOR CONTOUR
EM	EM	ELECTRICAL METER
E	E	ELECTRICAL STRUCTURE
G	G	GUY WIRE
L	L	LIGHT POLE
TR	TR	TRANSFORMER PAD
CATV	CATV	CABLE TV STRUCTURE
T	T	COMMUNICATIONS MANHOLE
FO	FO	COMMUNICATIONS STRUCTURE
GM	GM	FIBER OPTIC STRUCTURE
		GAS METER
		GAS VALVE
		SANITARY SEWER CLEANOUT
		STORM SEWER MANHOLE
		STORM SEWER AREA INLET
		STORM SEWER CURB INLET
		STORM SEWER FLARED END SECTION
		FIRE HYDRANT
		IRRIGATION STRUCTURE
		WATER FITTING
		WATER METER
		WATER TAP / CORP STOP
		WATER VALVE
		ADA ACCESSIBLE PARKING
		SIGN
		TREES



No.	Date



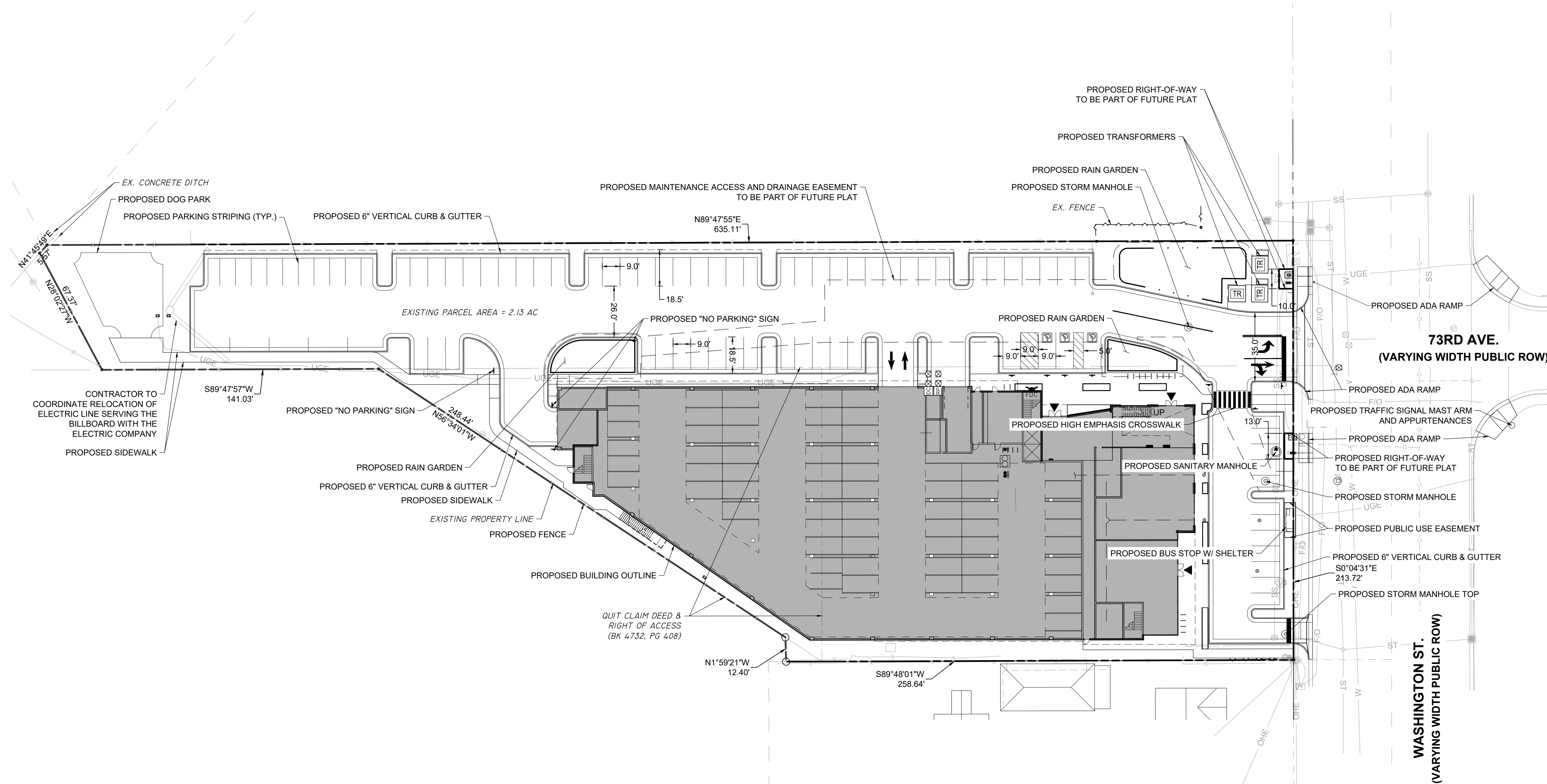


# MAIKER BOYERS SITE PLAN

CASE NO. PRC2024-00017

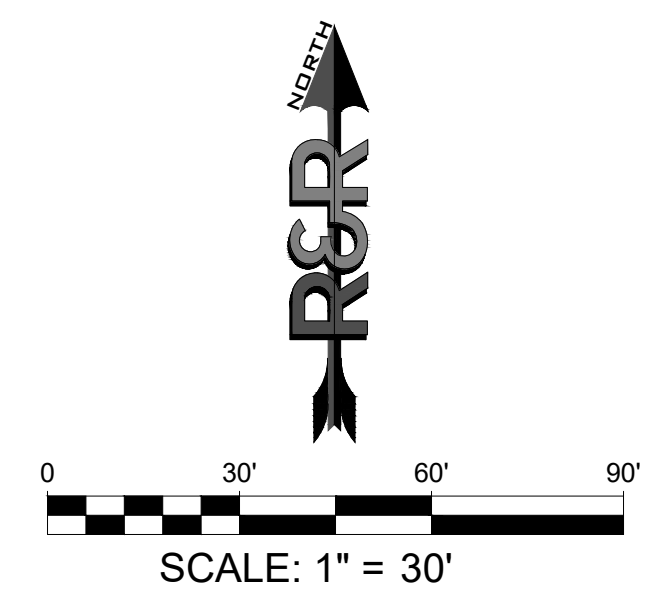
## LEGEND

EXISTING	PROPOSED	
T	T	COMMUNICATIONS
CATV	CATV	CABLE TV
F/O	F/O	FIBER OPTIC
GAS	GAS	NATURAL GAS PIPE
OHE	OHE	POWER - OVERHEAD
UGE	UGE	POWER - UNDERGROUND
SS	SS	SANITARY SEWER PIPE
ST	ST	STORM SEWER PIPE
W	W	WATER PIPE
		EASEMENT
		FLOODPLAIN LIMIT
		LOT LINE
		PROPERTY LINE
		RIGHT OF WAY
		SECTION LINE
		SETBACK
		FENCE LINE
		ROAD CURB AND GUTTER
		SIDEWALK
EM	EM	ELECTRICAL METER
E	E	ELECTRICAL STRUCTURE
G	G	GUY WIRE
L	L	LIGHT POLE
TR	TR	TRANSFORMER PAD
U	U	UTILITY POLE
CATV	CATV	CABLE TV STRUCTURE
T	T	COMMUNICATIONS MANHOLE
T	T	COMMUNICATIONS STRUCTURE
FO	FO	FIBER OPTIC STRUCTURE
GM	GM	GAS METER
G	G	GAS MANHOLE
G	G	GAS VALVE
SS	SS	SANITARY SEWER MANHOLE
SS	SS	SANITARY SEWER CLEANOUT
SS	SS	STORM SEWER MANHOLE
SS	SS	STORM SEWER AREA INLET
SS	SS	STORM SEWER CURB INLET
SS	SS	STORM SEWER FLARED END SECTION
SS	SS	FIRE HYDRANT
IRR	IRR	IRRIGATION STRUCTURE
W	W	WATER FITTING
W	W	WATER METER
W	W	WATER TAP / CORP STOP
W	W	WATER VALVE
		ADA ACCESSIBLE PARKING
		SIGN
		TREES



**BENCHMARK** (NAVD83 Datum)  
 ORIGINATING BENCHMARK:  
 SET MAG NAIL IN ASPHALT AS SHOWN ON SHEET 2. USED OPUS PROCESSING FOR COORDINATE AND ELEVATION  
 RESULT ON MARCH 9, 2023, HAVING USED 13,340 OF 14,196 OBSERVATIONS (94%) AND 68 OF 71 FIXED AMBIGUITIES  
 (96%). (LIES APPROXIMATELY 9.2' NORTH OF WESTERLY MOST CORNER OF CONCRETE FOUNDATION.)

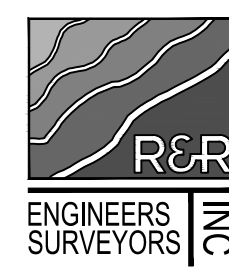
ELEVATION = 5149.69'



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No.	Date

## MAIKER BOYERS

7295 WASHINGTON ST., ADAMS COUNTY, CO 80229

PDP & REZONING SUBMITTAL

03.28.2025

SITE PLAN

C1.01

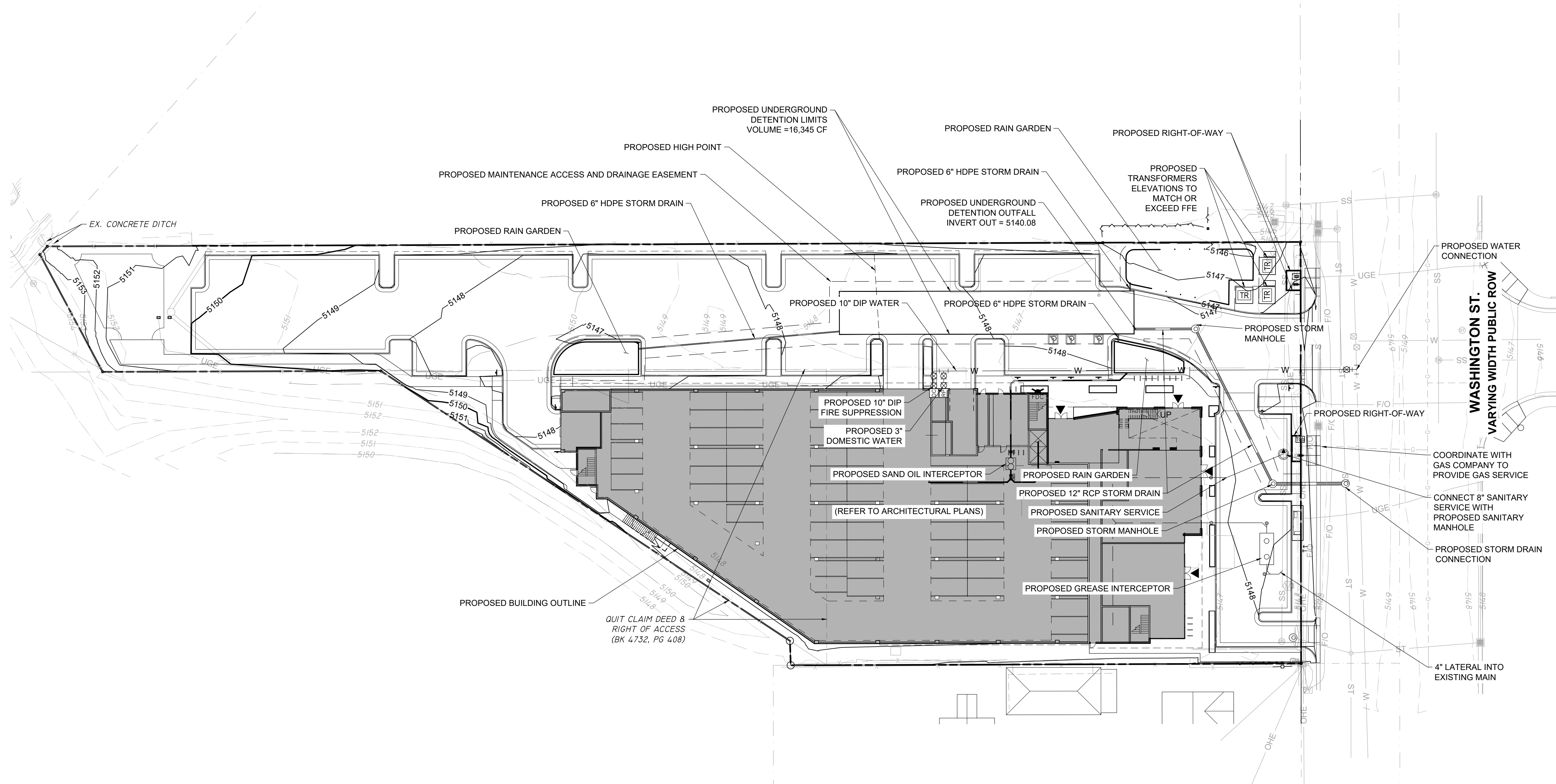


# MAIKER BOYERS UTILITY PLAN

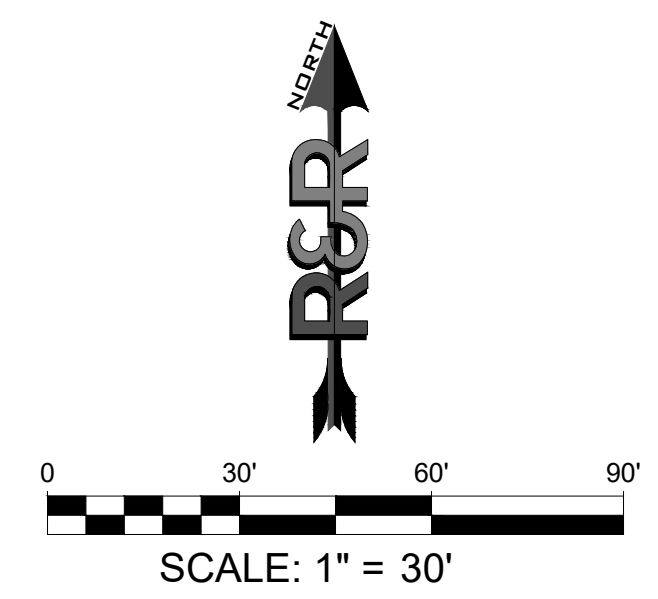
CASE NO. PRC2024-00017

## LEGEND

EXISTING	PROPOSED	
T	T	COMMUNICATIONS
CATV	CATV	CABLE TV
F/O	F/O	FIBER OPTIC
GAS	GAS	NATURAL GAS PIPE
OHE	OHE	POWER - OVERHEAD
UGE	UGE	POWER - UNDERGROUND
SS	SS	SANITARY SEWER PIPE
ST	ST	STORM SEWER PIPE
W	W	WATER PIPE
		EASEMENT
		FLOODPLAIN LIMIT
		LOT LINE
		PROPERTY LINE
		RIGHT OF WAY
		SECTION LINE
		SETBACK
		FENCE LINE
		ROAD CURB AND GUTTER
		SIDEWALK
EM	EM	ELECTRICAL METER
E	E	ELECTRICAL STRUCTURE
G	G	GUY WIRE
LP	LP	LIGHT POLE
TR	TR	TRANSFORMER PAD
UP	UP	UTILITY POLE
CATV	CATV	CABLE TV STRUCTURE
CM	CM	COMMUNICATIONS MANHOLE
CS	CS	COMMUNICATIONS STRUCTURE
FO	FO	FIBER OPTIC STRUCTURE
GM	GM	GAS METER
GMH	GMH	GAS MANHOLE
GV	GV	GAS VALVE
SSM	SSM	SANITARY SEWER MANHOLE
SSC	SSC	SANITARY SEWER CLEANOUT
SSM	SSM	STORM SEWER MANHOLE
SSAI	SSAI	STORM SEWER AREA INLET
SSCI	SSCI	STORM SEWER CURB INLET
SSFL	SSFL	STORM SEWER FLARED END SECTION
FH	FH	FIRE HYDRANT
IRR	IRR	IRRIGATION STRUCTURE
WF	WF	WATER FITTING
WM	WM	WATER METER
WTS	WTS	WATER TAP / CORP STOP
WV	WV	WATER VALVE
AP	AP	ADA ACCESSIBLE PARKING
S	S	SIGN
T	T	TREES



BENCHMARK (NAVD83 Datum)  
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 ELEVATION = 5149.69'



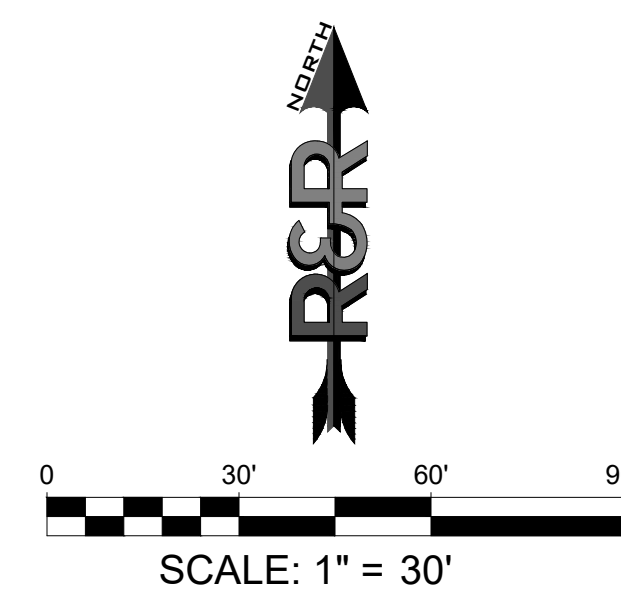
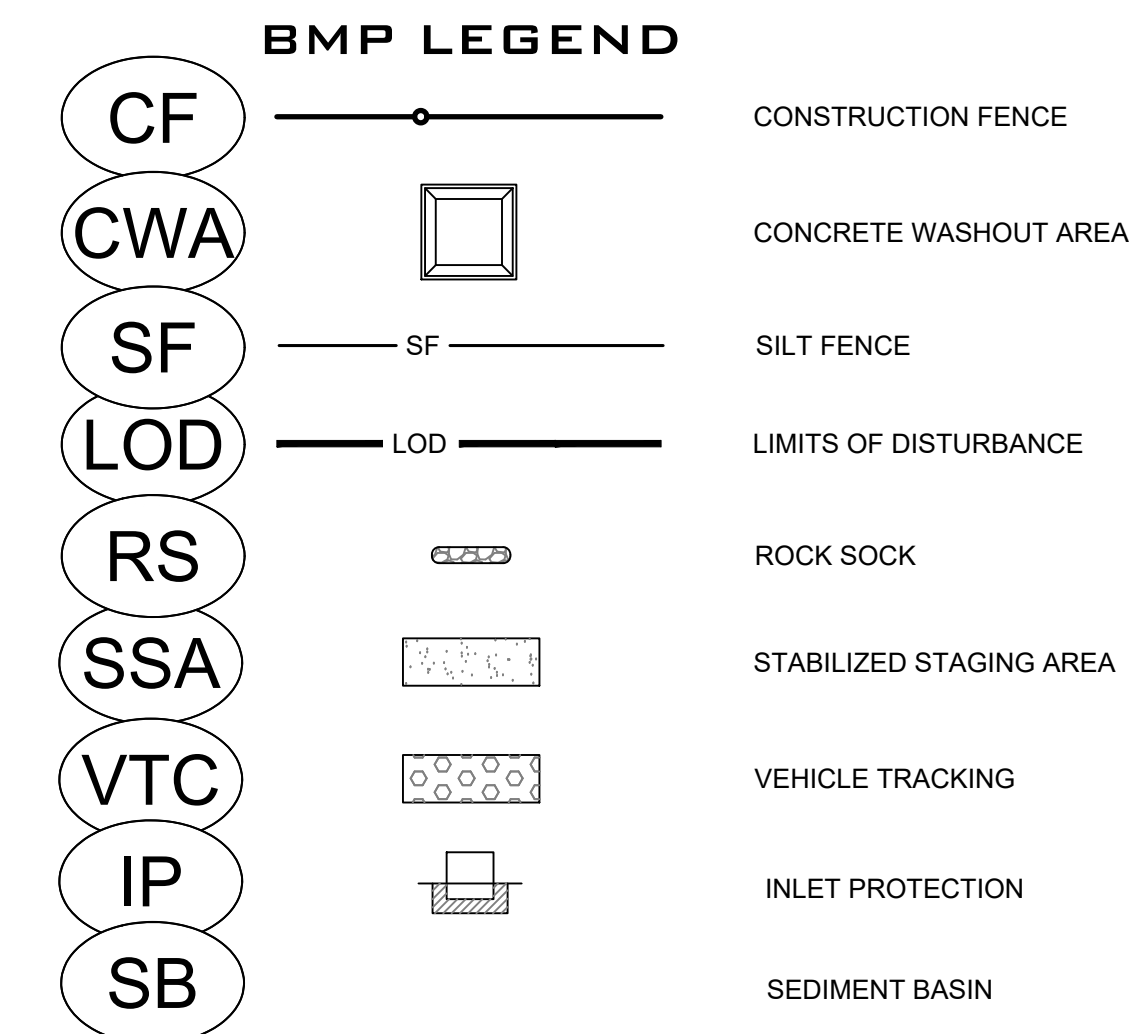
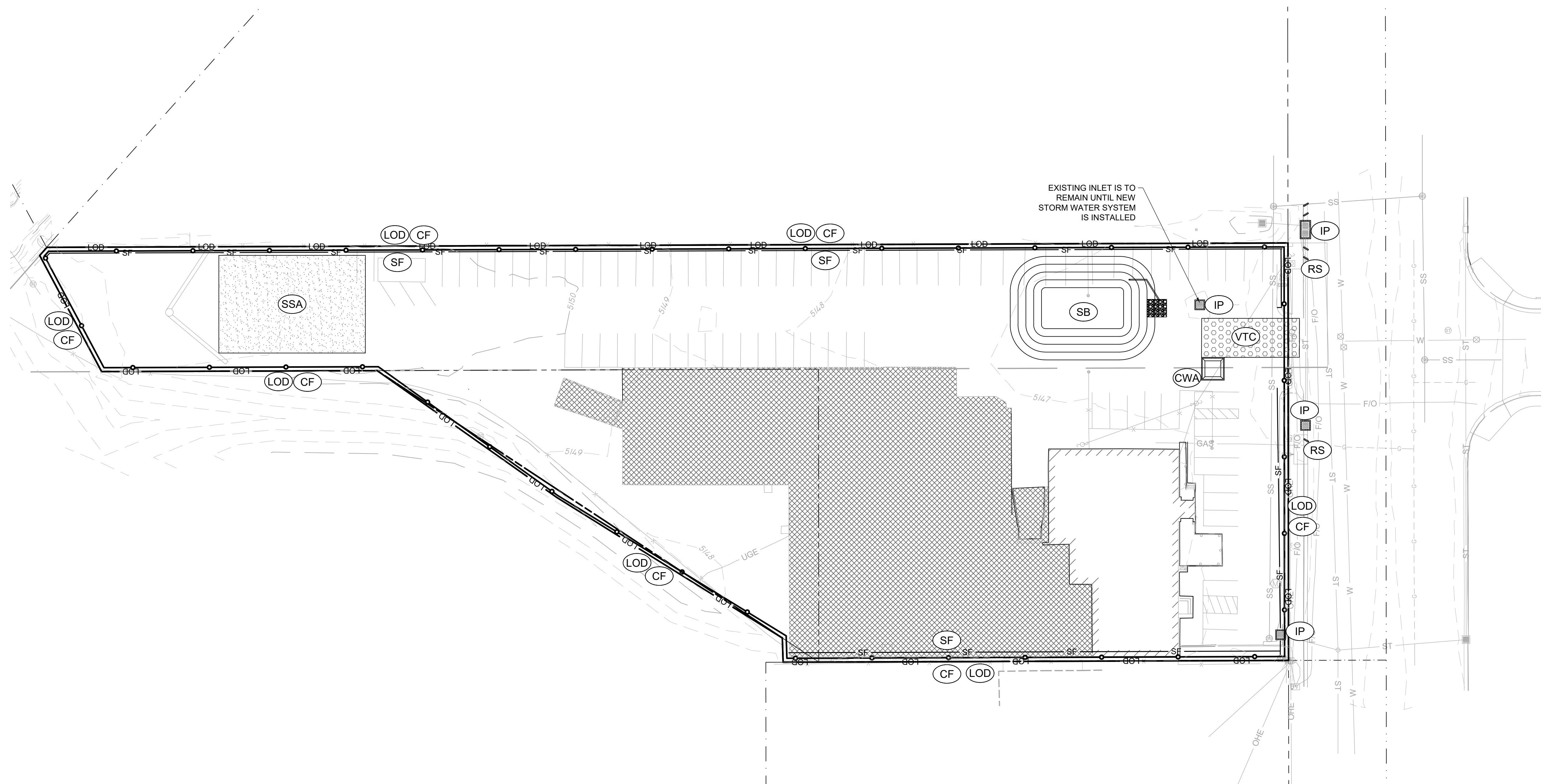
No.	Date



# MAIKER BOYERS

## EROSION AND SEDIMENT CONTROL

### PLAN - INITIAL



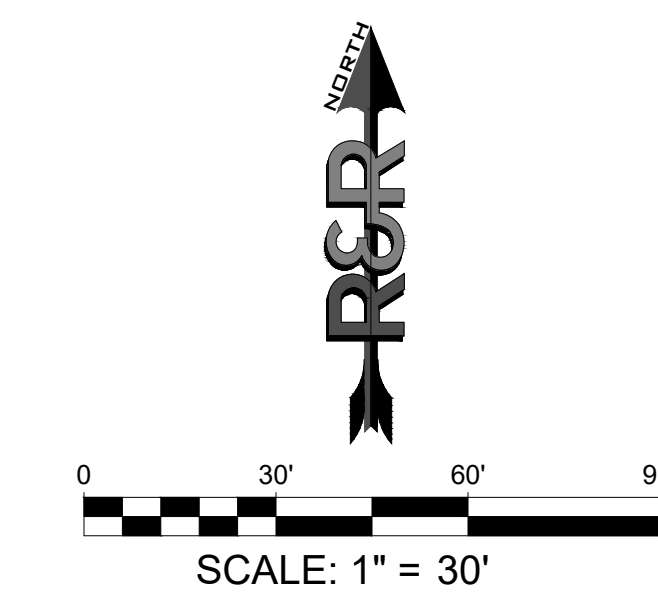
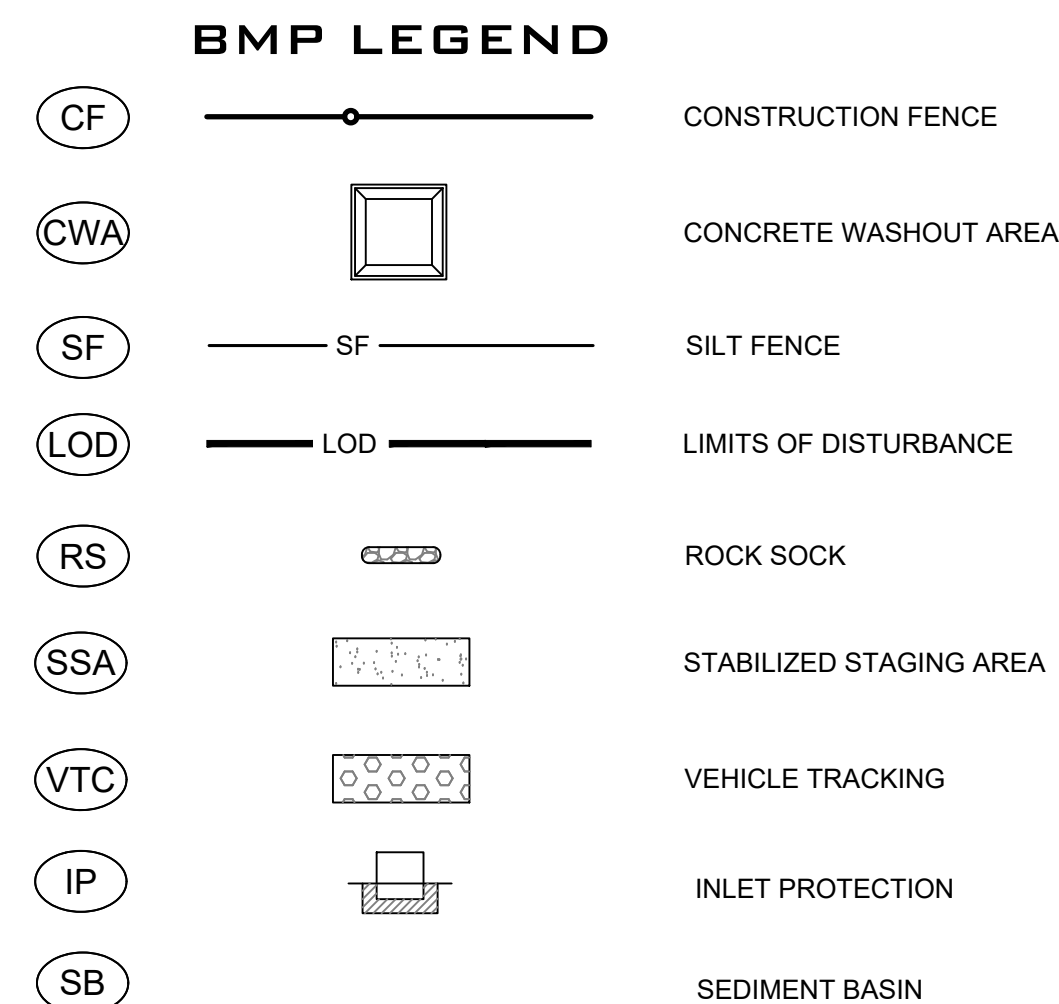
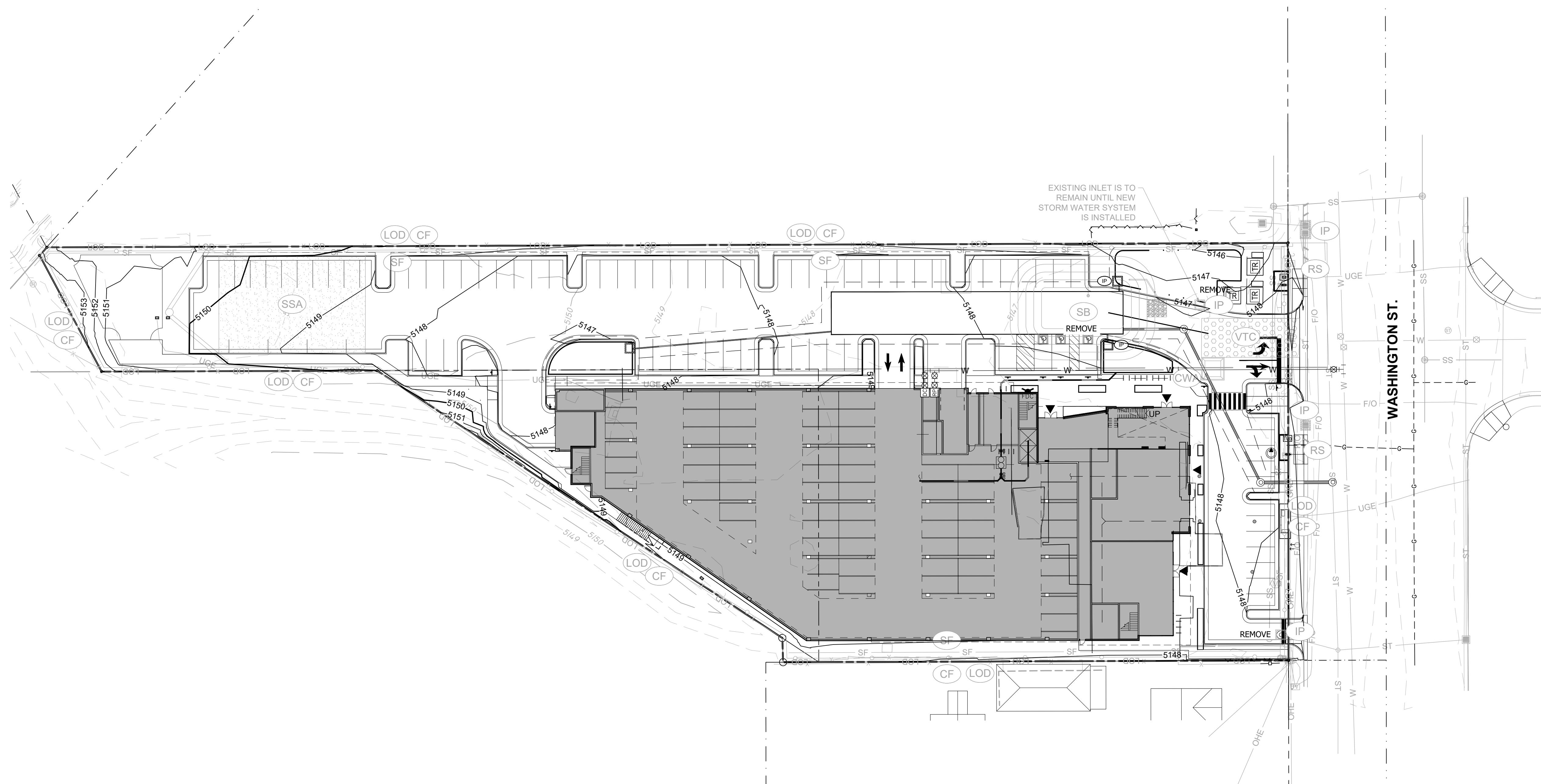
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# MAIKER BOYERS

## EROSION AND SEDIMENT CONTROL

### PLAN - INTERIM



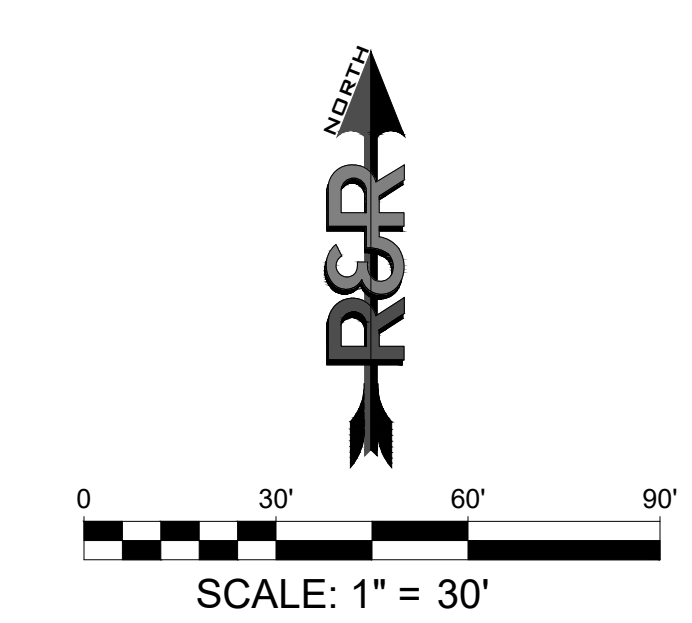
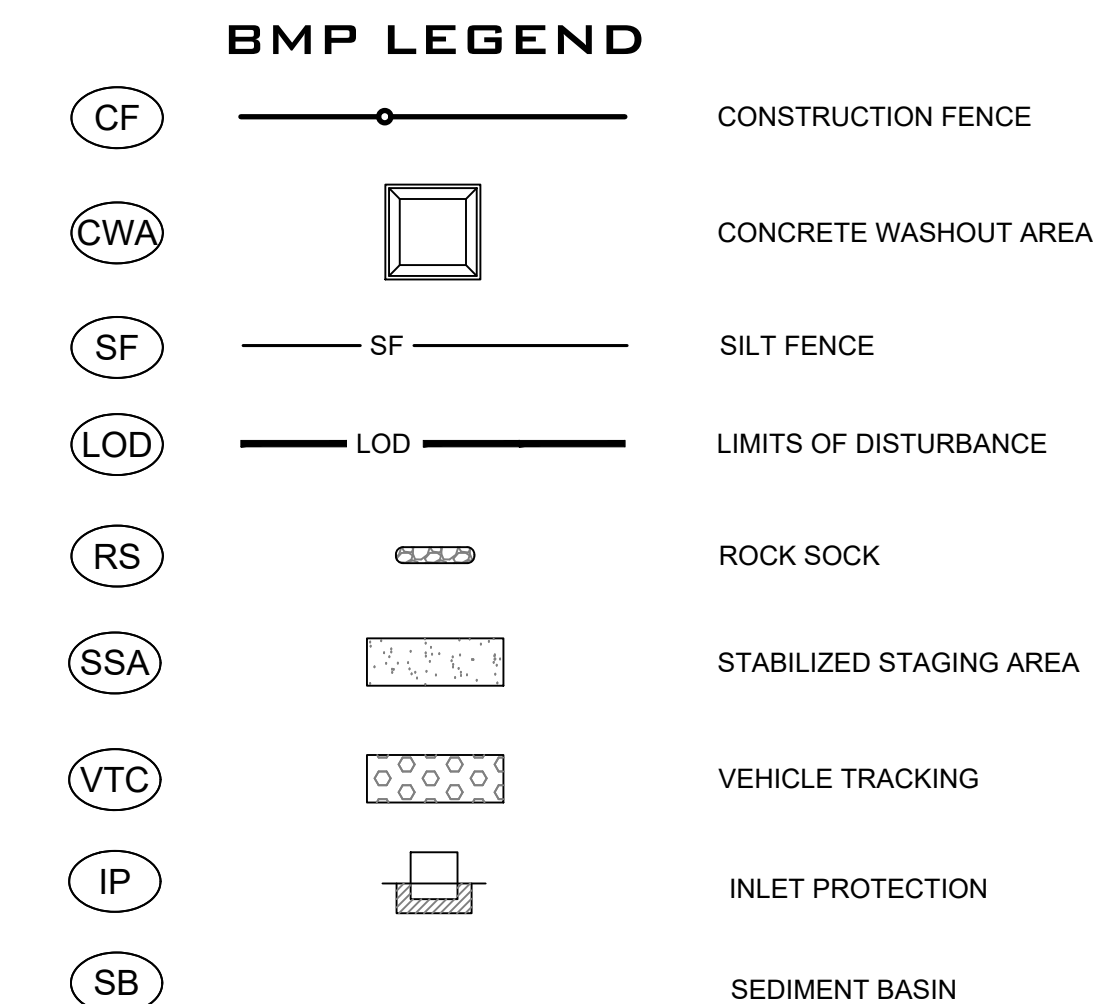
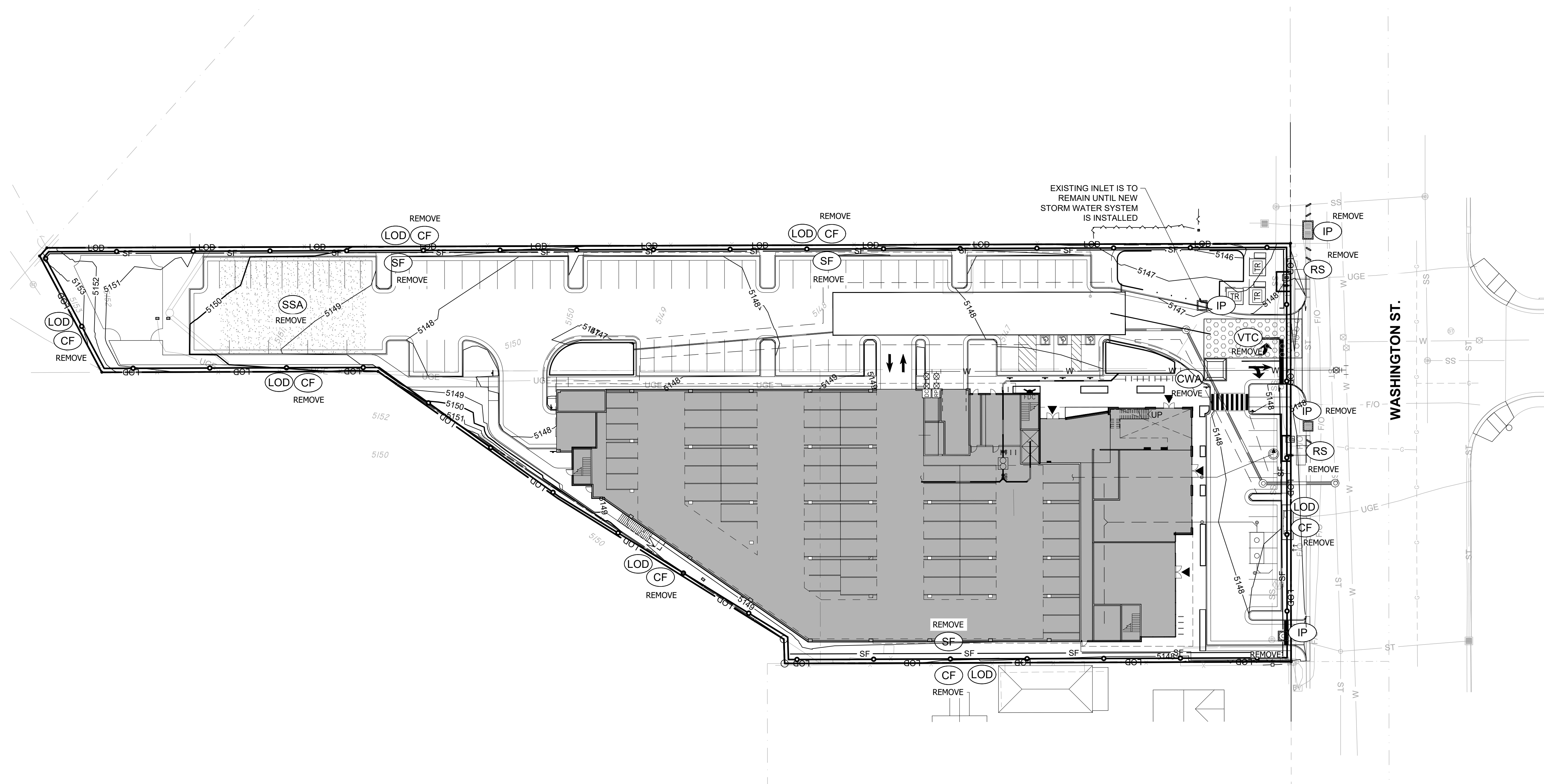
No.	Date



# MAIKER BOYERS

## EROSION AND SEDIMENT CONTROL

### PLAN - FINAL



No.	Date



# MAIKER BOYERS

## EROSION AND SEDIMENT CONTROL DETAILS

**Silt Fence (SF)** **SC-1**

**SILT FENCE**

POSTS SHALL OVERLAP AT JOINTS SO THAT NO GAPS EXIST IN SILT FENCE.

THICKNESS OF GEOTEXTILE HAS BEEN EXAGGERATED, TYP.

**SECTION A**

**SF-1. SILT FENCE**

November 2010 Urban Drainage and Flood Control District SF-3  
 Urban Storm Drainage Criteria Manual Volume 3

**SC-1** **Silt Fence (SF)**

**SILT FENCE INSTALLATION NOTES**

1. SILT FENCE MUST BE PLACED AWAY FROM THE TOE OF THE SLOPE TO ALLOW FOR WATER PONDING. SILT FENCE AT THE TOE OF A SLOPE SHOULD BE INSTALLED IN A FLAT LOCATION AT LEAST SEVERAL FEET (2-5 FT) FROM THE TOE OF THE SLOPE TO ALLOW ROOM FOR PONDING AND DEPOSITION.
2. A UNIFORM 6" X 4" ANCHOR TRENCH SHALL BE EXCAVATED USING TRENCHER OR SILT FENCE INSTALLATION DEVICE. NO ROAD GRADERS, BACKHOES, OR SIMILAR EQUIPMENT SHALL BE USED.
3. COMPACT ANCHOR TRENCH BY HAND WITH A "JUMPING JACK" OR BY WHEEL ROLLING. COMPACTION SHALL BE SUCH THAT SILT FENCE RESISTS BEING PULLED OUT OF ANCHOR TRENCH BY HAND.
4. SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES. THERE SHOULD BE NO NOTICEABLE SAG BETWEEN STAKES AFTER IT HAS BEEN ANCHORED TO THE STAKES.
5. SILT FENCE FABRIC SHALL BE ANCHORED TO THE STAKES USING 1" HEAVY DUTY STAPLES OR NAILS WITH 1" HEADS. STAPLES AND NAILS SHOULD BE PLACED 3" ALONG THE FABRIC DOWN THE STAKE.
6. AT THE END OF A RUN OF SILT FENCE ALONG A CONTOUR, THE SILT FENCE SHOULD BE TURNED PERPENDICULAR TO THE CONTOUR TO CREATE A "J-HOOK." THE "J-HOOK" EXTENDING PERPENDICULAR TO THE CONTOUR SHOULD BE OF SUFFICIENT LENGTH TO KEEP RUNOFF FROM FLOWING AROUND THE END OF THE SILT FENCE (TYPICALLY 10' - 20').
7. SILT FENCE SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.

**SILT FENCE MAINTENANCE NOTES**

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. SEDIMENT ACCUMULATED UPSTREAM OF THE SILT FENCE SHALL BE REMOVED AS NEEDED TO MAINTAIN THE FUNCTIONALITY OF THE BMP. TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 6".
5. REPAIR OR REPLACE SILT FENCE WHEN THERE ARE SIGNS OF WEAR, SUCH AS SAGGING, TEARING, OR COLLAPSE.
6. SILT FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION, OR IS REPLACED BY AN EQUIVALENT PERIMETER SEDIMENT CONTROL BMP.
7. WHEN SILT FENCE IS REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, NOT AVAILABLE IN AUTOCAD

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM USFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

SC-4 Urban Drainage and Flood Control District November 2010  
 Urban Storm Drainage Criteria Manual Volume 3

**SM-3** **Construction Fence (CF)**

**CF-1. PLASTIC MESH CONSTRUCTION FENCE**

**CONSTRUCTION FENCE INSTALLATION NOTES**

1. SEE PLAN VIEW FOR:
  - LOCATION OF CONSTRUCTION FENCE.
2. CONSTRUCTION FENCE SHOWN SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
3. CONSTRUCTION FENCE SHALL BE COMPOSED OF ORANGE, CONTRACTOR-GRADE MATERIAL THAT IS AT LEAST 4' HIGH. METAL POSTS SHOULD HAVE A PLASTIC CAP FOR SAFETY.
4. STUDDED STEEL TEE POSTS SHALL BE UTILIZED TO SUPPORT THE CONSTRUCTION FENCE. MAXIMUM SPACING FOR STEEL TEE POSTS SHALL BE 10'.
5. CONSTRUCTION FENCE SHALL BE SECURELY FASTENED TO THE TOP, MIDDLE, AND BOTTOM OF EACH POST.

November 2010 Urban Drainage and Flood Control District November 2010  
 Urban Storm Drainage Criteria Manual Volume 3

**Construction Fence (CF)** **SM-3**

**CONSTRUCTION FENCE MAINTENANCE NOTES**

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. CONSTRUCTION FENCE SHALL BE REPAIRED OR REPLACED WHEN THERE ARE SIGNS OF DAMAGE SUCH AS RIPS OR SAGS. CONSTRUCTION FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.
5. WHEN CONSTRUCTION FENCES ARE REMOVED, ALL DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE FENCE SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED, OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM USFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

(DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO, NOT AVAILABLE IN AUTOCAD)

November 2010 Urban Drainage and Flood Control District CF-3  
 Urban Storm Drainage Criteria Manual Volume 3

**Vehicle Tracking Control (VTC)** **SM-4**

**VTC-1. AGGREGATE VEHICLE TRACKING CONTROL**

NO RECYCLED CONCRETE.

UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, USE CDOT SECT. #703, ASHTO #3 COARSE AGGREGATE OR 6" MINUS ROCK.

UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, USE CDOT SECT. #703, ASHTO #3 COARSE AGGREGATE OR 6" MINUS ROCK.

INSTALL ROCK FLUSH WITH OR BELOW TOP OF PAVEMENT.

UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, USE CDOT SECT. #703, ASHTO #3 COARSE AGGREGATE OR 6" MINUS ROCK.

NO-WOVEN GEOTEXTILE FABRIC BETWEEN SOIL AND ROCK.

NO-WOVEN GEOTEXTILE FABRIC.

November 2010 Urban Drainage and Flood Control District VTC-3  
 Rev. 3/12/12 Urban Storm Drainage Criteria Manual Volume 3

**SM-4** **Vehicle Tracking Control (VTC)**

**VTC-2. AGGREGATE VEHICLE TRACKING CONTROL WITH WASH RACK**

NOTE: WASH WATER MAY NOT CONTAIN CHEMICALS OR SOAPS WITHOUT OBTAINING A SEPARATE PERMIT.

REINFORCED CONCRETE ROCK (MAY SUBSTITUTE STEEL CATTLE GUARD FOR CONCRETE RACK)

SECTION A

November 2010 Urban Drainage and Flood Control District November 2010  
 Urban Storm Drainage Criteria Manual Volume 3 Rev. 3/12/12

**Vehicle Tracking Control (VTC)** **SM-4**

**VTC-3. VEHICLE TRACKING CONTROL W/ CONSTRUCTION MAT OR TURF REINFORCEMENT MAT (TRM)**

PROHIBIT 20' CONSTRUCTION MAT FROM BEING DRIVEN TO THE MAT.

CONSTRUCTION MATS, WOVEN OR TURF REINFORCEMENT MAT (TRM)

RESTRICT CONST. VEHICLE ACCESS TO SIDES OF MAT

OR AS REQUIRED TO ACCOMMODATE ANTICIPATED TRAFFIC (WIDTH CAN BE LESS IF CONST. VEHICLES ARE PHYSICALLY CONFINED ON BOTH SIDES)

November 2010 Urban Drainage and Flood Control District VTC-5  
 Urban Storm Drainage Criteria Manual Volume 3

**SM-4** **Vehicle Tracking Control (VTC)**

**STABILIZED CONSTRUCTION ENTRANCE/EXIT INSTALLATION NOTES**

1. SEE PLAN VIEW FOR:
  - LOCATION OF CONSTRUCTION ENTRANCE(S)/EXIT(S).
  - TYPE OF CONSTRUCTION ENTRANCE(S)/EXIT(S) (WITH/WITHOUT WHEEL WASH, CONSTRUCTION MAT OR TRM).
2. CONSTRUCTION MAT OR TRM STABILIZED CONSTRUCTION ENTRANCES ARE ONLY TO BE USED ON SHORT DURATION PROJECTS (TYPICALLY RANGING FROM A WEEK TO A MONTH) WHERE THERE WILL BE LIMITED VEHICULAR ACCESS.
3. A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE LOCATED AT ALL ACCESS POINTS WHERE VEHICLES ACCESS THE CONSTRUCTION SITE FROM PAVED RIGHT-OF-WAYS.
4. STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
5. A NON-WOVEN GEOTEXTILE FABRIC SHALL BE PLACED UNDER THE STABILIZED CONSTRUCTION ENTRANCE/EXIT PRIOR TO THE PLACEMENT OF ROCK.
6. UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, ASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK. Recycled concrete is not allowed.

**STABILIZED CONSTRUCTION ENTRANCE/EXIT MAINTENANCE NOTES**

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY TO THE STABILIZED ENTRANCE/EXIT TO MAINTAIN A CONSISTENT DEPTH.
5. SEDIMENT TRACKED ONTO PAVED ROADS IS TO BE REMOVED THROUGHOUT THE DAY AND AT THE END OF THE DAY BY SHOVELING OR SWEEPING. SEDIMENT MAY NOT BE WASHED DOWN STORM SEWER DRAINS.

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM USFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

(DETAILS ADAPTED FROM CITY OF BROOMFIELD, COLORADO, NOT AVAILABLE IN AUTOCAD)

VTC-6 Urban Drainage and Flood Control District November 2010  
 Urban Storm Drainage Criteria Manual Volume 3 Rev. 3/12/12

No.	Date



# MAIKER BOYERS

## EROSION AND SEDIMENT CONTROL DETAILS

**Concrete Washout Area (CWA) MM-1**

**CWA-1. CONCRETE WASHOUT AREA**

**CWA INSTALLATION NOTES**

- SEE PLAN VIEW FOR:
  - CWA INSTALLATION LOCATION.
- DO NOT LOCATE AN UNLINED CWA WITHIN 400' OF ANY NATURAL DRAINAGE PATHWAY OR WATERBODY. DO NOT LOCATE WITHIN 1,000' OF ANY WELLS OR DRINKING WATER SOURCES. IF SITE CONSTRAINTS MAKE THIS INFEASIBLE, OR IF HIGHLY PERMEABLE SOILS EXIST ON SITE, THE CWA MUST BE INSTALLED WITH AN IMPERMEABLE LINER (18 MIL MIN. THICKNESS) OR SURFACE STORAGE ALTERNATIVES USING PREFABRICATED CONCRETE WASHOUT DEVICES OR A LINED ABOVE GROUND STORAGE ARE SHOULD BE USED.
- THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
- CWA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8' BY 8' SLOPES LEADING OUT OF THE SUBSURFACE PIT SHALL BE 3:1 OR FLATTER. THE PIT SHALL BE AT LEAST 3' DEEP.
- BERM SURROUNDING SIDES AND BACK OF THE CWA SHALL HAVE MINIMUM HEIGHT OF 1'.
- VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARDS THE CWA.
- SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE CWA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CWA TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS.
- USE EXCAVATED MATERIAL FOR PERIMETER BERM CONSTRUCTION.

November 2010 Urban Drainage and Flood Control District CWA-3  
Urban Storm Drainage Criteria Manual Volume 3

**MM-1 Concrete Washout Area (CWA)**

**CWA MAINTENANCE NOTES**

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- THE CWA SHALL BE REPAIRED, CLEANED, OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE. CONCRETE MATERIALS ACCUMULATED IN PIT SHALL BE REMOVED ONCE THE MATERIALS HAVE REACHED A DEPTH OF 2'.
- CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE IN A WATER-TIGHT CONTAINER AND DISPOSED OF PROPERLY.
- THE CWA SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
- WHEN THE CWA IS REMOVED, COVER THE DISTURBED AREA WITH TOP SOIL, SEED AND MULCH OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

(DETAIL ADAPTED FROM DOUGLAS COUNTY, COLORADO AND THE CITY OF PARKER, COLORADO, NOT AVAILABLE IN AUTOCAD)

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

CWA-4 Urban Drainage and Flood Control District November 2010  
Urban Storm Drainage Criteria Manual Volume 3

**Stabilized Staging Area (SSA) SM-6**

**SSA-1. STABILIZED STAGING AREA**

**STABILIZED STAGING AREA INSTALLATION NOTES**

- SEE PLAN VIEW FOR:
  - LOCATION OF STAGING AREA(S).
  - CONTRACTOR MAY ADJUST LOCATION AND SIZE OF STAGING AREA WITH APPROVAL FROM THE LOCAL JURISDICTION.
- STABILIZED STAGING AREA SHOULD BE APPROPRIATE FOR THE NEEDS OF THE SITE. OVERSIZING RESULTS IN A LARGER AREA TO STABILIZE FOLLOWING CONSTRUCTION.
- STAGING AREA SHALL BE STABILIZED PRIOR TO OTHER OPERATIONS ON THE SITE.
- THE STABILIZED STAGING AREA SHALL CONSIST OF A MINIMUM 3" THICK GRANULAR MATERIAL.
- UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.
- ADDITIONAL PERIMETER BMPs MAY BE REQUIRED INCLUDING BUT NOT LIMITED TO SILT FENCE AND CONSTRUCTION FENCING.

**STABILIZED STAGING AREA MAINTENANCE NOTES**

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY IF RUTTING OCCURS OR UNDERLYING SUBGRADE BECOMES EXPOSED.

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**SM-6 Stabilized Staging Area (SSA)**

**STABILIZED STAGING AREA MAINTENANCE NOTES**

- STABILIZED STAGING AREA SHALL BE ENLARGED IF NECESSARY TO CONTAIN PARKING, STORAGE, AND UNLOADING/LOADING OPERATIONS.
- THE STABILIZED STAGING AREA SHALL BE REMOVED AT THE END OF CONSTRUCTION. THE GRANULAR MATERIAL SHALL BE REMOVED OR, IF APPROVED BY THE LOCAL JURISDICTION, USED ON SITE, AND THE AREA COVERED WITH TOPSOIL, SEEDDED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY LOCAL JURISDICTION.

NOTE: MANY MUNICIPALITIES PROHIBIT THE USE OF RECYCLED CONCRETE AS GRANULAR MATERIAL FOR STABILIZED STAGING AREAS DUE TO DIFFICULTIES WITH RE-ESTABLISHMENT OF VEGETATION IN AREAS WHERE RECYCLED CONCRETE WAS PLACED.

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

(DETAILS ADAPTED FROM DOUGLAS COUNTY, COLORADO, NOT AVAILABLE IN AUTOCAD)

SSA-4 Urban Drainage and Flood Control District November 2010  
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**SC-5 Rock Sock (RS)**

**ROCK SOCK JOINTING**

ANY GAP AT JOINT SHALL BE FILLED WITH AN ADEQUATE AMOUNT OF 1/2" (MINUS) CRUSHED ROCK AND WRAPPED WITH ADDITIONAL WIRE MESH SECURED TO ENDS OF ROCK REINFORCED SOCK. AS AN ALTERNATIVE TO FILLING JOINTS BETWEEN ADJOINING ROCK SOCKS WITH CRUSHED ROCK AND ADDITIONAL WIRE WRAPPING, ROCK SOCKS CAN BE OVERLAPPED (TYPICALLY 12-INCH OVERLAP) TO AVOID GAPS.

GRADATION TABLE	
SIEVE SIZE	MASS PERCENT PASSING SQUARE MESH SIEVES
NO. 4	
2"	100
1 1/2"	90 - 100
1"	20 - 55
3/4"	0 - 15
3/8"	0 - 5

MATCHES SPECIFICATIONS FOR NO. 4 COARSE AGGREGATE FOR CONCRETE PER AASHTO M43. ALL ROCK SHALL BE FRACTURED FACE, ALL SIDES.

**ROCK SOCK INSTALLATION NOTES**

- SEE PLAN VIEW FOR:
  - LOCATION(S) OF ROCK SOCKS.
- CRUSHED ROCK SHALL BE 1/2" (MINUS) IN SIZE WITH A FRACTURED FACE (ALL SIDES) AND SHALL COMPLY WITH GRADATION SHOWN ON THIS SHEET (1/2" MINUS).
- WIRE MESH SHALL BE FABRICATED OF 10 GAGE POULTRY MESH, OR EQUIVALENT, WITH A MAXIMUM OPENING OF 2", RECOMMENDED MINIMUM ROLL WIDTH OF 48"
- WIRE MESH SHALL BE SECURED USING "HOG RINGS" OR WIRE TIES AT 6" CENTERS ALONG ALL JOINTS AND AT 2' CENTERS ON ENDS OF SOCKS.
- SOME MUNICIPALITIES MAY ALLOW THE USE OF FILTER FABRIC AS AN ALTERNATIVE TO WIRE MESH FOR THE ROCK ENCLOSURE.

**RS-1. ROCK SOCK PERIMETER CONTROL**

RS-2 Urban Drainage and Flood Control District November 2010  
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**Rock Sock (RS) SC-5**

**ROCK SOCK MAINTENANCE NOTES**

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED, OR DAMAGED BEYOND REPAIR.
- SEDIMENT ACCUMULATED UPSTREAM OF ROCK SOCKS SHALL BE REMOVED AS NEEDED TO MAINTAIN FUNCTIONALITY OF THE BMP. TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 1/2 OF THE HEIGHT OF THE ROCK SOCK.
- ROCK SOCKS ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.
- WHEN ROCK SOCKS ARE REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

(DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, COLORADO, NOT AVAILABLE IN AUTOCAD)

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

NOTE: THE DETAILS INCLUDED WITH THIS FACT SHEET SHOW COMMONLY USED, CONVENTIONAL METHODS OF ROCK SOCK INSTALLATION IN THE DENVER METROPOLITAN AREA. THERE ARE MANY OTHER SIMILAR PROPRIETARY PRODUCTS ON THE MARKET. UDFCD NEITHER ENDORSES NOR DISCOURAGES USE OF PROPRIETARY PROTECTION PRODUCTS; HOWEVER, IN THE EVENT PROPRIETARY METHODS ARE USED, THE APPROPRIATE DETAIL FROM THE MANUFACTURER MUST BE INCLUDED IN THE SWMP AND THE BMP MUST BE INSTALLED AND MAINTAINED AS SHOWN IN THE MANUFACTURER'S DETAILS.

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# MAIKER BOYERS

## EROSION AND SEDIMENT CONTROL DETAILS

**SC-6 Inlet Protection (IP)**

**IP-1. BLOCK AND ROCK SOCK SUMP OR ON GRADE INLET PROTECTION**

**BLOCK AND CURB SOCK INLET PROTECTION INSTALLATION NOTES**

- SEE ROCK SOCK DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
- CONCRETE "CINDER" BLOCKS SHALL BE LAID ON THEIR SIDES AROUND THE INLET IN A SINGLE ROW ABUTTING ONE ANOTHER WITH THE OPEN END FACING AWAY FROM THE CURB.
- CONCRETE BASS SHALL BE PLACED AROUND CONCRETE BLOCKS, CLOSELY ABUTTING ONE ANOTHER AND JOINED TOGETHER IN ACCORDANCE WITH ROCK SOCK DESIGN DETAIL.

**IP-2. CURB ROCK SOCKS UPSTREAM OF INLET PROTECTION**

**CURB ROCK SOCK INLET PROTECTION INSTALLATION NOTES**

- SEE ROCK SOCK DESIGN DETAIL INSTALLATION REQUIREMENTS.
- PLACEMENT OF THE SOCK SHALL BE APPROXIMATELY 30 DEGREES FROM PERPENDICULAR IN THE OPPOSITE DIRECTION OF FLOW.
- SOCKS ARE TO BE FLUSH WITH THE CURB AND SPACED A MINIMUM OF 5 FEET APART.
- AT LEAST TWO CURB SOCKS IN SERIES ARE REQUIRED UPSTREAM OF ON-GRADE INLETS.

**Inlet Protection (IP) SC-6**

**IP-3. ROCK SOCK SUMP/AREA INLET PROTECTION**

**ROCK SOCK SUMP/AREA INLET PROTECTION INSTALLATION NOTES**

- SEE ROCK SOCK DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
- STRAW WATTLES/SEDIMENT CONTROL LOGS MAY BE USED IN PLACE OF ROCK SOCKS FOR INLETS IN PERVIOUS AREAS. INSTALL PER SEDIMENT CONTROL LOG DETAIL.

**IP-4. SILT FENCE FOR SUMP INLET PROTECTION**

**SILT FENCE INLET PROTECTION INSTALLATION NOTES**

- SEE SILT FENCE DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
- POSTS SHALL BE PLACED AT EACH CORNER OF THE INLET AND AROUND THE EDGES AT A MAXIMUM SPACING OF 3 FEET.
- STRAW WATTLES/SEDIMENT CONTROL LOGS MAY BE USED IN PLACE OF SILT FENCE FOR INLETS IN PERVIOUS AREAS. INSTALL PER SEDIMENT CONTROL LOG DETAIL.

**SC-6 Inlet Protection (IP)**

**IP-5. OVEREXCAVATION INLET PROTECTION**

**OVEREXCAVATION INLET PROTECTION INSTALLATION NOTES**

- THIS FORM OF INLET PROTECTION IS PRIMARILY APPLICABLE FOR SITES THAT HAVE NOT YET REACHED FINAL GRADE AND SHOULD BE USED ONLY FOR INLETS WITH A RELATIVELY SMALL CONTRIBUTING DRAINAGE AREA.
- WHEN USING FOR CONCENTRATED FLOWS, SHAPE BASIN IN 2:1 RATIO WITH LENGTH ORIENTED TOWARDS DIRECTION OF FLOW.
- SEDIMENT MUST BE PERIODICALLY REMOVED FROM THE OVEREXCAVATED AREA.

**IP-6. STRAW BALE FOR SUMP INLET PROTECTION**

**STRAW BALE BARRIER INLET PROTECTION INSTALLATION NOTES**

- SEE STRAW BALE DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
- BALES SHALL BE PLACED IN A SINGLE ROW AROUND THE INLET WITH ENDS OF BALES TIGHTLY ABUTTING ONE ANOTHER.

**Inlet Protection (IP) SC-6**

**GENERAL INLET PROTECTION INSTALLATION NOTES**

- SEE PLAN VIEW FOR:
  - LOCATION OF INLET PROTECTION.
  - TYPE OF INLET PROTECTION (IP-1, IP-2, IP-3, IP-4, IP-5, IP-6)
- INLET PROTECTION SHALL BE INSTALLED PROMPTLY AFTER INLET CONSTRUCTION OR PAVING IS COMPLETE (TYPICALLY WITHIN 48 HOURS). IF A RAINFALL/RUNOFF EVENT IS FORECAST, INSTALL INLET PROTECTION PRIOR TO ONSET OF EVENT.
- MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

**INLET PROTECTION MAINTENANCE NOTES**

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- SEDIMENT ACCUMULATED UPSTREAM OF INLET PROTECTION SHALL BE REMOVED AS NECESSARY TO MAINTAIN BMP EFFECTIVENESS, TYPICALLY WHEN STORAGE VOLUME REACHES 50% OF CAPACITY, A DEPTH OF 6" WHEN SILT FENCE IS USED, OR 1/3 OF THE HEIGHT FOR STRAW BALES.
- INLET PROTECTION IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS PERMANENTLY STABILIZED, UNLESS THE LOCAL JURISDICTION APPROVES EARLIER REMOVAL OF INLET PROTECTION IN STREETS.
- WHEN INLET PROTECTION AT AREA INLETS IS REMOVED, THE DISTURBED AREA SHALL BE COVERED WITH TOP SOIL, SEEDED AND MULCHED, OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

(DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, COLORADO, NOT AVAILABLE IN AUTOCAD)

**NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.**

NOTE: THE DETAILS INCLUDED WITH THIS FACT SHEET SHOW COMMONLY USED, CONVENTIONAL METHODS OF INLET PROTECTION IN THE DENVER METROPOLITAN AREA. THERE ARE MANY PROPRIETARY INLET PROTECTION METHODS ON THE MARKET. UDFCD NEITHER ENDORSES NOR DISCOURAGES USE OF PROPRIETARY INLET PROTECTION. HOWEVER, IN THE EVENT PROPRIETARY METHODS ARE USED, THE APPROPRIATE DETAIL FROM THE MANUFACTURER MUST BE INCLUDED IN THE SWMP AND THE BMP MUST BE INSTALLED AND MAINTAINED AS SHOWN IN THE MANUFACTURER'S DETAILS.

NOTE: SOME MUNICIPALITIES DISCOURAGE OR PROHIBIT THE USE OF STRAW BALES FOR INLET PROTECTION. CHECK WITH LOCAL JURISDICTION TO DETERMINE IF STRAW BALE INLET PROTECTION IS ACCEPTABLE.

**Sediment Basin (SB) SC-7**

**SB-1. SEDIMENT BASIN**

**INLETS TO SEDIMENT BASIN SHALL ENTER AT FURTHEST DISTANCE TO OUTLET AND SHALL CONSIST OF A TEMPORARY SLOPE.**

**EXCEPT WHERE THE HOLES EXCEED 1" DIAMETER, THEN UP TO TWO COLUMNS OF SAME SIZED HOLES MAY BE USED**

**TABLE SB-1. SIZING INFORMATION FOR STANDARD SEDIMENT BASIN**

Upstream Drainage Area (rounded to nearest acre), (ac)	Basin Bottom Width (W), (ft)	Spillway Crest Length (CL), (ft)	Hole Diameter (HD), (in)
1	12 1/2	2	5/8
2	21	3	1 1/8
3	28	5	1 1/4
4	33 1/2	6	1 1/2
5	38 1/2	8	1 3/4
6	43	9	1 7/8
7	47 1/2	11	2
8	51	12	2 1/8
9	56	13	2 1/4
10	58 1/2	15	2 1/2
11	61	16	2 3/4
12	64	18	2 7/8
13	67 1/2	19	3
14	70 1/2	21	3 1/8
15	73 1/2	22	3 1/4

**SEDIMENT BASIN INSTALLATION NOTES**

- SEE PLAN VIEW FOR:
  - LOCATION OF SEDIMENT BASIN.
  - TYPE OF BASIN (STANDARD BASIN OR NONSTANDARD BASIN).
  - FOR STANDARD BASIN, BOTTOM WIDTH W, CREST LENGTH CL, AND HOLE DIAMETER, HD.
  - FOR NONSTANDARD BASIN, SEE CONSTRUCTION DRAWINGS FOR DESIGN OF BASIN INCLUDING RISER HEIGHT H, NUMBER OF COLUMNS N, HOLE DIAMETER HD AND PIPE DIAMETER D.
- FOR STANDARD BASIN, BOTTOM DIMENSION MAY BE MODIFIED AS LONG AS BOTTOM AREA IS NOT REDUCED.
- SEDIMENT BASINS SHALL BE INSTALLED PRIOR TO ANY OTHER LAND-DISTURBING ACTIVITY THAT RELIES ON ON BASINS AS A STORMWATER CONTROL.
- EMBANKMENT MATERIAL SHALL CONSIST OF SOIL FREE OF DEBRIS, ORGANIC MATERIAL, AND ROCKS OR CONCRETE GREATER THAN 3 INCHES AND SHALL HAVE A MINIMUM OF 15 PERCENT BY WEIGHT PASSING THE NO. 200 SIEVE.
- EMBANKMENT MATERIAL SHALL BE COMPACTED TO AT LEAST 95 PERCENT OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D698.
- PIPE SCH 40 OR GREATER SHALL BE USED.
- THE DETAILS SHOWN ON THESE SHEETS PERTAIN TO STANDARD SEDIMENT BASIN(S) FOR DRAINAGE AREAS LESS THAN 15 ACRES. SEE CONSTRUCTION DRAWINGS FOR EMBANKMENT, STORAGE VOLUME, SPILLWAY, OUTLET, AND OUTLET PROTECTION DETAILS FOR ANY SEDIMENT BASIN(S) THAT HAVE BEEN INDIVIDUALLY DESIGNED FOR DRAINAGE AREAS LARGER THAN 15 ACRES.

**Sediment Basin (SB) SC-7**

**SEDIMENT BASIN MAINTENANCE NOTES**

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- SEDIMENT ACCUMULATED IN BASIN SHALL BE REMOVED AS NEEDED TO MAINTAIN BMP EFFECTIVENESS, TYPICALLY WHEN SEDIMENT DEPTH REACHES ONE FOOT (I.E., TWO FEET BELOW THE SPILLWAY CREST).
- SEDIMENT BASINS ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND GRASS COVER IS ACCEPTED BY THE LOCAL JURISDICTION.
- WHEN SEDIMENT BASINS ARE REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

(DETAILS ADAPTED FROM DOUGLAS COUNTY, COLORADO)

**NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.**



LANDSCAPE PLANT LIST

MAIKER BOYERS LANDSCAPE COVER SHEET & PLANT LIST

GENERAL LANDSCAPE NOTES

- 1. ALL LOW PERENNIAL AND GROUND COVER PLANTING AREAS SHALL BE MULCHED WITH SHREDDED WESTERN RED CEDAR WOOD MULCH, AT A DEPTH OF 2". WEED BARRIER FABRIC IS NOT REQUIRED UNDER WOOD MULCH.
2. IN AREAS OF NATIVE SEEDING OR AREAS OF ROCK MULCH, ALL NEWLY PLANTED TREES, SHRUBS AND PERENNIALS SHALL HAVE A RING OF WOOD MULCH INSTALLED AROUND THE BASE OF EACH PLANT. SEE THE PLANTING DETAILS FOR THE SPECIFIC SIZING AND DEPTH OF THE WOOD MULCH.
3. ALL OTHER PLANTING BED AREAS SHALL BE MULCHED WITH 1-1/2" GRAY ROSE MULTI-COLORED RIVER ROCK, AT A DEPTH OF 3", INSTALLED OVER PERMEABLE WEED BARRIER FABRIC. DO NOT INSTALL EDGING BETWEEN WOOD MULCH AND ROCK MULCH AREAS.
4. SOD EDGER SHALL BE 14 GAUGE ROLLED TOP STEEL EDGING (DARK GREEN COLOR) IN THE LOCATIONS SHOWN ON THE PLANS. EDGER IS NOT REQUIRED WHERE SOD ABUTS CONCRETE.
5. ALL AREAS TO BE LANDSCAPED SHALL HAVE ORGANIC AMENDMENTS THOROUGHLY INCORPORATED INTO THE SOIL AT A RATE OF 5 CUBIC YARDS PER 1,000 SQUARE FEET, AND TILLED TO A DEPTH OF 6 INCHES.
6. ALL SOD AREAS, BED AREAS, AND LANDSCAPE AREAS SHALL BE FINE GRADED PRIOR TO INSTALLATION OF NEW PLANT MATERIAL. ROCKS, WOOD, AND ANY MATERIAL LARGER THAN 1" IN DIAMETER SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO SODDING AND PLANTING NEW MATERIALS.
7. ANY EXISTING TURF, SHRUBS, TREES, AND PLANT MATERIAL THAT IS SPECIFIED ON THE PLANS TO BE REMOVED, SHALL BE FULLY REMOVED FROM THE SITE, INCLUDING ALL ROOTS.
8. ALL LANDSCAPED AREAS SHALL BE WATERED BY A FULLY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
9. SOD AREAS SHALL BE ZONED SEPARATELY THAN BEDS, AND SHALL BE IRRIGATED VIA POP-UP SPRAY HEADS PROVIDING FULL (HEAD TO HEAD) COVERAGE. HEADS SHALL BE COMMERCIAL GRADE WITH REPLACEABLE NOZZLES, PRESSURE REGULATORS, AND CHECK VALVES.
10. BED AREAS SHALL BE ZONED SEPARATELY THAN SOD AREAS, AND SHALL BE IRRIGATED BY INDIVIDUAL DRIP EMITTERS TO EACH PLANT. DRIP COMPONENTS SHALL BE COMMERCIAL GRADE RAIN-BIRD OR EQUAL POINT SOURCE EMITTERS, WITH ALL PLANTS RECEIVING IRRIGATION.

DECIDUOUS SHADE TREES

Table with columns: SYMBOL, COMMON NAME, BOTANICAL NAME, MATURE HEIGHT, MATURE SPREAD, WATER USE, SUN/SHADE, SIZE AND CONDITION. Includes plants like Western Hackberry, Princeton Sentry Ginkgo, Skyline Honeylocust, Kentucky Coffee tree, Bur Oak, Chinquapin Oak.

ORNAMENTAL TREES

Table with columns: SYMBOL, COMMON NAME, BOTANICAL NAME, MATURE HEIGHT, MATURE SPREAD, WATER USE, SUN/SHADE, SIZE AND CONDITION. Includes plants like Shadblow Serviceberry, Eastern Redbud, Thornless Cockspur Hawthorn, Princeton Sentry Ginkgo, Seven-son Flower, Crimson Spice Oak, Japanese Tree Lilac, Clear Creek Golden Yellowhorn.

EVERGREEN TREES

Table with columns: SYMBOL, COMMON NAME, BOTANICAL NAME, MATURE HEIGHT, MATURE SPREAD, WATER USE, SUN/SHADE, SIZE AND CONDITION. Includes plants like Rocky Mountain Juniper, Fastgale Norway Spruce, Weeping White Spruce, Hoop pine, Bristlecone Pine, Vanderswoffs Pyramid Pine, Austrian Pine, Komel Columnar Austrian Pine.

DECIDUOUS SHRUBS

Table with columns: SYMBOL, COMMON NAME, BOTANICAL NAME, MATURE HEIGHT, MATURE SPREAD, WATER USE, SUN/SHADE, SIZE AND CONDITION. Includes plants like Black Chokeberry, Orange Columar Japanese Barberry, Littleleaf Mountain Mahogany, Arctc Fire Dogwood, Peking Cotonaster, Cardl Macle Daphne, PURPLE PILLAR Rose of Sharon, Lodense Privet, Summer Wine Ninebark, Creeping Three-Leaf Sumac, Green Mound Currant, Crandall Clove Currant, Black Tower Elderberry, Limemound Spiraea, Western Snowberry, Purple Reblooming Lilac, Dwarf European Cranberrybush, Compact American Cranberrybush.

EVERGREEN SHRUBS

Table with columns: SYMBOL, COMMON NAME, BOTANICAL NAME, MATURE HEIGHT, MATURE SPREAD, WATER USE, SUN/SHADE, SIZE AND CONDITION. Includes plants like Icee Blue Juniper, Cologreen Juniper, Oregon Grape Holly, Compact Oregon Grape Holly, Dwarf Globe Green Spruce, Big Tuna Mugo Pine, Adam's Needle Yucca.

ORNAMENTAL GRASSES

Table with columns: SYMBOL, COMMON NAME, BOTANICAL NAME, MATURE HEIGHT, MATURE SPREAD, WATER USE, SUN/SHADE, SIZE AND CONDITION. Includes plants like Sideoats Grama Grass, Blonde Ambition Grama Grass, Feather Reed Grass, Korean Feather Reed Grass, Dwarf Fountain Grass, Plume Grass, The Blues Little Bluestem Grass, Giant Sacaton Grass.

PERENNIALS

Table with columns: SYMBOL, COMMON NAME, BOTANICAL NAME, MATURE HEIGHT, MATURE SPREAD, WATER USE, SUN/SHADE, SIZE AND SPACING. Includes plants like Moonshine Yarrow, Coronado Hyssop, Silver Mound Sage, Plumbago, Orange Carpet California Fuchsia, Native Blanket Flower, Cranberry Red Daylily, Cream Variegated Sweet Iris.

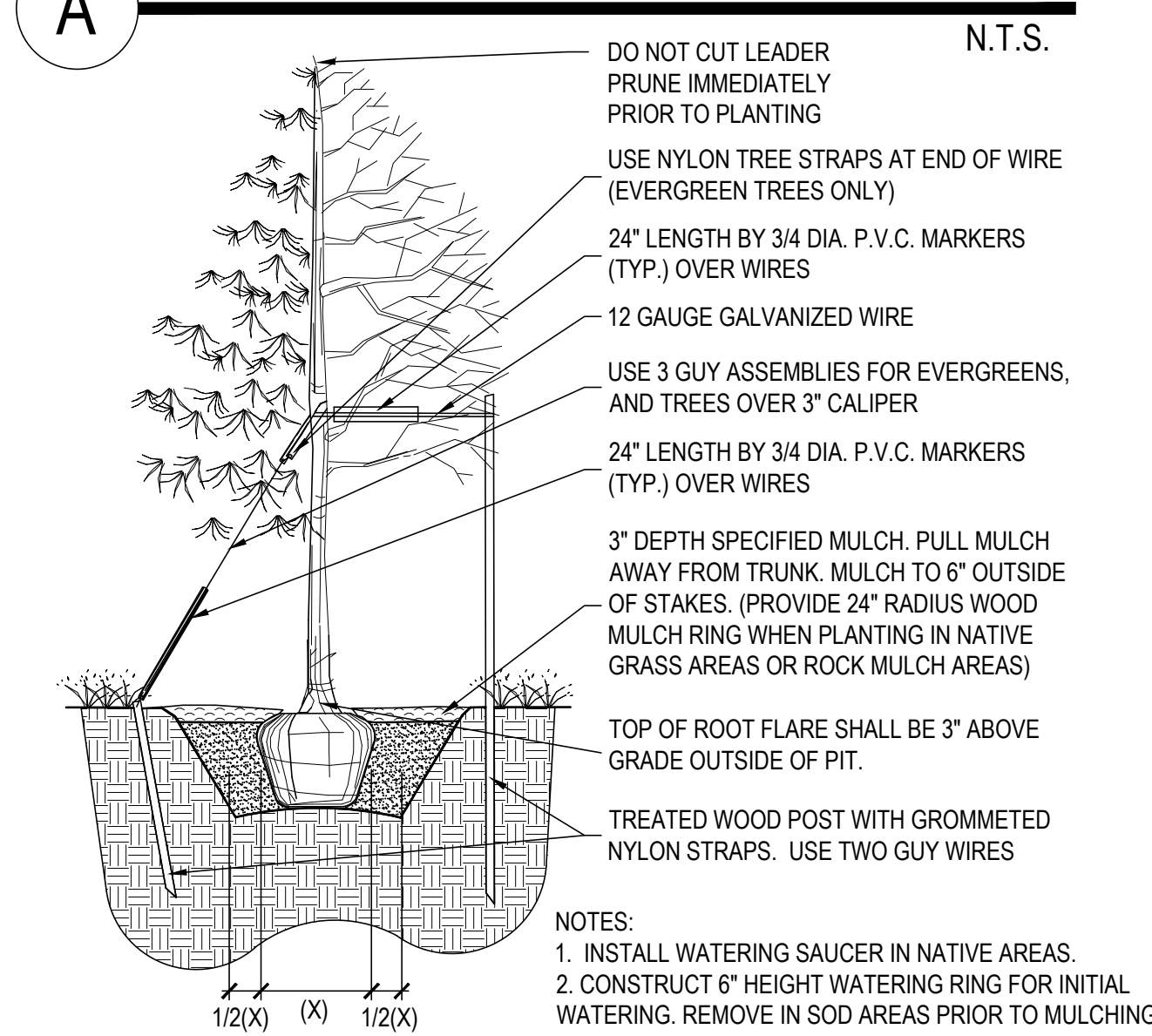
SOD 90 / 10 Fescue/Bluegrass Mix

LANDSCAPE PLANT LIST (cont.)

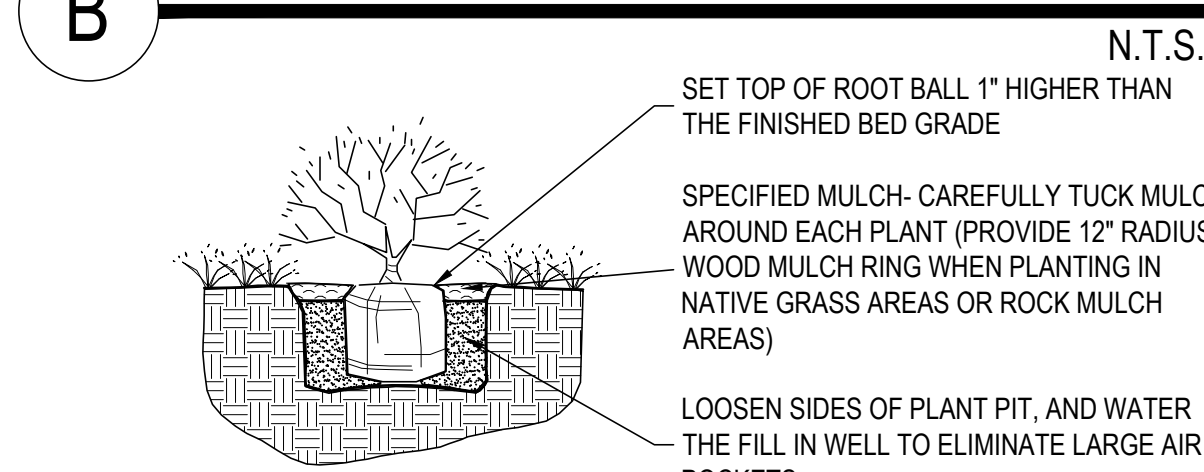
RAIN GARDEN PLANTINGS

Table with columns: SYMBOL, COMMON NAME, BOTANICAL NAME, MATURE HEIGHT, MATURE SPREAD, WATER USE, SUN/SHADE, SIZE AND CONDITION. Includes plants like Common White Yarrow, Indian Rice Grass, Denver Gold Columbine, Butterfly Weed, Prairie Winecup, Blue Harebell, Moonbeam Coreopsis, Purple Prairie Clover, Purple Coneflower, Showy Fleabane, Siskiyou Blue Idaho Fescue, June Grass, Native Lavender Bee-Balm, Shenandoah Red Switch Grass, Desert beard tongue, Ribbon Grass, Prairie Red Coneflower, Black Eyed Susan, Golden Baby Goldenrod, Indian Grass.

PLANTING DETAIL FOR ALL TREES & B&B SHRUBS



PLANTING DETAIL FOR SHRUBS, AND ALL CONTAINER PLANTS LARGER THAN 1 GALLON



ADAMS COUNTY LANDSCAPE REQUIREMENTS FOR SPECIFIC AREAS OF THE SITE

Table with columns: REQUIREMENT CATEGORY & LOCATION, BUFFERYARD WIDTH REQUIREMENT, WIDTH PROVIDED, LANDSCAPE REQUIREMENTS, LANDSCAPE PROVIDED. Details requirements for West, North, and South Bufferyard, Street Frontage, and Parking Lot.

ADAMS COUNTY LANDSCAPE REQUIREMENTS FOR OVERALL SITE

Table with columns: REQUIREMENT CATEGORY, LANDSCAPE REQUIREMENTS, LANDSCAPE AREA OR LANDSCAPE PROVIDED. Details requirements for Req. Lot Landscaping, Dwelling Multifamily Landscaping, and Dwelling Multifamily Req. Trees & Shrubs.



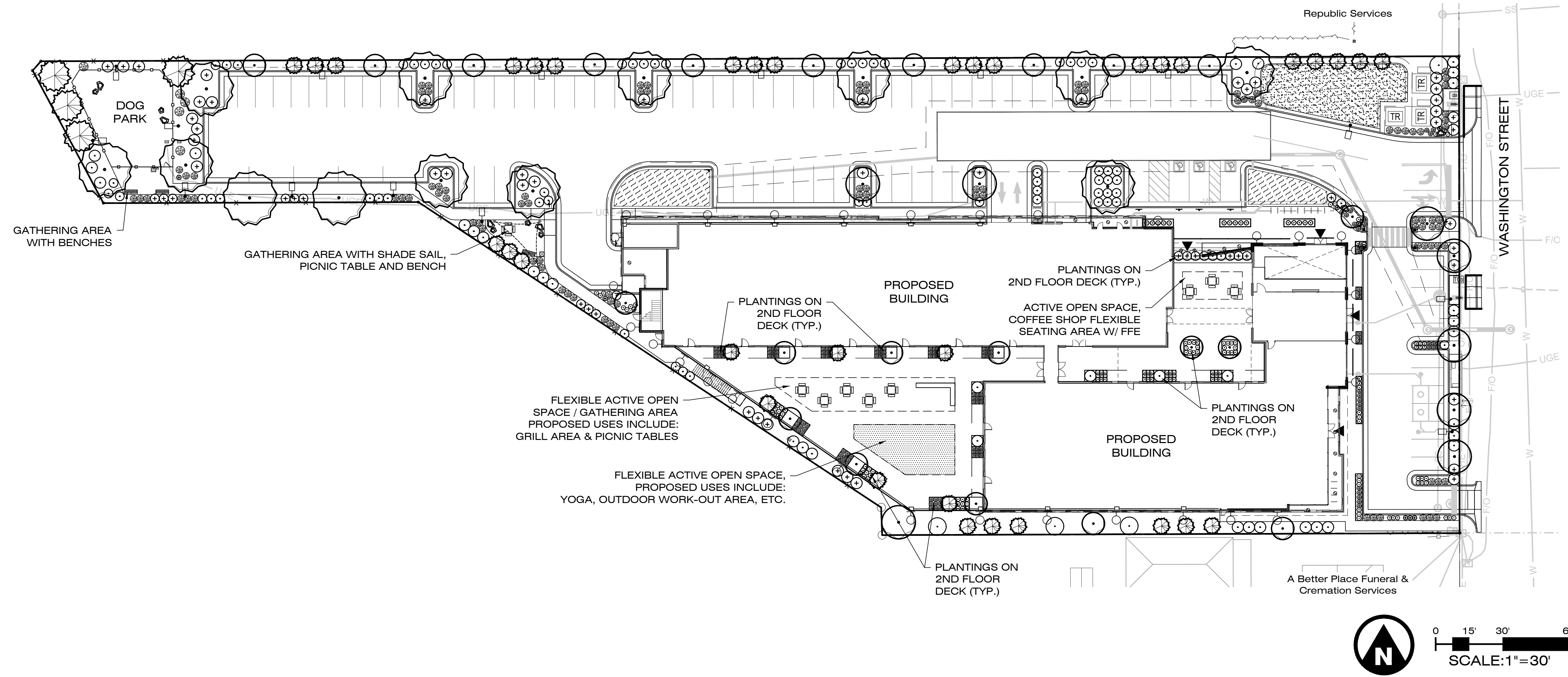
# MAIKER BOYERS

## LANDSCAPE PLAN

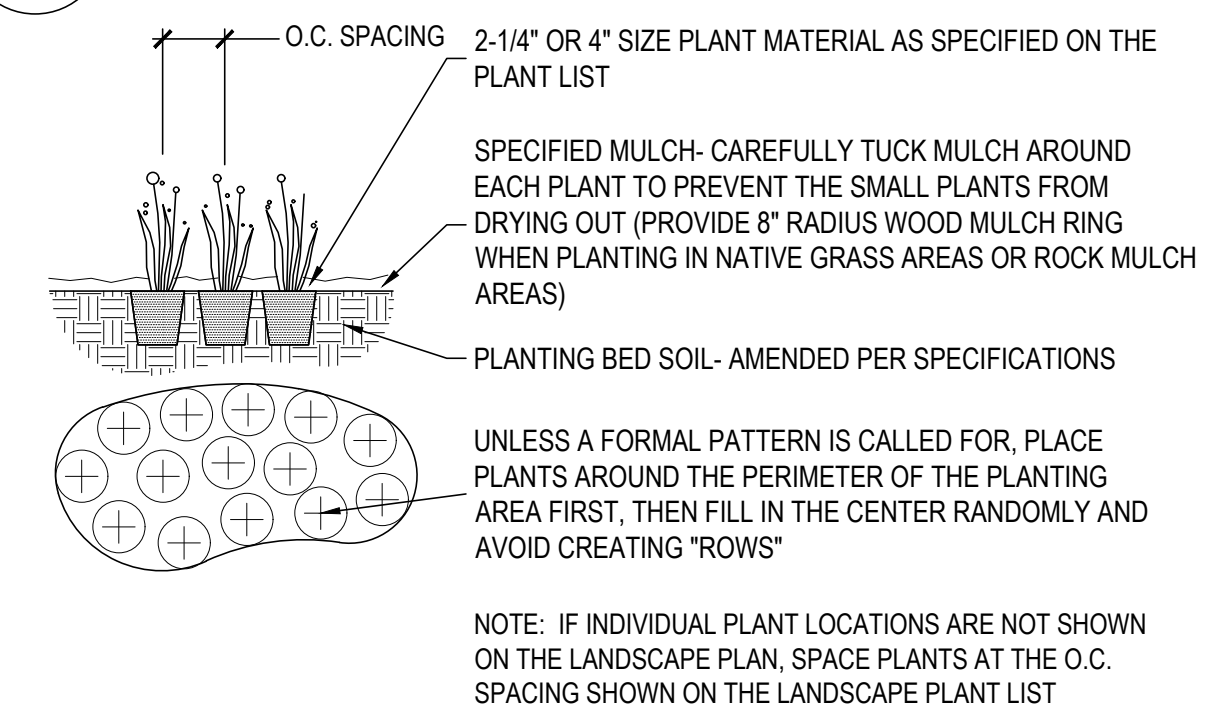
### LANDSCAPE LEGEND

- DECIDUOUS SHADE TREES
- ORNAMENTAL TREES
- EVERGREEN TREES
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
- PERENNIALS
- SOD
- RAIN GARDEN PLANTINGS
- LANDSCAPE BOULDERS
- SYNTHETIC TURF

### LANDSCAPE PLAN



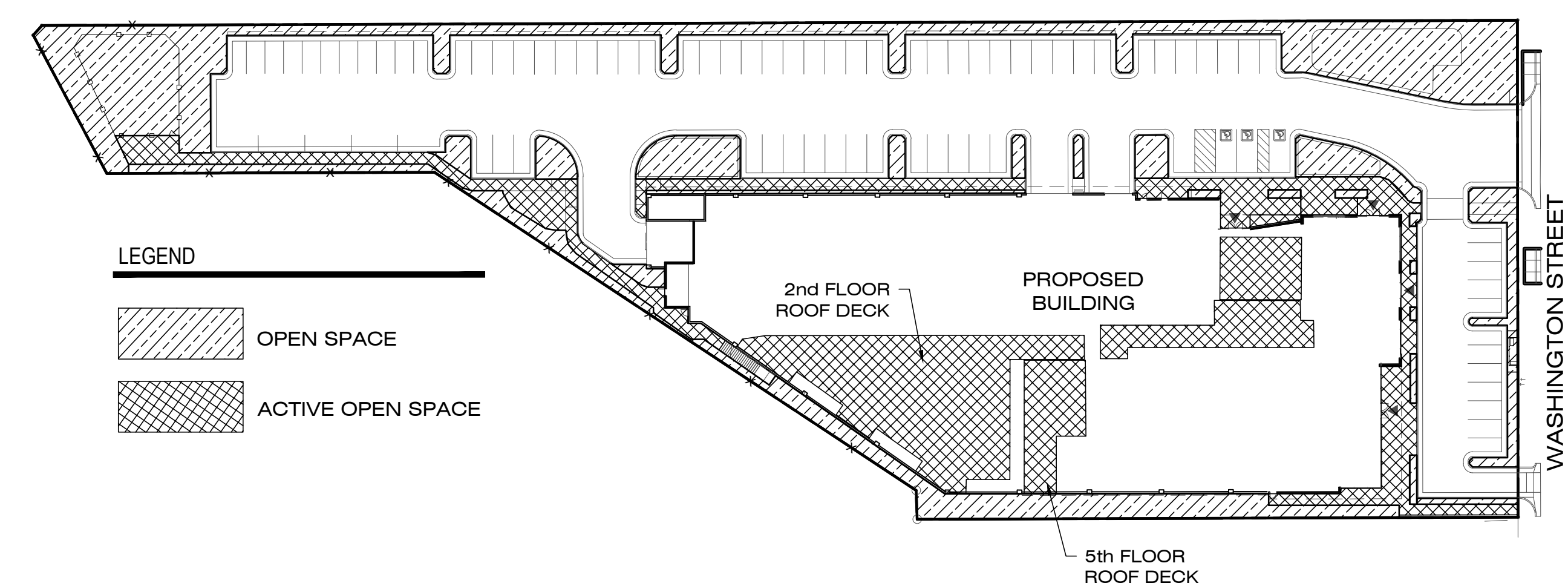
### C PLANTING DETAIL FOR PERENNIALS, ANNUALS, & ALL CONTAINER PLANTS 1 GALLON OR SMALLER



### ADAMS COUNTY OPEN SPACE REQUIREMENTS FOR OVERALL SITE

REQUIREMENT CATEGORY	OPEN SPACE & ACTIVE OPEN SPACE AREA REQUIREMENTS	OPEN SPACE & ACTIVE OPEN SPACE AREAS PROVIDED
<b>MINIMUM OPEN SPACE AREA</b> (sec. 3-34-03-05)	<p>A MIN. OF 30% OF THE LOT AREA SHALL BE OPEN SPACE.</p> <p>A MIN. OF 25% OF THE OPEN SPACE SHALL BE ACTIVE OPEN SPACE.</p> <p>LOT = 92,861.6 SF; 30% = 27,858.5 SF</p> <p>25% OF 27,858.47 SF = 6,964.6 SF</p>	<p>OPEN SPACE AT GRADE = 23,076 SF</p> <p>OPEN SPACE ON ELEV. DECKS = 8,175.6 SF</p> <p>TOTAL OPEN SPACE = 31,251.6 SF or 32.3% of the lot</p> <p>ACTIVE OPEN SPACE AT GRADE = 6,250.8 SF</p> <p>ACTIVE OPEN SPACE ON ELEVATED DECKS = 8,175.6 SF</p> <p>TOTAL ACTIVE OPEN SPACE = 14,426.4 SF or 46% of the open space</p>

### OPEN SPACE & ACTIVE OPEN SPACE PLAN

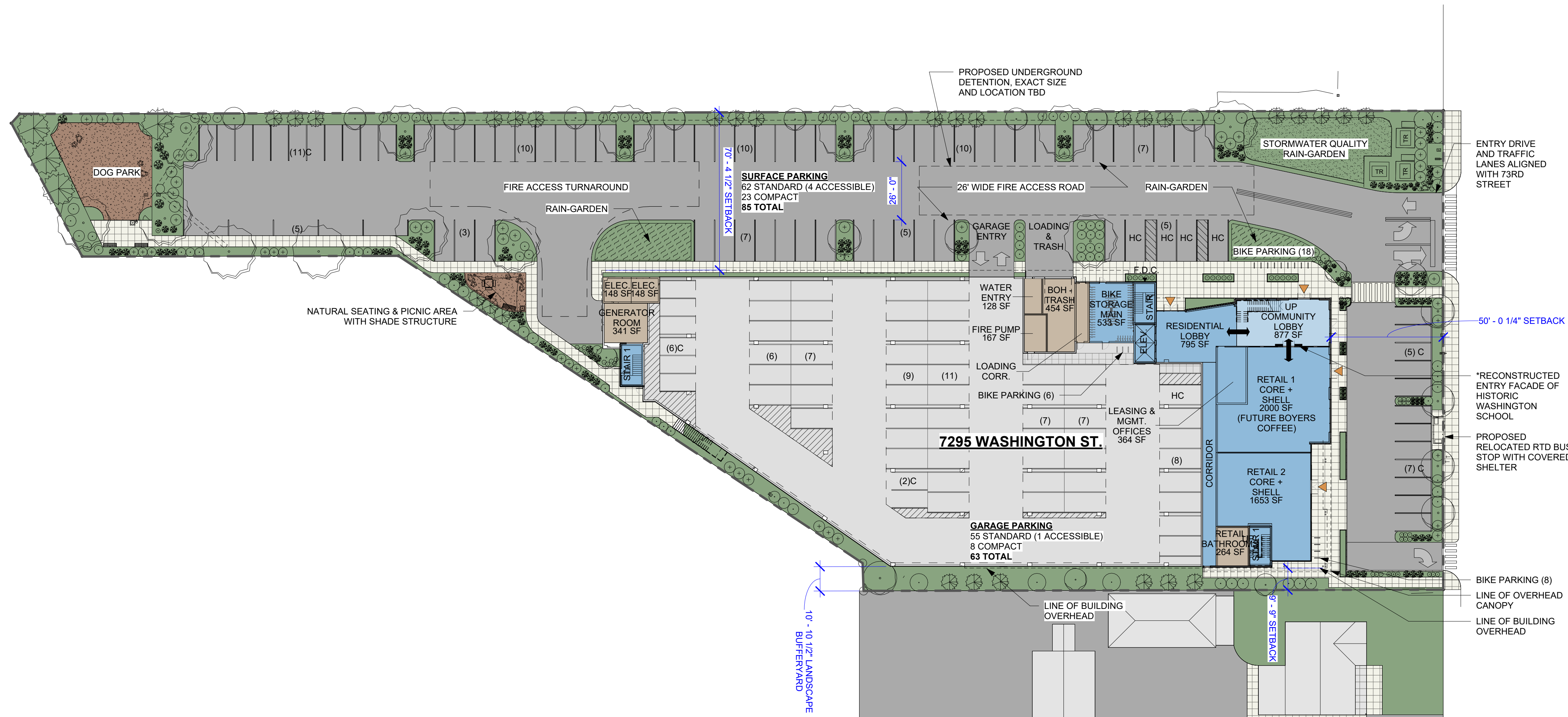


No.	Date



# MAIKER BOYERS SITE PLAN

CASE NO. PRC2024-00017

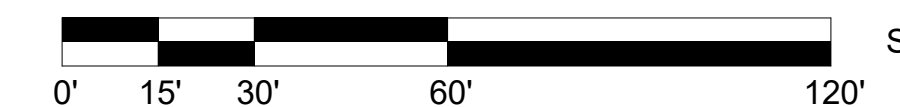
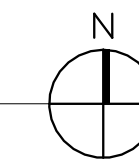


PARKING COUNT LEGEND	
<b>PROPOSED PARKING</b>	
STANDARD	= 117 (79%)
COMPACT	= 31 (21%)
<b>TOTAL PROPOSED PARKING</b>	<b>= 148 SPACES</b>
<b>REQUIRED PARKING</b>	
RESIDENTIAL PARKING	= 132 SPACES
((88) - 1-BR UNITS @ 1 SPACE	= 88 SPACES
((29) - 2-BR UNITS @ 1.5 SPACE	= 44 SPACES
VISITORS @ 15% OF 132	= 20 SPACES
RETAIL @ 1 SPACE PER 3 SEATS	= 30 SPACES
<b>TOTAL REQUIRED PARKING</b>	<b>= 182 SPACES</b>
PROPOSED PARKING REDUCTION	~ 19.0% REDUCTION (-34 SPACES)
PROPOSED RESIDENTIAL PARKING RATIO	1.01 SPACES/ UNIT
<b>PROPOSED BIKE PARKING</b>	
LONG-TERM BIKE PARKING	= 70 (47%)*
SHORT-TERM BIKE PARKING	= 32 (21%)*
<b>TOTAL BIKE PARKING</b>	<b>= 102 (68%)*</b>
*PERCENTAGE OF TOTAL AUTOMOBILE PARKING	

TOTAL BUILDING AREA	
LEVEL	FLOOR AREA
01 - GROUND LEVEL	33963 SF
02 - SECOND LEVEL	26007 SF
03 - THIRD LEVEL	25433 SF
04 - FOURTH LEVEL	25433 SF
05 - FIFTH LEVEL	24997 SF
<b>TOTAL BUILDING AREA</b>	<b>135832 SF</b>

ZONING SUMMARY		
ZONING	EXISTING	PROPOSED
ZONING	I-1	PUD
USE	MANUFACTURING/ DISTRIBUTION	COMMERCIAL, RESIDENTIAL MIXED-USE
SITE AREA	2.132 AC	
DWELLING UNITS PER ACRE	54.8 DUAC	
OCCUPANCY	R-2; M; B	
CONSTRUCTION TYPE	5 STORIES: (4) STORIES TYPE VA OVER (1) STORY TYPE IA	
SPRINKLERED	NFPA 13	
PROPOSED HEIGHT	5 STORIES; APPROX. 60' - 0"	
PROPOSED BUILDING AREA	135,839 SF	
PROPOSED SETBACKS		
FRONT	50' - 0"	
REAR	N / A	
SIDE - SOUTH	9' - 9"	
SIDE - NORTH	70' - 4"	

1 SITE PLAN  
1" = 30'-0"



SCALE: 1" = 30'-0"

No.	Date



# MAIKER BOYERS

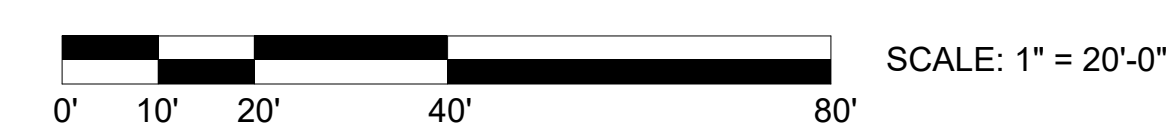
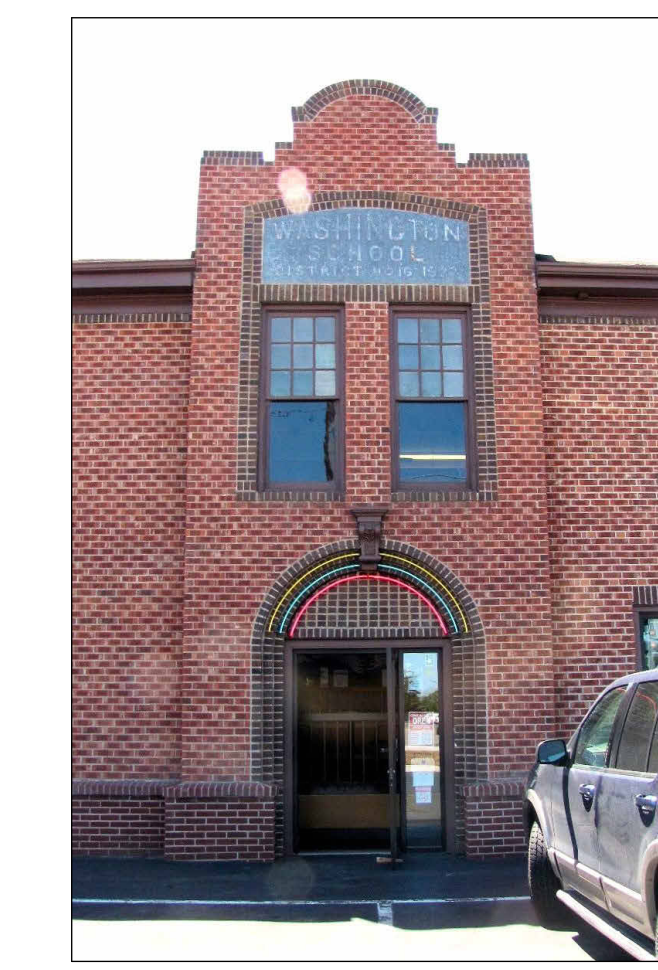
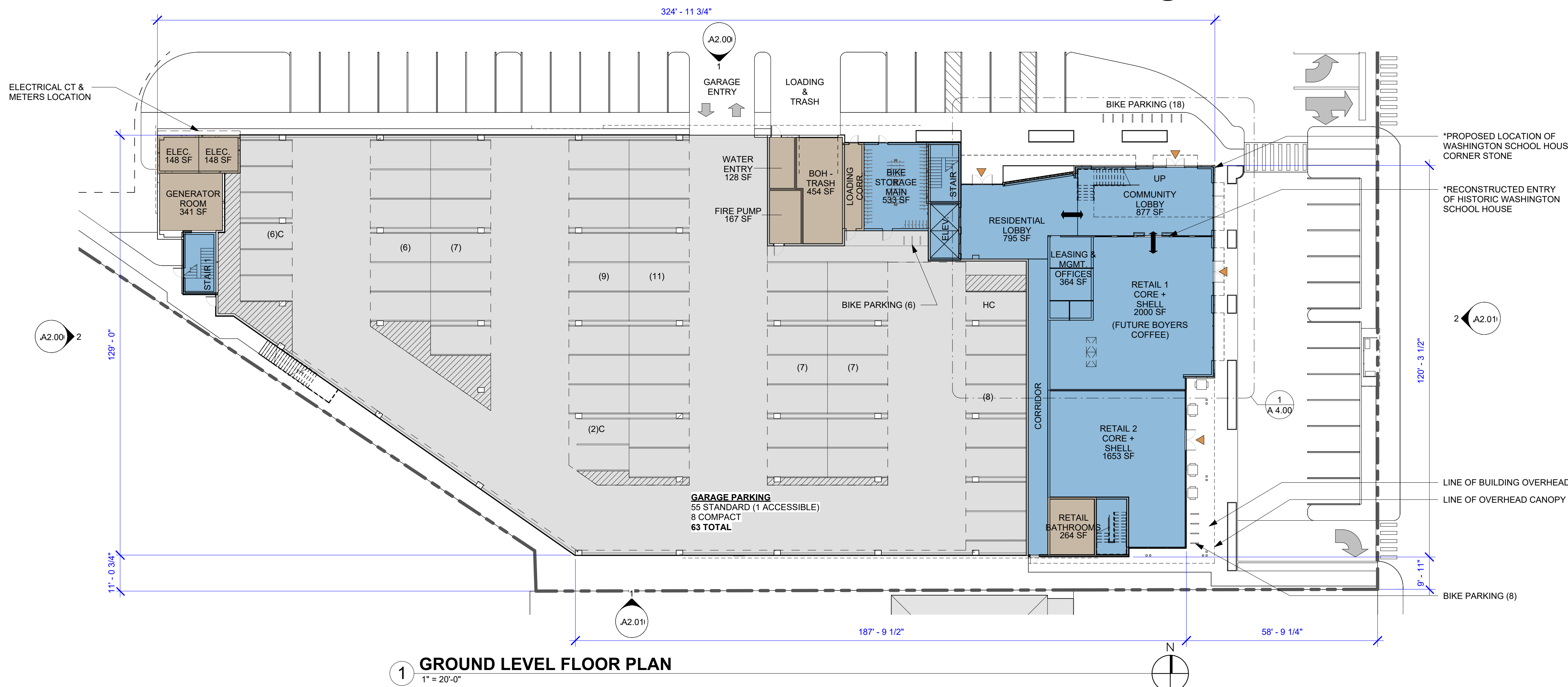
## GROUND AND SECOND LEVEL PLANS

### PROPOSED - UNIT BREAKDOWN

UNIT TYPE	LEVEL	COUNT
1-BR	02 - SECOND LEVEL	21
1-BR	03 - THIRD LEVEL	23
1-BR	04 - FOURTH LEVEL	23
1-BR	05 - FIFTH LEVEL	21
1-BR: 88		88 = 75%
2-BR	02 - SECOND LEVEL	6
2-BR	03 - THIRD LEVEL	8
2-BR	04 - FOURTH LEVEL	8
2-BR	05 - FIFTH LEVEL	7
2-BR: 29		29 = 25%
<b>TOTAL UNIT COUNT:</b>		<b>117</b>

### CONCEPT - OVERALL FLOOR AREA

LEVEL	DESCRIPTION	GROSS FLOOR AREA
01 - GROUND LEVEL	BOH	1650 SF
01 - GROUND LEVEL	COMMERCIAL	4199 SF
01 - GROUND LEVEL	COMMON	3095 SF
01 - GROUND LEVEL	GARAGE	25020 SF
01 - GROUND LEVEL		33963 SF
02 - SECOND LEVEL	1-BR	13190 SF
02 - SECOND LEVEL	2-BR	4927 SF
02 - SECOND LEVEL	BOH	595 SF
02 - SECOND LEVEL	COMMERCIAL	915 SF
02 - SECOND LEVEL	COMMON	6379 SF
02 - SECOND LEVEL		26007 SF
03 - THIRD LEVEL	1-BR	14439 SF
03 - THIRD LEVEL	2-BR	6658 SF
03 - THIRD LEVEL	BOH	595 SF
03 - THIRD LEVEL	COMMON	3741 SF
03 - THIRD LEVEL		25433 SF
04 - FOURTH LEVEL	1-BR	14439 SF
04 - FOURTH LEVEL	2-BR	6658 SF
04 - FOURTH LEVEL	BOH	595 SF
04 - FOURTH LEVEL	COMMON	3741 SF
04 - FOURTH LEVEL		25433 SF
05 - FIFTH LEVEL	1-BR	13140 SF
05 - FIFTH LEVEL	2-BR	5871 SF
05 - FIFTH LEVEL	BOH	595 SF
05 - FIFTH LEVEL	COMMON	5391 SF
05 - FIFTH LEVEL		24997 SF
<b>TOTAL GROSS AREA</b>		<b>135832 SF</b>







# MAIKER BOYERS

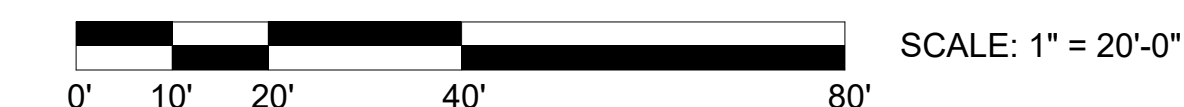
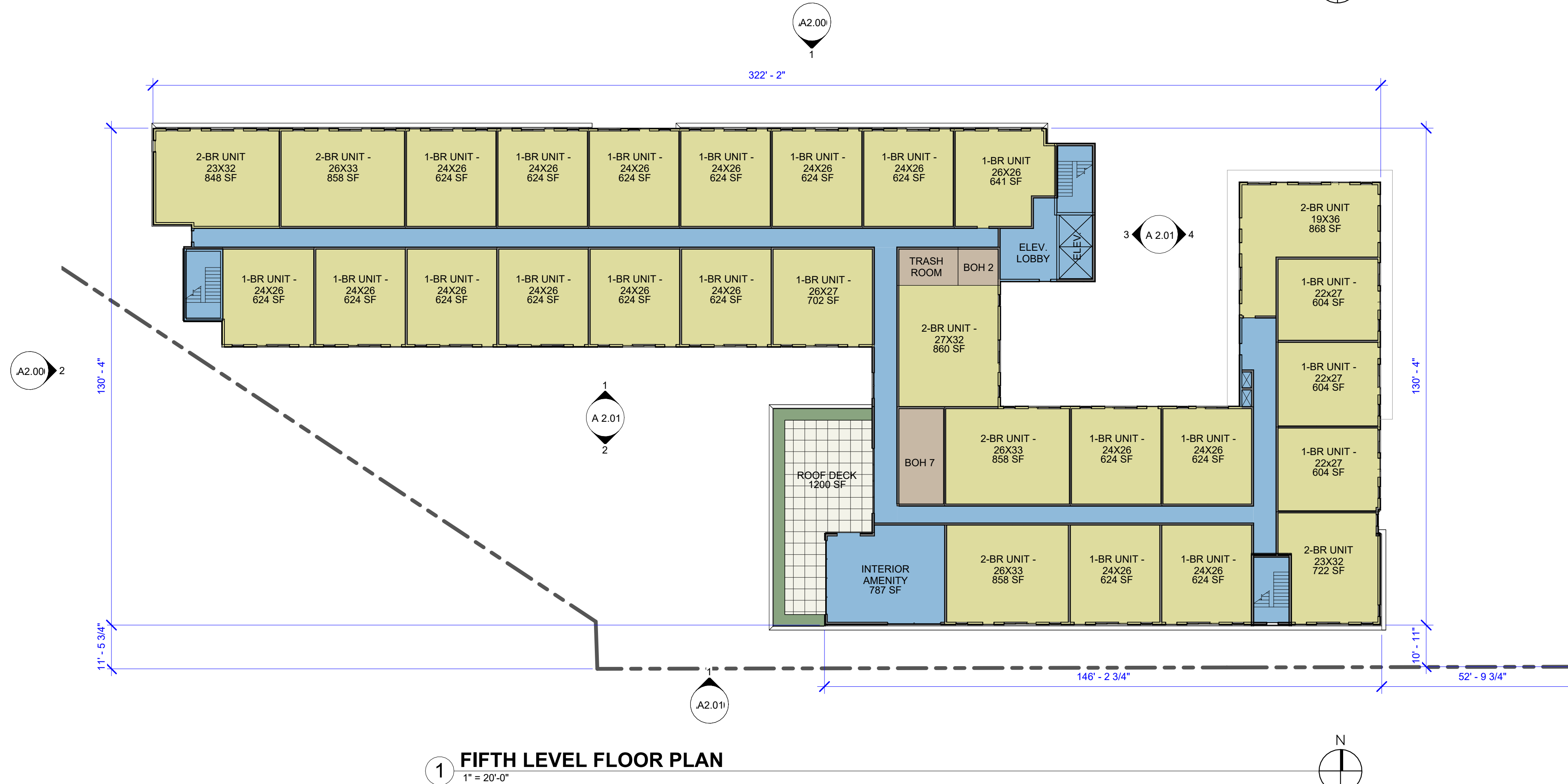
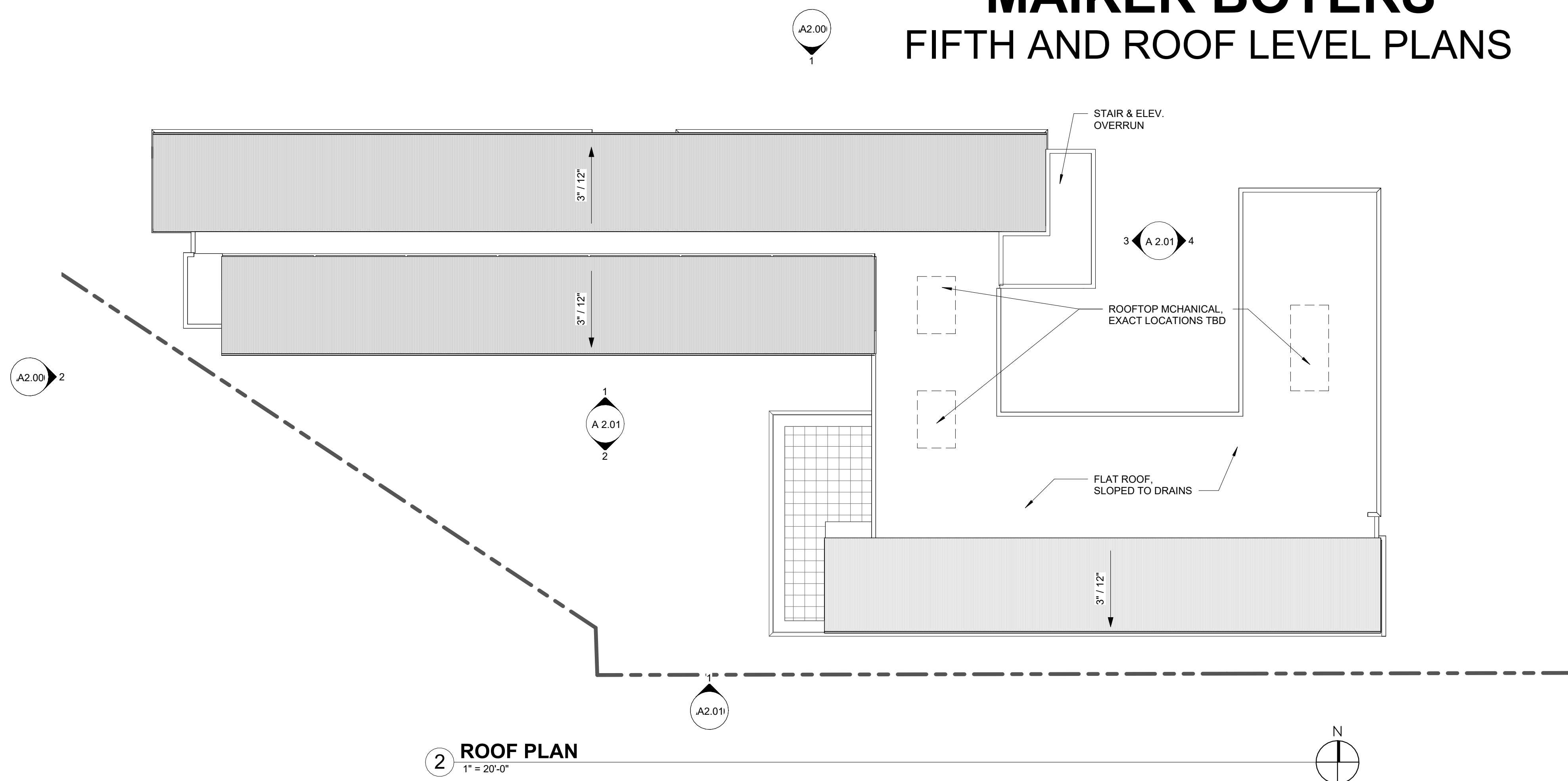
## FIFTH AND ROOF LEVEL PLANS

### PROPOSED - UNIT BREAKDOWN

UNIT TYPE	LEVEL	COUNT
1-BR	02 - SECOND LEVEL	21
1-BR	03 - THIRD LEVEL	23
1-BR	04 - FOURTH LEVEL	23
1-BR	05 - FIFTH LEVEL	21
1-BR: 88		88 = 75%
2-BR	02 - SECOND LEVEL	6
2-BR	03 - THIRD LEVEL	8
2-BR	04 - FOURTH LEVEL	8
2-BR	05 - FIFTH LEVEL	7
2-BR: 29		29 = 25%
<b>TOTAL UNIT COUNT: 117</b>		<b>117</b>

### CONCEPT - OVERALL FLOOR AREA

LEVEL	DESCRIPTION	GROSS FLOOR AREA
01 - GROUND LEVEL	BOH	1650 SF
01 - GROUND LEVEL	COMMERCIAL	4199 SF
01 - GROUND LEVEL	COMMON	3095 SF
01 - GROUND LEVEL	GARAGE	25020 SF
01 - GROUND LEVEL		33963 SF
02 - SECOND LEVEL	1-BR	13190 SF
02 - SECOND LEVEL	2-BR	4927 SF
02 - SECOND LEVEL	BOH	595 SF
02 - SECOND LEVEL	COMMERCIAL	915 SF
02 - SECOND LEVEL	COMMON	6379 SF
02 - SECOND LEVEL		26007 SF
03 - THIRD LEVEL	1-BR	14439 SF
03 - THIRD LEVEL	2-BR	6658 SF
03 - THIRD LEVEL	BOH	595 SF
03 - THIRD LEVEL	COMMON	3741 SF
03 - THIRD LEVEL		25433 SF
04 - FOURTH LEVEL	1-BR	14439 SF
04 - FOURTH LEVEL	2-BR	6658 SF
04 - FOURTH LEVEL	BOH	595 SF
04 - FOURTH LEVEL	COMMON	3741 SF
04 - FOURTH LEVEL		25433 SF
05 - FIFTH LEVEL	1-BR	13140 SF
05 - FIFTH LEVEL	2-BR	5871 SF
05 - FIFTH LEVEL	BOH	595 SF
05 - FIFTH LEVEL	COMMON	5391 SF
05 - FIFTH LEVEL		24997 SF
<b>TOTAL GROSS AREA</b>		<b>135832 SF</b>



No.	Date



# MAIKER BOYERS ELEVATIONS



4 SOUTH ELEVATION  
1/16" = 1'-0"



3 WEST ELEVATION  
1/16" = 1'-0"



2 EAST ELEVATION (WASHINGTON ST.)  
1/16" = 1'-0"

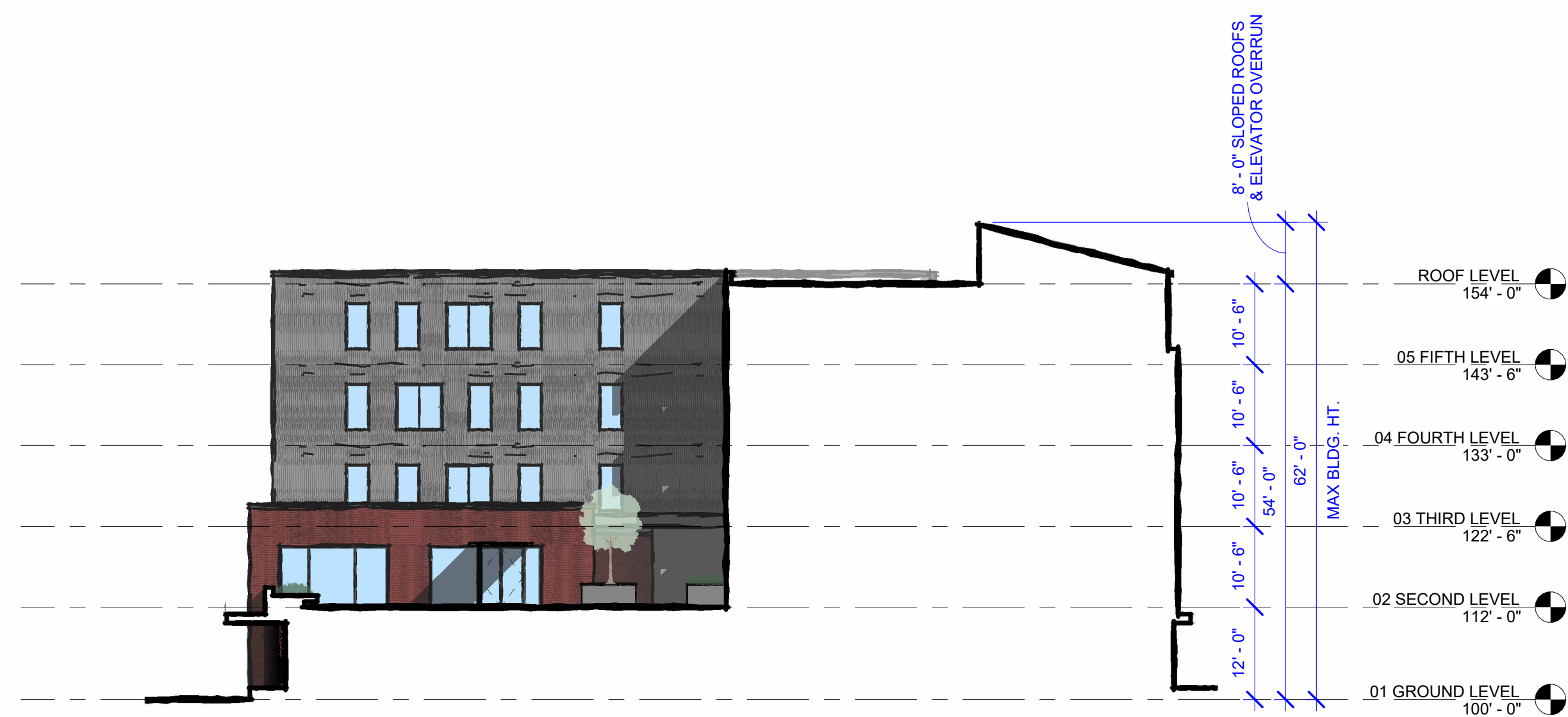


1 NORTH ELEVATION  
1/16" = 1'-0"

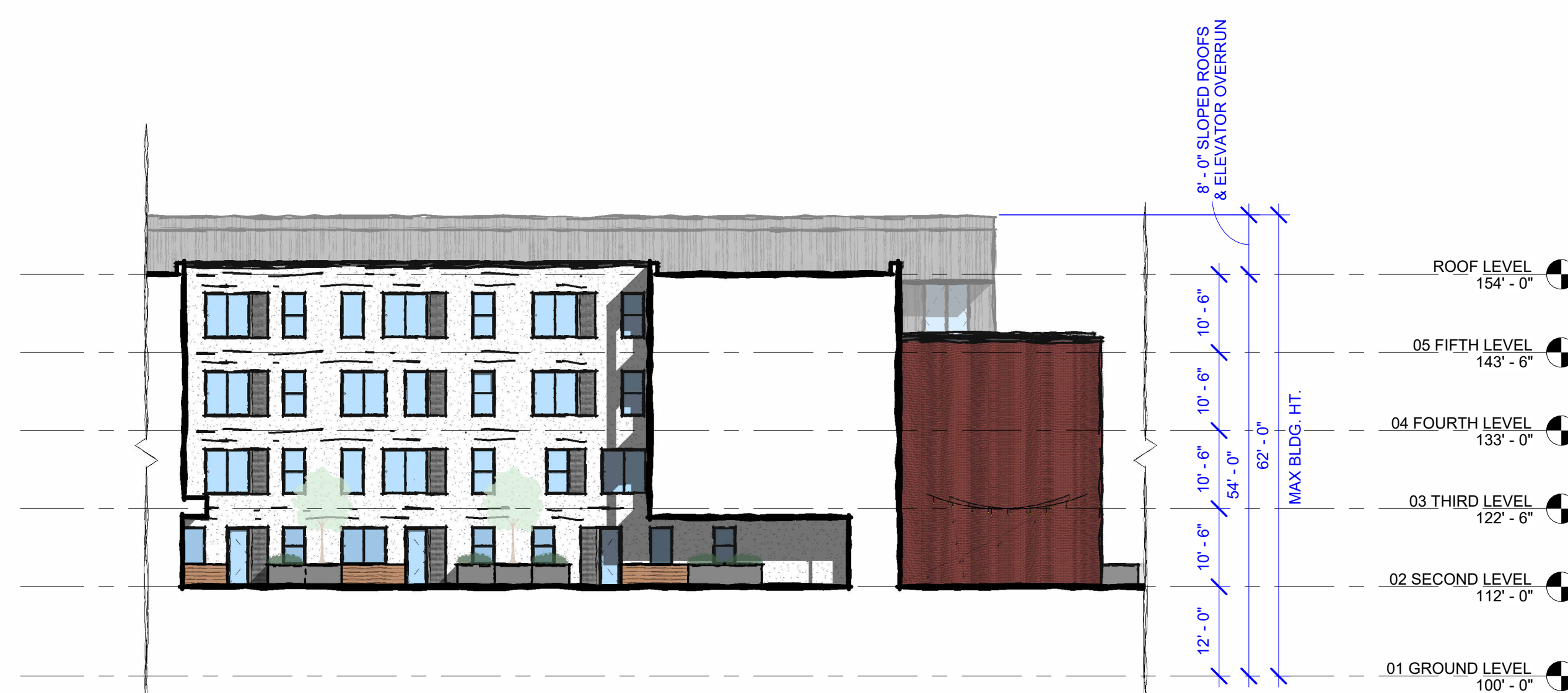
No.	Date



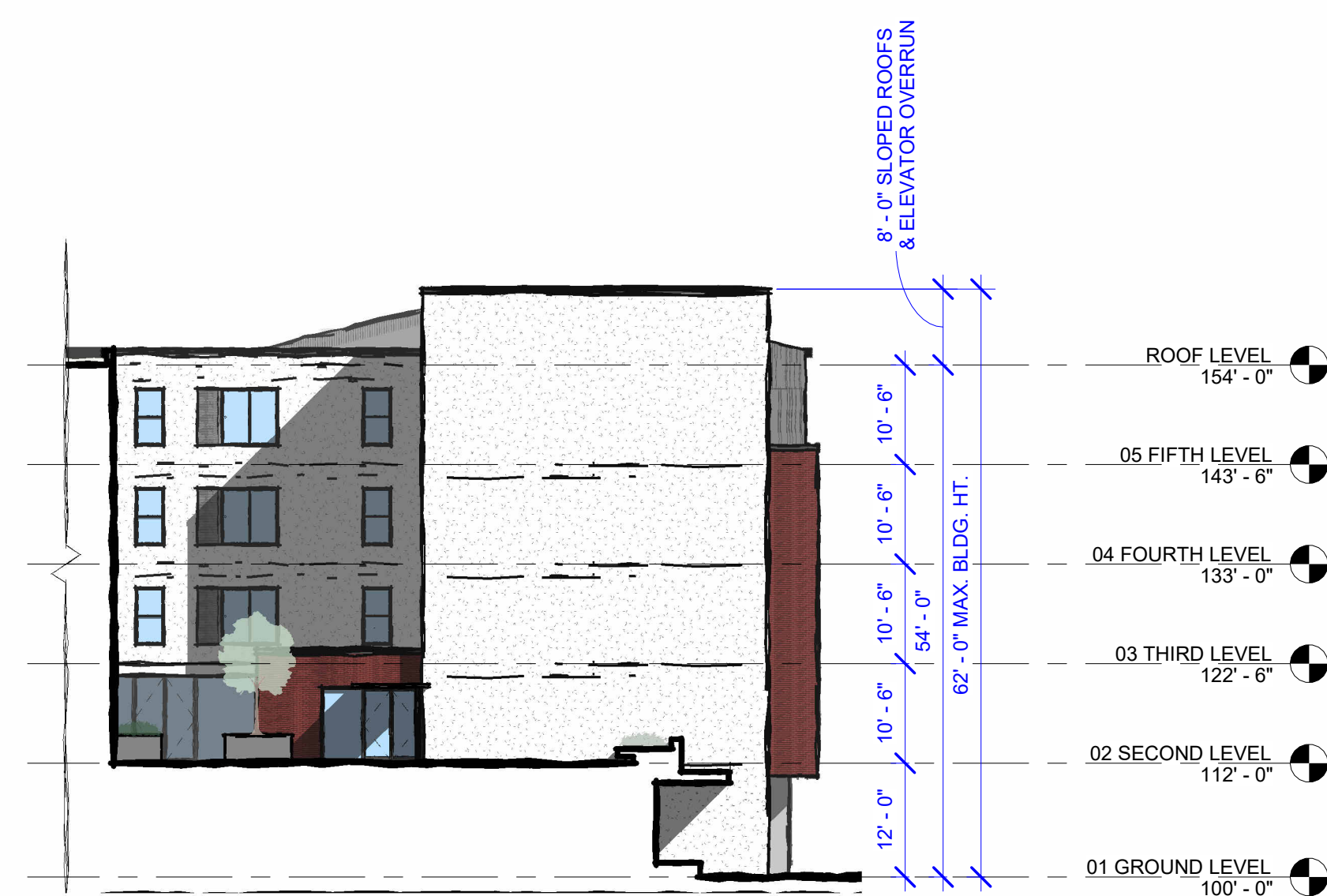
# MAIKER BOYERS ELEVATIONS



4 NORTH COURTYARD - EAST ELEVATION  
1/16" = 1'-0"



2 NORTH COURTYARD - SOUTH ELEVATION  
1/16" = 1'-0"



3 NORTH COURTYARD - WEST ELEVATION  
1/16" = 1'-0"



1 SOUTH COURTYARD - NORTH ELEVATION  
1/16" = 1'-0"

No.	Date



# MAIKER BOYERS CONCEPTUAL 3-D VIEWS



VIEW FROM WASHINGTON STREET & 73RD AVE.  
INTERSECTION CONCEPTUAL RENDERING



PROMINENT COMMUNITY ENTRY CONCEPTUAL RENDERING



SITE HISTORY REFERENCE IMAGERY



IDENTITY AND BRANDING CONCEPTUAL RENDERING



MURAL ART CONCEPTUAL RENDERING

No.	Date



# MAIKER BOYERS CONCEPTUAL 3-D VIEWS



VIEW FROM INTERSTATE 270 CONCEPTUAL RENDERING



INTIMATE RESIDENTIAL ENTRY CONCEPTUAL RENDERING



SITE HISTORY REFERENCE IMAGERY



OUTDOOR SPACE CONCEPTUAL RENDERING



ACTIVATED STOREFRONT CONCEPTUAL RENDERING

No.	Date



# MAIKER BOYERS SITE PHOTOMETRIC PLAN

SITE CALCULATION STATISTICS:				RATIOS:	
AREA	AVG (FC)	MAX (FC)	MIN (FC)	MAX/MIN	AVG/MIN
DRIVE AISLE	0.6	7.0	0.0	N/A	N/A
PARKING	0.6	1.5	0.1	18.0:1	3.0:1
PROPERTY LINE	0.8	1.0	0.1	18.0:1	7.0:1
20' BEYOND PROPERTY LINE	0.1	1.1	0.0	N/A	N/A
LEVEL 2 COURTYARDS	0.0	0.1	0.0	N/A	N/A
LEVEL 5 DECK	0.6	10.5	0.0	N/A	N/A
LEVEL 2 DECK	3.4	6.7	0.5	13.4:1	6.8:1

(\*)NOTE: THESE VALUES ARE RATIOS, NOT FOOTCANDLES. RATIOS REPRESENT QUANTITATIVE RELATION BETWEEN TWO VALUES AND ARE UNITLESS

## LUMINAIRE SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER OR APPROVED EQUIVALENT	CATALOG SERIES NUMBER OR APPROVED EQUIVALENT	LAMPS (QTY) TYPE	INPUT VA	DRIVER/ DIM PROTOCOL	LUMENS	VOLTAGE	BUG RATING	MOUNTING				NOTES
										R	S	P	W	
B1	BOLLARD, 360-DEG DISTRIBUTION, FULL CUTOFF	BEGA	B84691, B84003	LED 3000K	25.2	0-10V	709	120/277	B2 U0 G0		X			43" OH
C1	CATENARY LIGHTING, 24" SPACING, FULL CUTOFF CANOPY	PRIMUS	DSW-24-120-G16.5F-27/200-DSC7-LTK	LED 2700K	2.0/BULB	0-10V	200/BULB	120	B1 U0 G2		X			+10'-6" AFF, UNO
D1	4" RECESSED DOWNLIGHT, WIDE DISTRIBUTION	GOHAM	EVO4-30/07-AR-LD-WD-MVOLT-EZ1	LED 3000K	7.9	0-10V	750	120/277	B2 U0 G1	X				MOUNTED IN OVERHANG
D2	4" RECESSED WALL WASH DOWNLIGHT	GOHAM	EVO4LW-30/07-AR-LD-MVOLT-EZ-1	LED 3000K	7.9	0-10V	750	120/277	B0 U0 G1	X				MOUNTED IN OVERHANG
E1	48" LINEAR WALL GRAZER MURAL LIGHT, 10-DEG X 10-DEG OPTICS, FULL CUTOFF, 18" EXTENDED ARM	INSIGHT	PEX-MO-3000K-10-EXA-18-48"-277V-DIM-MG	LED 3000K	28	0-10V	2582	277	B2 U0 G1			X		+49'-6" AFF
P1	POLE MOUNTED AREA LIGHT, TYPE 3 DISTRIBUTION, FULL CUTOFF, BACKLIGHT CONTROL, DIMMING DRIVER	BEACON	VP-1-160L-35-3K8-3-UNV-BLT-BC-ADT	LED 3000K	36.8	0-10V	3014	120/277	B0 U0 G1					+20'-0" OH
P4	POLE MOUNTED PEDESTRIAN LIGHT, TYPE 3 DISTRIBUTION, FULL CUTOFF DIMMING DRIVER	KIM LIGHTING	UR20-96L-30-3K8-3-UNV-PT-BLT-7PR	LED 3000K	28.2	0-10V	3326	120/277	B1 U0 G1					+10'-0" OH
L1	12' LINEAR RECESSED FIXTURE, DIMMED TO 20%	LITECONTROL	2L-XX-D-12"-3-06-SOF-XX-30K9-D030-D01-1C-UNV	LED 3000K	33.3	0-10V	7200	120/277	B2 U0 G0	X				MOUNTED IN OVERHANG
L2	4' LINEAR RECESSED FIXTURE, DIMMED TO 20%	LITECONTROL	2L-XX-D-4"-3-04-SOF-XX-30K9-D030-D01-1C-UNV	LED 3000K	11.1	0-10V	1800	120/277	B2 U0 G0	X				MOUNTED IN OVERHANG
T1	TAPE LIGHT, WET RATED, MOUNTED WITHIN EXTRUSION	WAC LIGHTING	8352-30-WT, T24-OD-CH5-CL	LED 3000K	1.5/FT	0-10V	100/FT	12	B0 U0 G2		X			NOTE 2
W1	WALL SCONCE FORWARD THROW, FULL CUTOFF	LITHONIA	WDGE1-LED-P1-30K-80CRI-VF-MVOLT-DBLXD	LED 3000K	10	0-10V	1161	120/277	B0 U0 G0			X		+9'-0" AFF, UNO
W2	WALL SCONCE, FULL CUTOFF	WAC LIGHTING	WS-W14911-BK	LED 3000K	7	0-10V	441	120	B1 U0 G0			X		+9'-0" AFF, UNO
W3	WALL SCONCE TO HIGHLIGHT ARCHITECTURAL FEATURES, UP/DOWN 15-DEG NARROW BEAMS	KIM LIGHTING	CY1-15-3K8-2-SP-SP-UNV-BLT-CB-FPP	LED 3000K	17.3	0-10V	1701	120/277	B2 U2 G0			X		NOTE 1, +10'-6" AFF
W4	WALL SCONCE, TYPE 4 FORWARD DISTRIBUTION, FULL CUTOFF	KIM LIGHTING	CY1-25-3K8-1-4-UNV-BLT-R-FPP	LED 3000K	26	0-10V	2201	120/277	B1 U0 G1			X		+10'-6" AFF

ABBREVIATIONS: BF - BOTTOM OF FIXTURE; OH - OVERALL FIXTURE HEIGHT; RD - RECESSED FIXTURE DEPTH; AFF - ABOVE FINISHED FLOOR

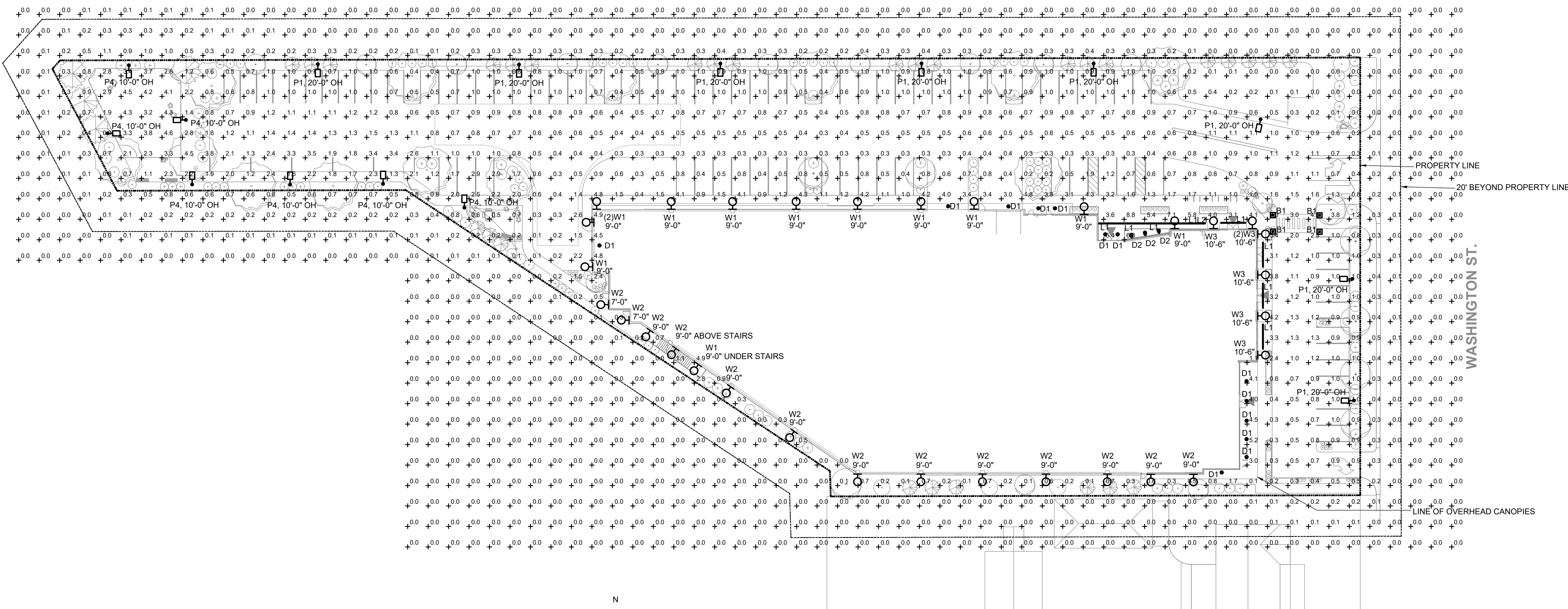
SCHEDULED NOTES:

- FIXTURE IS USED FOR ARCHITECTURAL LIGHTING PURPOSES AND GREATER THAN 90% OF TOTAL DISTRIBUTION PATTERN OF LIGHT IS WITHIN THE ILLUMINATED STRUCTURE AS ALLOWED AND REQUIRED STANDARDS 4-16-01.4. BY ADAMS COUNTY DESIGN REQUIREMENTS AND PERFORMANCE STANDARDS 4-16-01.4.
- FIXTURE IS MOUNTED AT 0'-8" AFF UNDER PLANTERS AT NORTH COURTYARD AND 2'-6" AFF UNDER RAILING AT SOUTH COURTYARD ON LEVEL 2.

## GENERAL NOTES

(ALL SHEETS)

- NO SUBSTITUTIONS, ADDITIONS, OR CHANGES MAY BE MADE WITHOUT PRIOR APPROVAL BY ADAMS COUNTY.
- PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY THE COUNTY MAY REQUIRE CERTIFICATION THAT THE PROPERTY IS COMPLIANT WITH THE APPROVED PLANS AND REGULATIONS OF THE COUNTY.
- ALL CALCULATIONS ARE DONE WITH LIGHT LOSS FACTOR OF 1.0
- ALL CALCULATION POINTS ARE AT GRADE.
- ANY PROPOSED LIGHT FIXTURES INSTALLED ON PRIVATE PROPERTY, ADJACENT TO THE RIGHT OF WAY, SHALL BE ORIENTED IN SUCH A MANNER OR LIMITED IN LUMEN OUTPUT TO PREVENT GLARE PROBLEMS AND SHALL NOT EXCEED NATIONAL IES LIGHTING STANDARDS FOR DISABILITY GLARE.
- ALL OUTDOOR LIGHTING SHALL HAVE LIGHT SOURCES THAT ARE CONCEALED BY A FULL CUTOFF LIGHTING FIXTURE SO THAT THE LIGHT SOURCE IS NOT VISIBLE FROM ANY STREET RIGHT-OF-WAY OR ADJACENT PROPERTIES. IN ORDER TO DIRECT LIGHT DOWNWARD AND MINIMIZE THE AMOUNT OF LIGHT SPILL INTO THE NIGHT SKY AND ONTO ADJACENT PROPERTIES, ALL LIGHTING FIXTURES SHALL BE FULL CUTOFF LIGHTING FIXTURES.
- SIGNATURE LIGHTING SHALL BE APPROVED AS PART OF A SEPARATE SIGN PERMIT.
- LUMINAIRES SHALL BE SHIELDED AND DIRECTED TO AVOID GLARE AND OVERSPILL ONTO ADJACENT PROPERTY.
- ALL EXTERIOR LIGHT FIXTURES SHALL BE FULL CUTOFF FIXTURES THAT ARE DIRECTED DOWNWARD (90 DEGREES FROM TRUE VERTICAL) AND SHALL HAVE FLAT LENSES, EMITTING NO MORE THAN 10 PERCENT OF THE TOTAL LUMENS BETWEEN 80 AND 90 DEGREES FROM TRUE VERTICAL. FIXTURES SHALL BE CONFIGURED SO THAT LIGHTS DO NOT CAUSE GLARE.
- ALL LIGHT FIXTURES ON STRUCTURES, POLES, BOLLARDS, STANDS, OR MOUNTED ON A BUILDING SHALL HAVE A SHIELD, ADJUSTABLE REFLECTOR, AND/OR NON-PROTRUDING DIFFUSER TO SHIELD THE LIGHT SOURCE FROM SIGHT FROM ADJACENT RESIDENTIAL ZONING DISTRICTS.
- MOTION-ACTIVATED SECURITY LIGHTING SHALL BE TIMED TO TURN OFF AFTER NOT MORE THAN FIVE MINUTES AFTER MOTION ACTIVATION.
- WALL PACKS ON THE EXTERIOR OF THE BUILDING SHALL BE FULLY SHIELDED (E.G., TRUE CUT-OFF TYPE BULB OR LIGHT SOURCE NOT VISIBLE FROM OFF-SITE) TO DIRECT THE LIGHT VERTICALLY DOWNWARD.
- LIGHT SPILLOVER FROM LEVEL 2 ONTO THE GROUND LEVEL IS REFLECTED IN THE CALCULATION POINTS ON THE SITE PLAN PHOTOMETRIC.

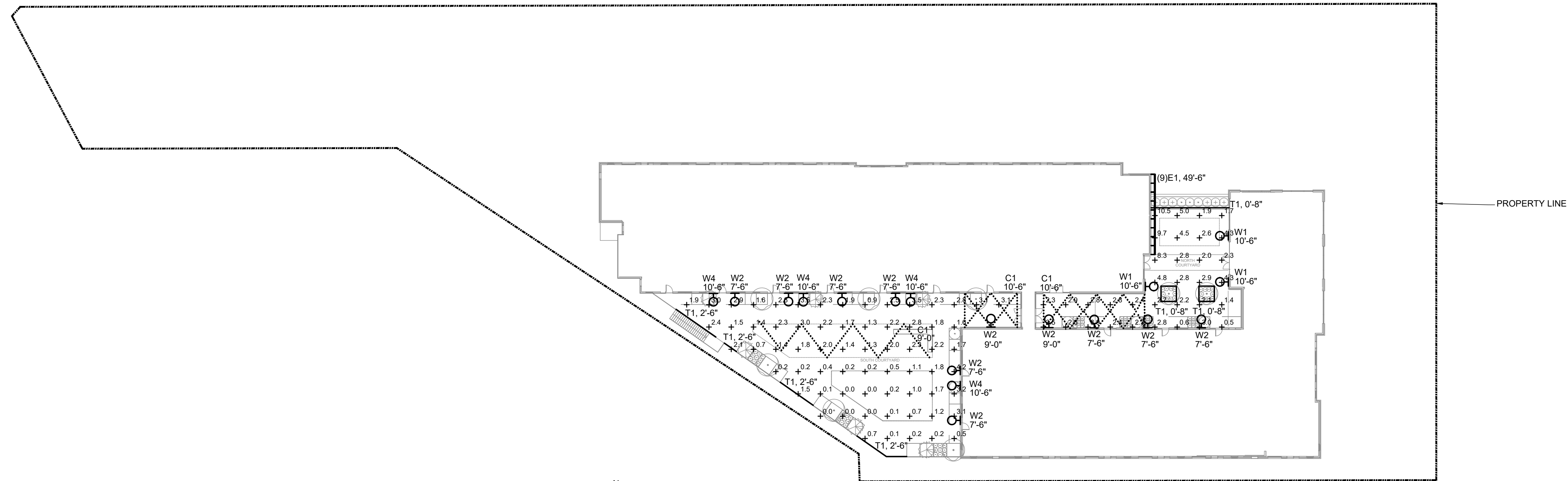


**1** SITE PHOTOMETRIC PLAN  
SCALE: 1" = 30'-0"

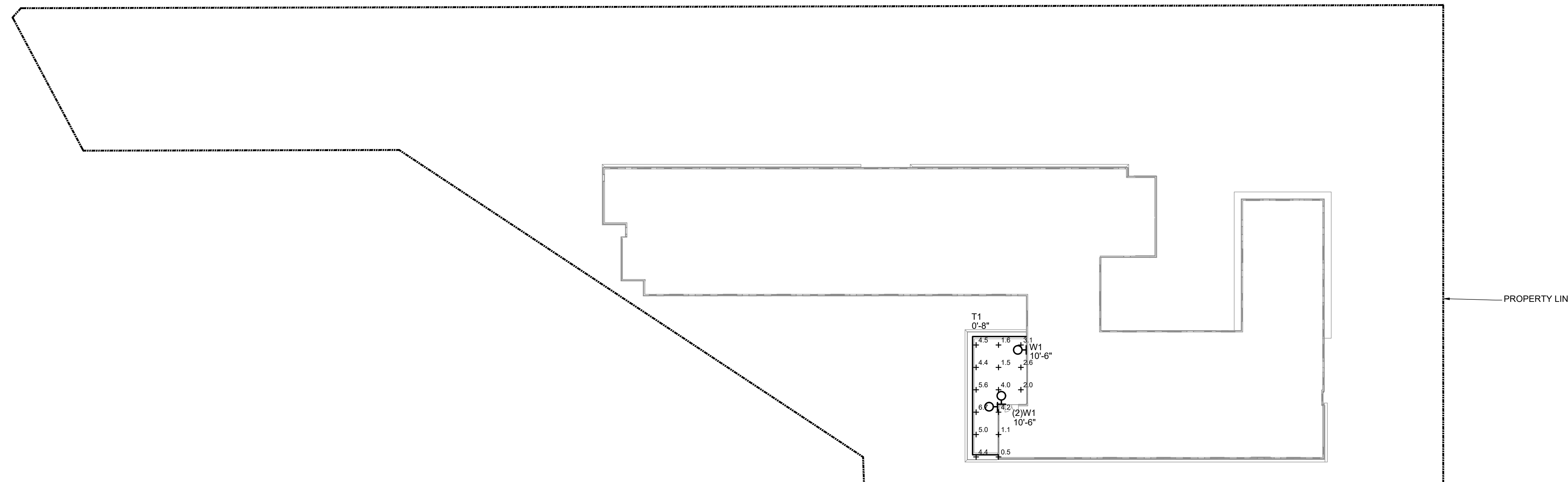
No.	Date

# MAIKER BOYERS

## LEVELS 2 & 5 PHOTOMETRIC PLANS



**1** LEVEL 2 PHOTOMETRIC PLAN  
SCALE: 1" = 30'-0"



**2** LEVEL 5 PHOTOMETRIC PLAN  
SCALE: 1" = 30'-0"

No.	Date

# MAIKER BOYERS LIGHTING CUTSHEETS

## TYPE B1 BEGA

**System bollard head - Shielded - 360°**

**Application**  
BEGA system bollard heads with shielded 360° light distribution. Simply order the bollard head and also the required bollard tube in various heights and options. Both modules can be joined together easily and quickly during the installation.

**Materials**  
Borosilicate glass  
Marine grade, copper free (0.3% copper content) A860.0 aluminum alloy  
High temperature silicone gasket  
Mechanically captive stainless steel fasteners  
Interlocking stainless steel mounting mechanism for attachment of head and tube

**NRTL** listed to North American Standards, suitable for wet locations  
Protection class IP 65

**Weight:** 13.0 lbs.

**Electrical**  
Operating voltage: 120-277VAC  
Minimum start temperature: -20° C  
LED module wattage: 25.2W  
System wattage: 30.0W  
Controllability: 0-100% dimmable  
Color rendering index: Ra > 80  
Luminaire lumens: 200lm  
LED service life (L70): 60000hrs

**LED color temperature**  
 4000K (K4)  
 3500K (K3)  
 3000K (K2)  
 2700K (K1)

**BEGA** can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details.

**Finish**  
All BEGA standard finishes are matte, textured powder coat with minimum 3 mil thickness. BEGA Unisure® finish provides superior fade protection in Black, Bronze, and Silver. BEGA standard White is a super durable polyester powder. Optionally available RAL and custom color finishes provided in either polyester powder or liquid paint.

**Available colors**  
 Black (BLK)  
 Silver (SLV)  
 RAL  
 Bronze (BRZ)  
 White (WHT)  
 CUS

**Available options**  
 CUS Custom finish  
 MGL Marine grade undercoat  
 RAL RAL finish

**Included (available for pre-shipment)**  
 B1981/8 Anchorage kit

**System bollard head - Shielded - 360°**

BE4691	LED	A	B
	25.2W	8 1/4"	7 1/4"

BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 info@bega-us.com  
Due to the dynamic nature of lighting products and the associated technologies, luminaires data on this sheet is subject to change at the discretion of BEGA North America. For the most current technical data, please refer to bega-us.com © copyright BEGA 2024

## TYPE B2 BEGA

**System bollard tube - No access door**

**Application**  
BEGA system bollard luminaire tube without components. BEGA system bollard tubes are designed for easy attachment to system bollard heads using an interlocking mechanism. An accompanying bollard head must be selected for proper installation. Mounting system allows for luminaire to be adjusted independent of anchor bolt orientation.

**Materials**  
Die-cast aluminum  
Extruded aluminum  
Mechanically captive stainless steel fasteners  
Galvanized steel anchorage

**NRTL** listed to North American Standards, suitable for wet locations  
Protection class IP 65

**Weight:** 24.4 lbs.

**Finish**  
All BEGA standard finishes are matte, textured powder coat with minimum 3 mil thickness. BEGA Unisure® finish provides superior fade protection in Black, Bronze, and Silver. BEGA standard White is a super durable polyester powder. Optionally available RAL and custom color finishes provided in either polyester powder or liquid paint.

**Available colors**  
 Black (BLK)  
 Silver (SLV)  
 RAL  
 Bronze (BRZ)  
 White (WHT)  
 CUS

**Available options**  
 T0096 Direct burial anchorage (replaces included anchorage kit, pre-shippable)  
 CUS Custom finish  
 MGL Marine grade undercoat  
 RAL RAL finish

**Included (available for pre-shipment)**  
 B1981/8 Anchorage kit

**System bollard tube - No access door**

BE4693	A	B
	8 1/4"	3 1/4"

BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 info@bega-us.com  
Due to the dynamic nature of lighting products and the associated technologies, luminaires data on this sheet is subject to change at the discretion of BEGA North America. For the most current technical data, please refer to bega-us.com © copyright BEGA 2024

## TYPE E1 PILOT EXTERIOR (PEX)

LOW-PROFILE GRAZER | WHITE LIGHT AND STATIC COLORS

**PROFILE**

**LIGHT SOURCE** 4.0 W/FT, 7.0 W/FT, 10.0 W/FT  
2200K, 2700K, 3000K, 3500K, 4000K, STATIC COLORS

**CCT** #2 CRI (90+ OPTION)

**PERFORMANCE** 1.0' TO 48038 BEAK CANDELA

**VOLTAGE** LINE, 120V OR 277V

**POWER** INTEGRATED POWER SUPPLY

**DIMMING** FLICKER FREE DIMMABLE TO 1% (0-10V, SINK)  
DMX DIMMING, DALI

**DIMENSIONS** 2.50" X 1.25" X 12.00" OR 2.50" X 1.75" X 48.00"

**WEIGHT** 12.00" - 1.65 LBS, 48.00" - 6 LBS

**HOUSING** EXTRUDED ALUMINUM HOUSING

**LENS** TEMPERED GLASS

**FINISH** METALLIC GRAY, CUSTOM

**WARRANTY** 3-YEAR LIMITED

**OPERATING TEMP** -40° C TO 50° C

**LUMEN MAINTENANCE** 75,000 HOURS

**CERTIFICATION** ETL AND cETL FOR WET LOCATION, IP67, 3G  
SUITABLE FOR NATATORIUM ENVIRONMENTS

**OPTICS** (None available option shown)

**DIMENSIONS**

**PERFORMANCE SUMMARY**

10.0 W/FT, 48.00"	LUMENS	PEAK CANDELA
10" X 10"	3688 LM	48038
10" X 30"	3480 LM	17991
10" X 60"	3399 LM	13007
15" X 15"	3936 LM	25267
15" X 30"	3990 LM	17226
15" X 60"	3584 LM	9350
30" X 30"	3381 LM	7830

Revised Rev 02/24  
Specification subject to change without notice

insight lighting  
4341 Fabron Way NE, Box 30000, Fremont, WA 98157  
P: 360.343.9888 | insightlighting.com

## TYPE E2 PILOT EXTERIOR (PEX)

LOW-PROFILE GRAZER | WHITE LIGHT AND STATIC COLORS

**PROFILE**

**LIGHT SOURCE** 4.0 W/FT, 7.0 W/FT, 10.0 W/FT  
2200K, 2700K, 3000K, 3500K, 4000K, STATIC COLORS

**CCT** #2 CRI (90+ OPTION)

**PERFORMANCE** 1.0' TO 48038 BEAK CANDELA

**VOLTAGE** LINE, 120V OR 277V

**POWER** INTEGRATED POWER SUPPLY

**DIMMING** FLICKER FREE DIMMABLE TO 1% (0-10V, SINK)  
DMX DIMMING, DALI

**DIMENSIONS** 2.50" X 1.25" X 12.00" OR 2.50" X 1.75" X 48.00"

**WEIGHT** 12.00" - 1.65 LBS, 48.00" - 6 LBS

**HOUSING** EXTRUDED ALUMINUM HOUSING

**LENS** TEMPERED GLASS

**FINISH** METALLIC GRAY, CUSTOM

**WARRANTY** 3-YEAR LIMITED

**OPERATING TEMP** -40° C TO 50° C

**LUMEN MAINTENANCE** 75,000 HOURS

**CERTIFICATION** ETL AND cETL FOR WET LOCATION, IP67, 3G  
SUITABLE FOR NATATORIUM ENVIRONMENTS

**OPTICS** (None available option shown)

**DIMENSIONS**

**PERFORMANCE SUMMARY**

10.0 W/FT, 48.00"	LUMENS	PEAK CANDELA
10" X 10"	3688 LM	48038
10" X 30"	3480 LM	17991
10" X 60"	3399 LM	13007
15" X 15"	3936 LM	25267
15" X 30"	3990 LM	17226
15" X 60"	3584 LM	9350
30" X 30"	3381 LM	7830

Revised Rev 02/24  
Specification subject to change without notice

insight lighting  
4341 Fabron Way NE, Box 30000, Fremont, WA 98157  
P: 360.343.9888 | insightlighting.com

## PRIMUS LED - DECOSTRING SERIES

Shining Brighter, Together!

### SUSPENDED DECORATIVE STRINGLIGHT SYSTEMS

## TYPE C1

**PROJECT TYPE:**

**SOCKET, WIRE & CABLE DETAILS**

**SPECIFICATIONS**

**LAMPHOLDER** Black phenolic, medium base UL, weatherproof with hook for optional mounting.

**POWER CORD** 12/2 G. Black flexible duplex cable, UV rated for extended outdoor use.

**SUPPORT CABLE** 3/32" SS aircraft cantenary cable supports the system, 980# test. Heavier cable available.

**TERMINATION KITS** Heavy duty stainless steel hardware available.

**LAMPS** Wet location rated LED and incandescent medium base A, G or S style lamps.

**DIMMING** Dimmable to 10% with ELV trailing edge type dimmers.

**VOLTAGE** 120V system (1920 watts max load). No driver or transformer required.

**ACCESSORIES** Optional brass, aluminum and acrylic shades. Consult factory for custom shades.

**PHOTOMETRY** Bare lamp and shielded "BUG" rated. IES files available.

**CERTIFICATION** ETL listed for permanent damp or wet installations. 2001431 MADE IN THE USA

**PART NUMBER**

SERIES	SPACING	VOLTS	LAMP	SHADE-FINISH	TERMINATION KIT	LENGTH
DBD DAMP DSW WET	12 12"0"0"	120 120V	SELECT FROM LAMP PAGE 3	OPTIONAL STAINLESS	OPTIONAL STAINLESS	SPECIFY
	18 18"0"0"		OPTIONAL STAINLESS	OPTIONAL STAINLESS		
	24 24"0"0"		OPTIONAL STAINLESS	OPTIONAL STAINLESS		
	36 36"0"0"		OPTIONAL STAINLESS	OPTIONAL STAINLESS		
	48 48"0"0"	(OTHER SPECIFY)				

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## PRIMUS DECOSTRING LAMPS

Shining Brighter, Together!

### LED FILAMENT STYLE LAMPS

**S14** S14-36/150 - 36W, 1.0W, 100L, CLEAR  
S14-27/150 - 27W, 1.0W, 100L, CLEAR

**G16.5** G16.5F-24/225 - 24W, 3.0W, 325L, CLEAR  
G16.5F-27/225 - 27W, 3.0W, 325L, CLEAR  
G16.5F-24/200 - 24W, 2.0W, 200L, CLEAR  
G16.5F-27/200 - 27W, 2.0W, 200L, CLEAR

WHITE OR FROSTED - CONSULT FACTORY

**VINTAGE LED LAMPS**  
CONSULT FACTORY

**A15 & A19** CONSULT FACTORY

**G25** CONSULT FACTORY

**INCANDESCENT LAMPS (OPTIONAL)**

**LFP** LFP CLEAR 120V 25W

**LFS** LFS CLEAR 120V 11W COLORS AVAILABLE

**LH-C** LH-C CLEAR 120V 25W  
LH-W WHITE 120V 25W

**LGL** LGL CLEAR 120V 7.5W COLORS AVAILABLE

FULL SPECIFICATION SHEETS AVAILABLE AT PRIMUSLIGHTING.COM

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## PRIMUS DECOSTRING SHADES & GUARDS

Shining Brighter, Together!

**DSG7** 7" W X 3" H CONE SHADE 6 OZ

**DSG10** 10" W X 3" H CONE SHADE 9 OZ

**DSG12** 12" W X 4" H CONE SHADE 18 OZ

FINISH: ACID ETCHED BRASS OR POWDER COAT  
PROVIDES 0.5/10 BUG RATING

**DSH4** 4" W X 1 7/8" H HAT SHADE 2 OZ

**DSH6** 6" W X 2 1/4" H HAT SHADE 4 OZ

**DSH8** 8" W X 2 3/4" H HAT SHADE 6 OZ

FINISH: ACID ETCHED BRASS OR POWDER COAT

**DSRW4** 4" W X 1 7/8" H RADIAL WAVE SHADE 2 OZ

**DSRW6** 6" W X 2 1/4" H RADIAL WAVE SHADE 4 OZ

**DSRW8** 8" W X 2 3/4" H RADIAL WAVE SHADE 6 OZ

FINISH: ACID ETCHED BRASS OR POWDER COAT

**DSF4P** 4" W X 6" H PERFORATED TUBE SHADE 11 OZ

**DSF6P** 6" W X 8" H PERFORATED TUBE SHADE 22 OZ

FINISH: ACID ETCHED BRASS OR POWDER COAT

**DSF4C** 4" W X 6" H WIRE CAGE TUBE 9 OZ

**DSF6C** 6" W X 8" H WIRE CAGE TUBE 15 OZ

FINISH: ACID ETCHED BRASS OR POWDER COAT  
\* DELETE "C" FOR NO GUARD.

**DSRG** 6" W X 5 1/8" H ROUND SHADE WITH GUARD 9 OZ

FINISH: ACID ETCHED BRASS OR POWDER COAT  
\* DELETE "G" FOR NO GUARD.

**DSWG** 3 7/8" W X 5 5/8" H WIRE GUARD 6 OZ

FINISH: GAD FLATED OR POWDER COAT BLACK  
CAN BE USED WITH CONE SHADE DSG10, DSG12

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No.	Date



# MAIKER BOYERS LIGHTING CUTSHEETS

**gotham** | E V O | **Multiple Layers of Light**

**General Illumination Round Downlight** **4"**

**Feature Set**

- Rounding 1/2" optical design
- Available with 10% dimming, 1% dimming, or dim to dark
- Unlimited optics mechanically attach the light engine to the lower reflector for complete optical alignment.
- 45° cutoff to source and source image
- Fully serviceable and upgradeable in-situ LED light engine
- 70% lumen maintenance at 60,000 hours
- 2.5 MacAdam Ellipse, 85 CRI typical, 90+ CRI optional
- Features are wet location, covered ceiling

**Luminaire Type: TYPE D1**  
Catalog Number: **BAA BABA**

**Superior Performance\***

Nominal Lumens	250	500	750	1000	1500	2000	2500	3000	4000	4500
Beam Angle	27°	33°	39°	45°	51°	57°	63°	69°	75°	81°
Beam Diameter (ft)	3.1	3.7	4.3	4.9	5.5	6.1	6.7	7.3	7.9	8.5
Beam Diameter (m)	0.94	1.13	1.31	1.49	1.67	1.86	2.04	2.22	2.40	2.58

**Coordinated Apertures | Multiple Layers of Light**

**Core** | **Healthcare** | **Special Applications**

**EVO** 4" 1 of 7  
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**gotham** | E V O | **4" General Illumination Round Downlight**

**Luminaire Type: TYPE D2**  
Catalog Number: **BAA**

**General Illumination Lensed Wallwash** **4"**

**Feature Set**

- Rounding 1/2" optical design
- 2.5 MacAdam, 85 CRI typical, 90+ CRI optional
- Features are wet location, covered ceiling
- Available with 10% dimming, 1% dimming, or dim to dark
- Anodized reflector provides uniform illumination from floor to ceiling
- Fully serviceable and upgradeable in-situ LED light engine
- 70% lumen maintenance at 60,000 hours

**Luminaire Type: TYPE D2**  
Catalog Number: **BAA**

**Superior Performance\***

Nominal Lumens	250	500	750	1000	1500	2000	2500	3000	4000
Beam Angle	27°	33°	39°	45°	51°	57°	63°	69°	75°
Beam Diameter (ft)	3.1	3.7	4.3	4.9	5.5	6.1	6.7	7.3	7.9
Beam Diameter (m)	0.94	1.13	1.31	1.49	1.67	1.86	2.04	2.22	2.40

**Coordinated Apertures | Multiple Layers of Light**

**Core** | **Healthcare** | **Special Applications**

**EVO** 4" 2 of 7  
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**gotham** | E V O | **Multiple Layers of Light**

**General Illumination Lensed Wallwash** **4"**

**Feature Set**

- Rounding 1/2" optical design
- 2.5 MacAdam, 85 CRI typical, 90+ CRI optional
- Features are wet location, covered ceiling
- Available with 10% dimming, 1% dimming, or dim to dark
- Anodized reflector provides uniform illumination from floor to ceiling
- Fully serviceable and upgradeable in-situ LED light engine
- 70% lumen maintenance at 60,000 hours

**Luminaire Type: TYPE D2**  
Catalog Number: **BAA**

**Superior Performance\***

Nominal Lumens	250	500	750	1000	1500	2000	2500	3000	4000
Beam Angle	27°	33°	39°	45°	51°	57°	63°	69°	75°
Beam Diameter (ft)	3.1	3.7	4.3	4.9	5.5	6.1	6.7	7.3	7.9
Beam Diameter (m)	0.94	1.13	1.31	1.49	1.67	1.86	2.04	2.22	2.40

**Coordinated Apertures | Multiple Layers of Light**

**Core** | **Healthcare** | **Special Applications**

**EVO** 4" 3 of 8  
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**gotham** | E V O | **Multiple Layers of Light**

**General Illumination Lensed Wallwash** **4"**

**Feature Set**

- Rounding 1/2" optical design
- 2.5 MacAdam, 85 CRI typical, 90+ CRI optional
- Features are wet location, covered ceiling
- Available with 10% dimming, 1% dimming, or dim to dark
- Anodized reflector provides uniform illumination from floor to ceiling
- Fully serviceable and upgradeable in-situ LED light engine
- 70% lumen maintenance at 60,000 hours

**Luminaire Type: TYPE D2**  
Catalog Number: **BAA**

**Superior Performance\***

Nominal Lumens	250	500	750	1000	1500	2000	2500	3000	4000
Beam Angle	27°	33°	39°	45°	51°	57°	63°	69°	75°
Beam Diameter (ft)	3.1	3.7	4.3	4.9	5.5	6.1	6.7	7.3	7.9
Beam Diameter (m)	0.94	1.13	1.31	1.49	1.67	1.86	2.04	2.22	2.40

**Coordinated Apertures | Multiple Layers of Light**

**Core** | **Healthcare** | **Special Applications**

**EVO** 4" 4 of 8  
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**BEACON** | **VIPER Area/Site** | **TYPE P1**

**MicroStrike Optics - Ordering Guide**

**FEATURES**

- Low profile LED area/site luminaires with a variety of IES distributions for lighting applications such as site delineation, retail, commercial, and campus parking lots
- Featuring two different optical technologies, Strike and Micro Strike optics, which provide the best distribution patterns for retrofit or new construction
- Rated for high vibration applications including bridges and overpasses. All sizes are rated for 15G.
- Control options including photo control, occupancy sensing, NX Lighting Controls™, LightGRD™ and 7-pin wireless networked controls
- New customizable luminaire output feature allows for the wattage and luminaire output to be customized in the factory to meet customer specification requirements may vary.
- Field interconnectable mounting provides additional flexibility after the luminaire has shipped

**CONTROL TECHNOLOGY** | **SERVICE PROGRAMS**

**SPECIFICATIONS**

Model	LED Engine	CCT	Distribution	Beam Angle	Mounting
UR20	3000K	3000K	2M*	18°	Flush
UR20-3000	3000K	3000K	3M*	18°	Flush
UR20-3000-40	3000K	3000K	4M*	18°	Flush
UR20-3000-50	3000K	3000K	5M*	18°	Flush
UR20-3000-60	3000K	3000K	6M*	18°	Flush
UR20-3000-70	3000K	3000K	7M*	18°	Flush
UR20-3000-80	3000K	3000K	8M*	18°	Flush
UR20-3000-90	3000K	3000K	9M*	18°	Flush
UR20-3000-100	3000K	3000K	10M*	18°	Flush
UR20-3000-110	3000K	3000K	11M*	18°	Flush
UR20-3000-120	3000K	3000K	12M*	18°	Flush
UR20-3000-130	3000K	3000K	13M*	18°	Flush
UR20-3000-140	3000K	3000K	14M*	18°	Flush
UR20-3000-150	3000K	3000K	15M*	18°	Flush

**CONSTRUCTION**

- Universal 120/277 VAC or 347-480 VAC input voltage, 50/60 Hz
- Ambient operating temperature: -40°C to 40°C
- Drivers have greater than 90% power factor and less than 0.1% THD
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
- Field replaceable surge protection device provides 20kA protection meeting ANSI ENEC CSE 212 Category C High and Surge Location Category C3. Automatic release feature allows for protection when device is compromised
- Dual Driver cabinet provides 2 drivers within luminaire but only one set of leads exiting the luminaire, where Dual Power Feed provides two drivers which can be wired independently as well as leads are extended from the luminaire. Both options cannot be combined
- Micro Strike optics are available in 100, 150, 200, 250, 300, 350, 400, 450, 500, 550, 600, 650, 700, 750, 800, 850, 900, 950, 1000, 1050, 1100, 1150, 1200, 1250, 1300, 1350, 1400, 1450, 1500, 1550, 1600, 1650, 1700, 1750, 1800, 1850, 1900, 1950, 2000, 2050, 2100, 2150, 2200, 2250, 2300, 2350, 2400, 2450, 2500, 2550, 2600, 2650, 2700, 2750, 2800, 2850, 2900, 2950, 3000, 3050, 3100, 3150, 3200, 3250, 3300, 3350, 3400, 3450, 3500, 3550, 3600, 3650, 3700, 3750, 3800, 3850, 3900, 3950, 4000, 4050, 4100, 4150, 4200, 4250, 4300, 4350, 4400, 4450, 4500, 4550, 4600, 4650, 4700, 4750, 4800, 4850, 4900, 4950, 5000, 5050, 5100, 5150, 5200, 5250, 5300, 5350, 5400, 5450, 5500, 5550, 5600, 5650, 5700, 5750, 5800, 5850, 5900, 5950, 6000, 6050, 6100, 6150, 6200, 6250, 6300, 6350, 6400, 6450, 6500, 6550, 6600, 6650, 6700, 6750, 6800, 6850, 6900, 6950, 7000, 7050, 7100, 7150, 7200, 7250, 7300, 7350, 7400, 7450, 7500, 7550, 7600, 7650, 7700, 7750, 7800, 7850, 7900, 7950, 8000, 8050, 8100, 8150, 8200, 8250, 8300, 8350, 8400, 8450, 8500, 8550, 8600, 8650, 8700, 8750, 8800, 8850, 8900, 8950, 9000, 9050, 9100, 9150, 9200, 9250, 9300, 9350, 9400, 9450, 9500, 9550, 9600, 9650, 9700, 9750, 9800, 9850, 9900, 9950, 10000, 10050, 10100, 10150, 10200, 10250, 10300, 10350, 10400, 10450, 10500, 10550, 10600, 10650, 10700, 10750, 10800, 10850, 10900, 10950, 11000, 11050, 11100, 11150, 11200, 11250, 11300, 11350, 11400, 11450, 11500, 11550, 11600, 11650, 11700, 11750, 11800, 11850, 11900, 11950, 12000, 12050, 12100, 12150, 12200, 12250, 12300, 12350, 12400, 12450, 12500, 12550, 12600, 12650, 12700, 12750, 12800, 12850, 12900, 12950, 13000, 13050, 13100, 13150, 13200, 13250, 13300, 13350, 13400, 13450, 13500, 13550, 13600, 13650, 13700, 13750, 13800, 13850, 13900, 13950, 14000, 14050, 14100, 14150, 14200, 14250, 14300, 14350, 14400, 14450, 14500, 14550, 14600, 14650, 14700, 14750, 14800, 14850, 14900, 14950, 15000, 15050, 15100, 15150, 15200, 15250, 15300, 15350, 15400, 15450, 15500, 15550, 15600, 15650, 15700, 15750, 15800, 15850, 15900, 15950, 16000, 16050, 16100, 16150, 16200, 16250, 16300, 16350, 16400, 16450, 16500, 16550, 16600, 16650, 16700, 16750, 16800, 16850, 16900, 16950, 17000, 17050, 17100, 17150, 17200, 17250, 17300, 17350, 17400, 17450, 17500, 17550, 17600, 17650, 17700, 17750, 17800, 17850, 17900, 17950, 18000, 18050, 18100, 18150, 18200, 18250, 18300, 18350, 18400, 18450, 18500, 18550, 18600, 18650, 18700, 18750, 18800, 18850, 18900, 18950, 19000, 19050, 19100, 19150, 19200, 19250, 19300, 19350, 19400, 19450, 19500, 19550, 19600, 19650, 19700, 19750, 19800, 19850, 19900, 19950, 20000, 20050, 20100, 20150, 20200, 20250, 20300, 20350, 20400, 20450, 20500, 20550, 20600, 20650, 20700, 20750, 20800, 20850, 20900, 20950, 21000, 21050, 21100, 21150, 21200, 21250, 21300, 21350, 21400, 21450, 21500, 21550, 21600, 21650, 21700, 21750, 21800, 21850, 21900, 21950, 22000, 22050, 22100, 22150, 22200, 22250, 22300, 22350, 22400, 22450, 22500, 22550, 22600, 22650, 22700, 22750, 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MAIKER BOYERS LIGHTING CUTSHEETS

12VAC LANDSCAPE OUTDOOR TAPE Wet Rated LED Tape TYPE T1. Includes specifications, product description, features, ordering information, and contact details.

WDGE1 LED Architectural Wall Sconce TYPE W1. Includes introduction, specifications, performance data, accessories, and ordering information.

WDGE1 LED Architectural Wall Sconce TYPE W2. Includes introduction, specifications, performance data, accessories, and ordering information.

WAC LIGHTING 11" Outdoor Wall Sconce 3000K TYPE W2. Includes specifications, features, and ordering information.

LITECONTROL 2L-R-D MODY 2 LED RECESSED DIRECT TYPE W1. Includes features, controls technology, specifications, and ordering guide.

LITECONTROL 2L-R-D MODY 2 LED RECESSED DIRECT TYPE W2. Includes features, controls technology, specifications, and ordering guide.

KIM LIGHTING CY1 ARCHITECTURAL AREA/SITE TYPE W3 & W4. Includes features, controls technology, specifications, and ordering guide.

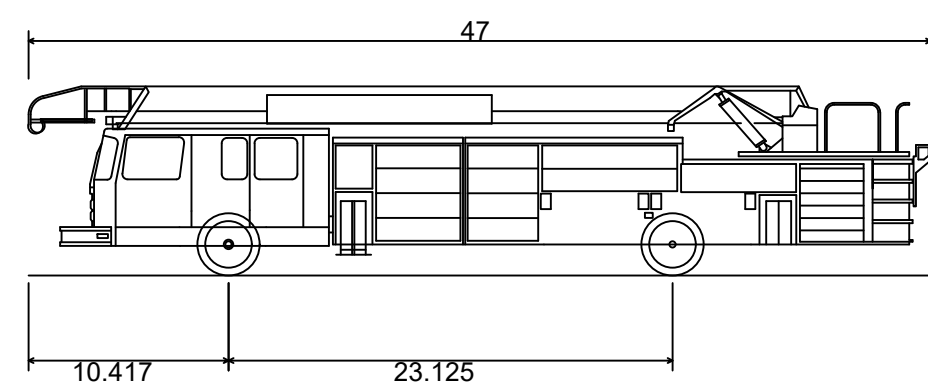
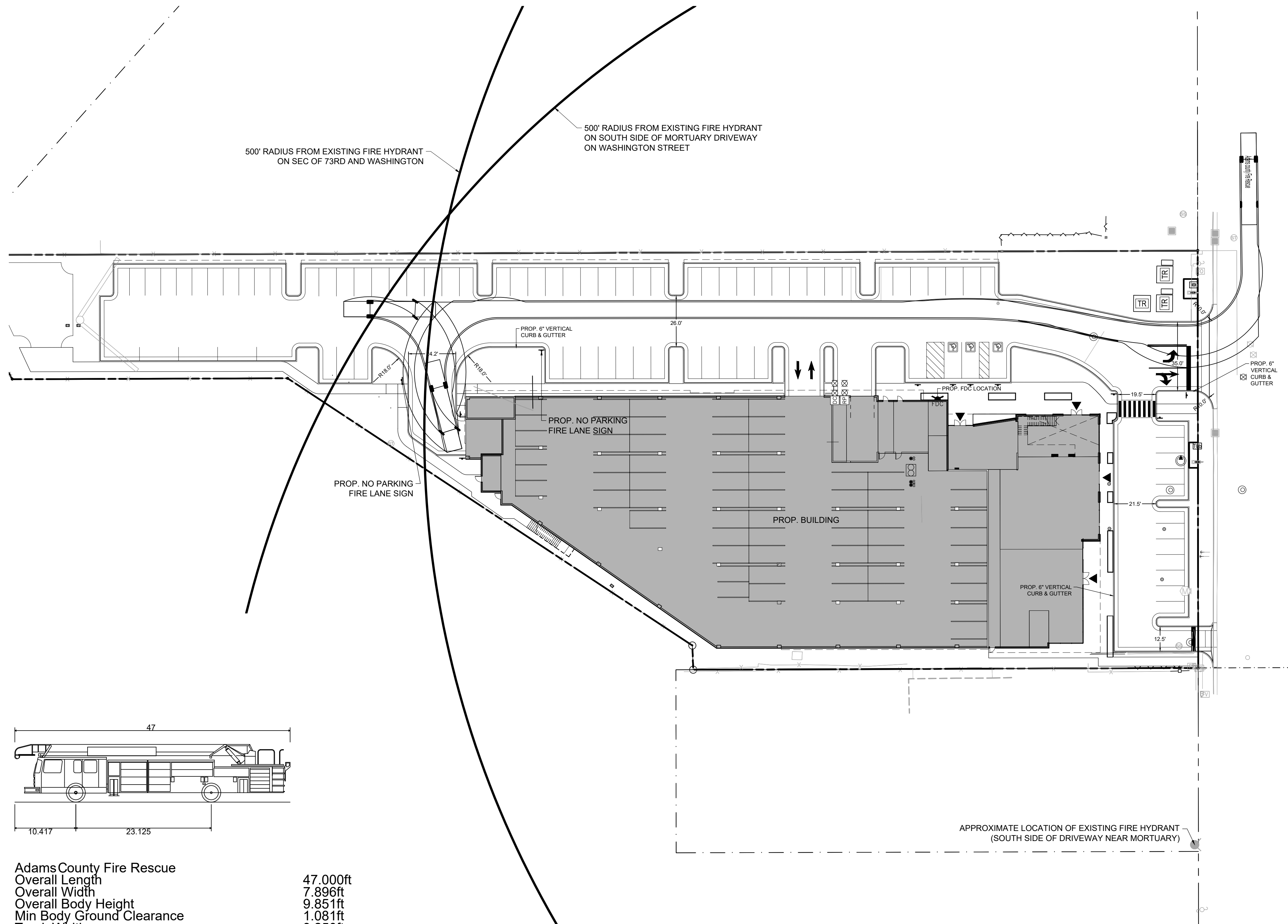
KIM LIGHTING CY1 ARCHITECTURAL AREA/SITE TYPE W5. Includes features, controls technology, specifications, and ordering guide.



# ADAMS COUNTY FIRE TRUCK AUTO-TURN EXHIBIT MAIKER HOUSING PARTNERS

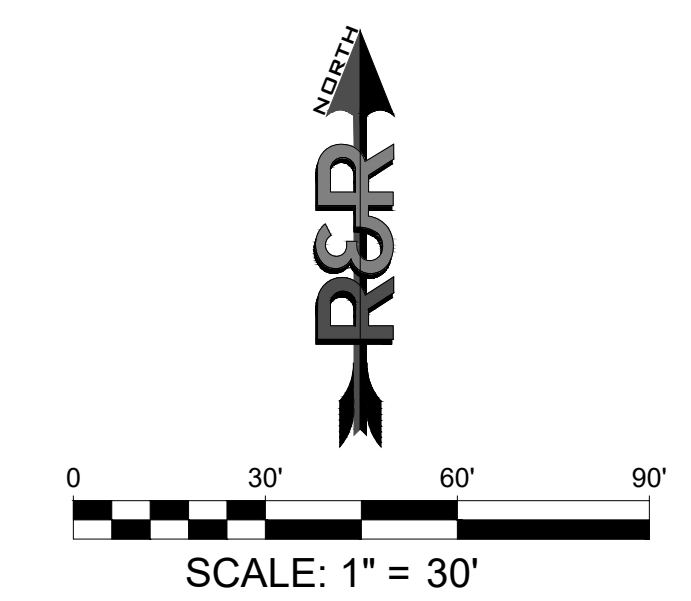
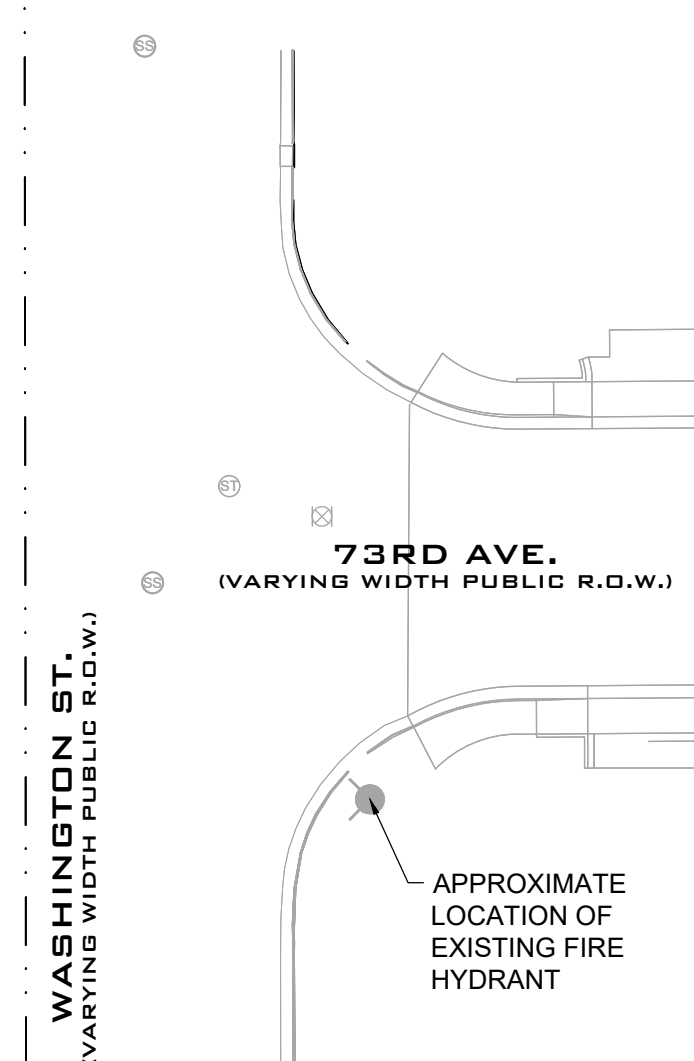
LOT 1, AMENDED BOYER COFFEE SUBDIVISION (7295 WASHINGTON ST, DENVER CO)  
LOCATED IN THE SE QUARTER OF SECTION 34, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN  
CITY OF DENVER, COUNTY OF ADAMS, STATE OF COLORADO

**FIRE FLOW DATA:**  
TOTAL FIRE FLOW REQUIRED FOR THIS SITE IS 1437.5 GPM MINIMUM @ 20 PSI RESIDUAL PRESSURE.  
  
THIS FLOW MUST BE PROVIDED FROM A MINIMUM OF 2 FIRE HYDRANTS FOR A MINIMUM OF 2 HOURS.  
EACH FIRE HYDRANT SHALL SUPPLY A MINIMUM OF 1500 GPM @ 20 PSI RESIDUAL PRESSURE AT THE HYDRANT OUTLET TO BE ACCEPTABLE.  
  
CODE USED FOR ANALYSIS: 2018 IFC WITH 2019 AMENDMENTS  
OCCUPANCY GROUP(S): R-2, B, M  
CONSTRUCTION TYPE(S): IA (1-STORY), VA (4-STORIES)  
FIRE FLOW CALCULATION AREA: 33,975 SF (IA) + 26,036 SF + 25,428 SF + 25,428 SF + 25,000 SF = 135,839 SF  
  
THIS BUILDING IS FULLY PROTECTED WITH AN AUTOMATIC NFPA 13 SPRINKLER SYSTEM.



Adams County Fire Rescue  
Overall Length 47.000ft  
Overall Width 7.896ft  
Overall Body Height 9.851ft  
Min Body Ground Clearance 1.081ft  
Track Width 9.250ft  
Lock-to-lock time 6.00s  
Wall to Wall Turning Radius 49.000ft

EXISTING	PROPOSED	
---	---	LOT LINE
---	---	PROPERTY LINE
---	---	RIGHT OF WAY
---	---	SECTION LINE
---	---	SETBACK
---	---	FENCE LINE
---	---	ROAD CURB AND GUTTER
---	---	SIDEWALK
EM	EM	ELECTRICAL METER
E	E	ELECTRICAL STRUCTURE
↑	↑	GUY WIRE
☆	☆	LIGHT POLE
TR	TR	TRANSFORMER PAD
○	○	UTILITY POLE
CATV	CATV	CABLE TV STRUCTURE
T	T	COMMUNICATIONS MANHOLE
T	T	COMMUNICATIONS STRUCTURE
FO	FO	FIBER OPTIC STRUCTURE
GM	GM	GAS METER
⊙	⊙	GAS MANHOLE
⊙	⊙	GAS VALVE
⊙	⊙	SANITARY SEWER MANHOLE
⊙	⊙	SANITARY SEWER CLEANOUT
⊙	⊙	STORM SEWER MANHOLE
⊙	⊙	STORM SEWER AREA INLET
⊙	⊙	STORM SEWER CURB INLET
⊙	⊙	STORM SEWER FLARED END SECTION
⊙	⊙	FIRE HYDRANT
IRR	IRR	IRRIGATION STRUCTURE
+	+	WATER FITTING
M	M	WATER METER
⊙	⊙	WATER TAP / CORP STOP
⊙	⊙	WATER VALVE
⊙	⊙	ADA ACCESSIBLE PARKING
⊙	⊙	SIGN
⊙	⊙	TREES



NO.	REVISION	BY	DATE



**R&R ENGINEERS-SURVEYORS, INC.**  
1635 WEST 13TH AVENUE, SUITE 310  
DENVER, COLORADO 80204  
PHONE: 303-753-6730

WWW.RRENGINEERS.COM

**MAIKER HOUSING PARTNERS**  
SITE ADDRESS: 7295 N. WASHINGTON ST.  
DENVER, CO 80229  
PREPARED FOR: SOPHER SPARN ARCHITECTS, LLC  
2505 WALNUT STREET, SUITE 200  
BOULDER, CO 80302

AUTO-TURN EXHIBIT	
JOB NO.	SS24010
DATE:	02/04/2025
DWN:	MAD
CHKD:	TWS
NAME	

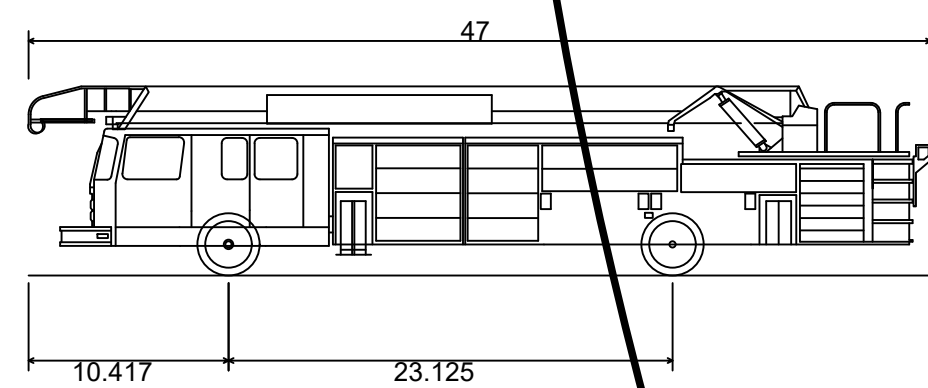
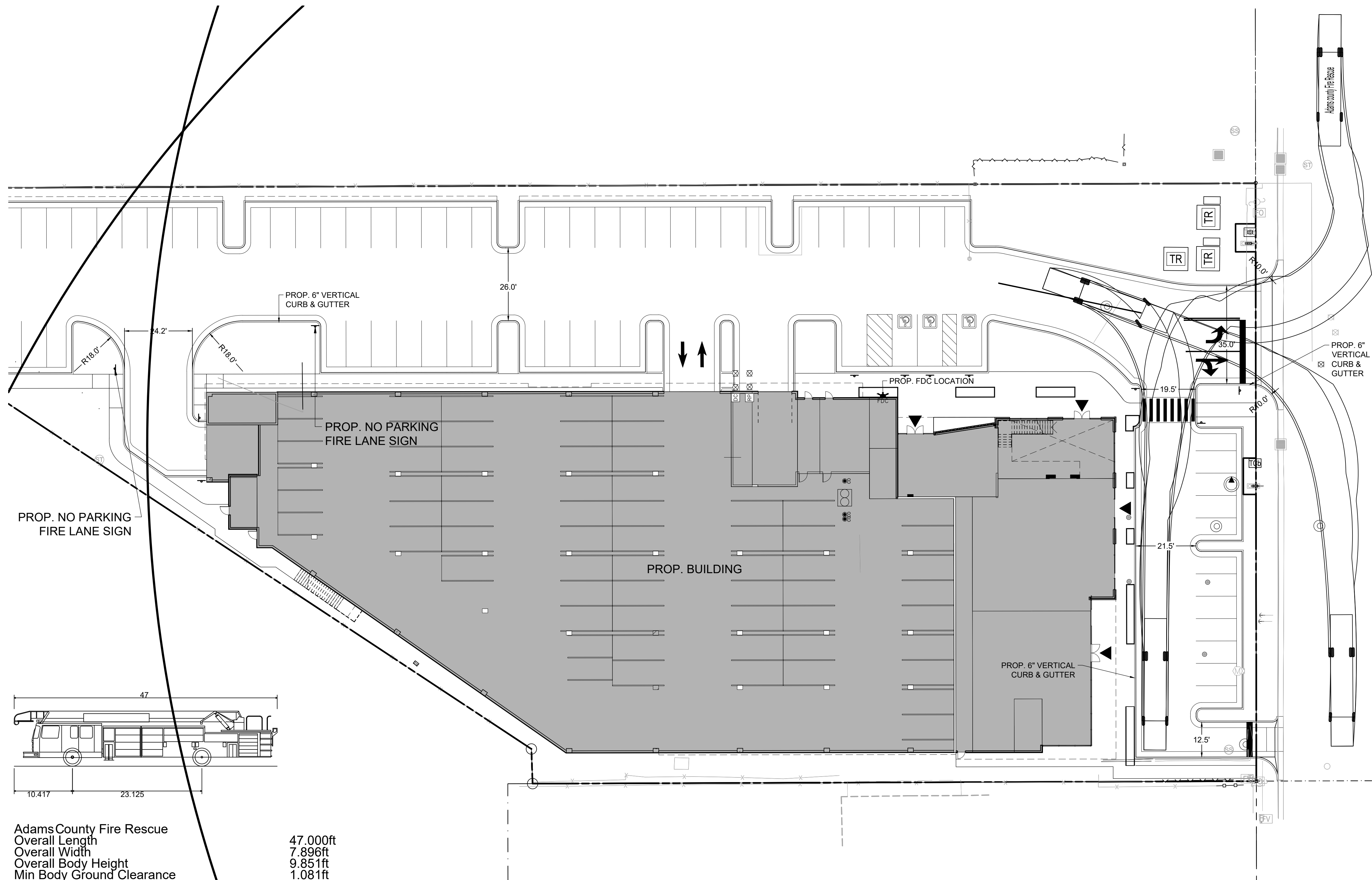
NORTH LOT  
AUTO-TURN EXHIBIT

NO. 1



# ADAMS COUNTY FIRE TRUCK AUTO-TURN EXHIBIT MAIKER HOUSING PARTNERS

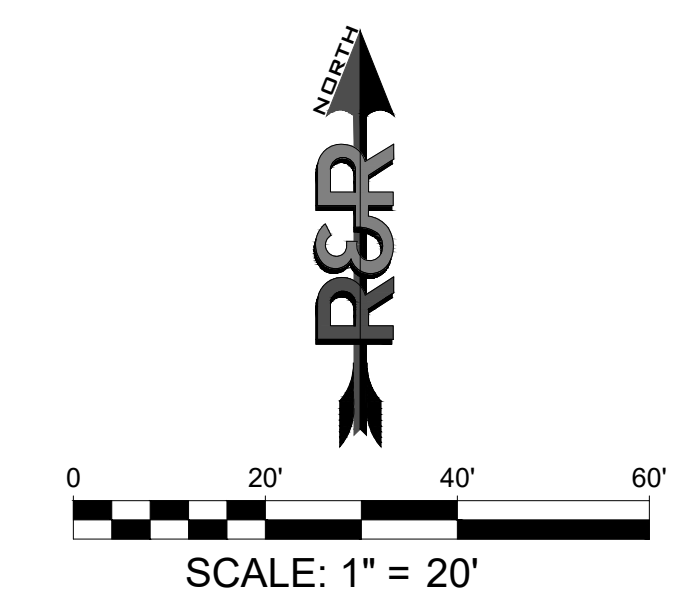
LOT 1, AMENDED BOYER COFFEE SUBDIVISION (7295 WASHINGTON ST, DENVER CO)  
LOCATED IN THE SE QUARTER OF SECTION 34, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN  
CITY OF DENVER, COUNTY OF ADAMS, STATE OF COLORADO



Adams County Fire Rescue	
Overall Length	47.000ft
Overall Width	7.896ft
Overall Body Height	9.851ft
Min Body Ground Clearance	1.081ft
Track Width	9.250ft
Lock-to-lock time	6.00s
Wall to Wall Turning Radius	49.000ft

LEGEND		
EXISTING	PROPOSED	
---	---	LOT LINE
---	---	PROPERTY LINE
---	---	RIGHT OF WAY
---	---	SECTION LINE
---	---	SETBACK
---	---	FENCE LINE
---	---	ROAD CURB AND GUTTER
---	---	SIDEWALK
EM	EM	ELECTRICAL METER
E	E	ELECTRICAL STRUCTURE
↑	↑	GUY WIRE
☆	☆	LIGHT POLE
TR	TR	TRANSFORMER PAD
○	○	UTILITY POLE
CATV	CATV	CABLE TV STRUCTURE
T	T	COMMUNICATIONS MANHOLE
FO	FO	COMMUNICATIONS STRUCTURE
GM	GM	FIBER OPTIC STRUCTURE
⊗	⊗	GAS METER
⊙	⊙	GAS MANHOLE
⊕	⊕	GAS VALVE
⊖	⊖	SANITARY SEWER MANHOLE
⊗	⊗	SANITARY SEWER CLEANOUT
⊙	⊙	STORM SEWER MANHOLE
⊕	⊕	STORM SEWER AREA INLET
⊖	⊖	STORM SEWER CURB INLET
⊗	⊗	STORM SEWER FLARED END SECTION
⊙	⊙	FIRE HYDRANT
⊕	⊕	IRRIGATION STRUCTURE
⊖	⊖	WATER FITTING
⊗	⊗	WATER METER
⊙	⊙	WATER TAP / CORP STOP
⊕	⊕	WATER VALVE
⊖	⊖	ADA ACCESSIBLE PARKING
⊗	⊗	SIGN
⊙	⊙	TREES

WASHINGTON ST.  
(VARYING WIDTH PUBLIC R.O.W.)



**R&R ENGINEERS-SURVEYORS, INC.**  
1635 WEST 13TH AVENUE, SUITE 310  
DENVER, COLORADO 80204  
PHONE: 303-753-6730

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**MAIKER HOUSING PARTNERS**  
SITE ADDRESS: 7295 N. WASHINGTON ST.  
DENVER, CO 80229  
PREPARED FOR: SOPHER SPARN ARCHITECTS, LLC  
2505 WALNUT STREET, SUITE 200  
BOULDER, CO 80302

AUTO-TURN EXHIBIT	
JOB NO.	SS24010
DATE:	02/04/2025
DWN:	MAD
CHKD:	TWS
NAME:	

EAST LOT  
AUTO-TURN EXHIBIT

NO. **2**

NO.	REVISION	BY	DATE



# ALTA / NSPS LAND TITLE SURVEY

Lot 1, Amended Boyer Coffee Subdivision (7295 Washington St, Denver CO)  
Located in the SE Quarter of Section 34, Township 2 South, Range 68 West of the 6th Principal Meridian  
City of Denver, County of Adams, State of Colorado

## TITLE COMMITMENT

File Number: N0041629-020-3Y-SC  
Effective Date: January 24, 2023

Fidelity National Title Insurance Company  
8055 E Tufts Ave, Suite 900  
Denver, CO 80237  
(303) 291-9977

## TITLE COMMITMENT DESCRIPTION

Surveyor's Note: References to "the surveyed property" in any notes following hereafter means the same property described in the title commitment description, which is that as shown on the title commitment order number referenced hereon.

Lot 1; Amended Boyer Coffee Subdivision situated in the County of Adams, State of Colorado and a that parcel described in Quitclaim Deed recorded April 25, 2017 at Reception No.20170000035965 as follows:

A parcel of land, parcel 105 REV.3-EX, being a portion of Parcel 105, REV .3 of the Department of Transportation, State of Colorado, Project No. IM-IR(CX) 025-3(107) Phase 1, Situated in the Southeast Quarter of Section 34, Township 2 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado, Being more particularly described as follows:

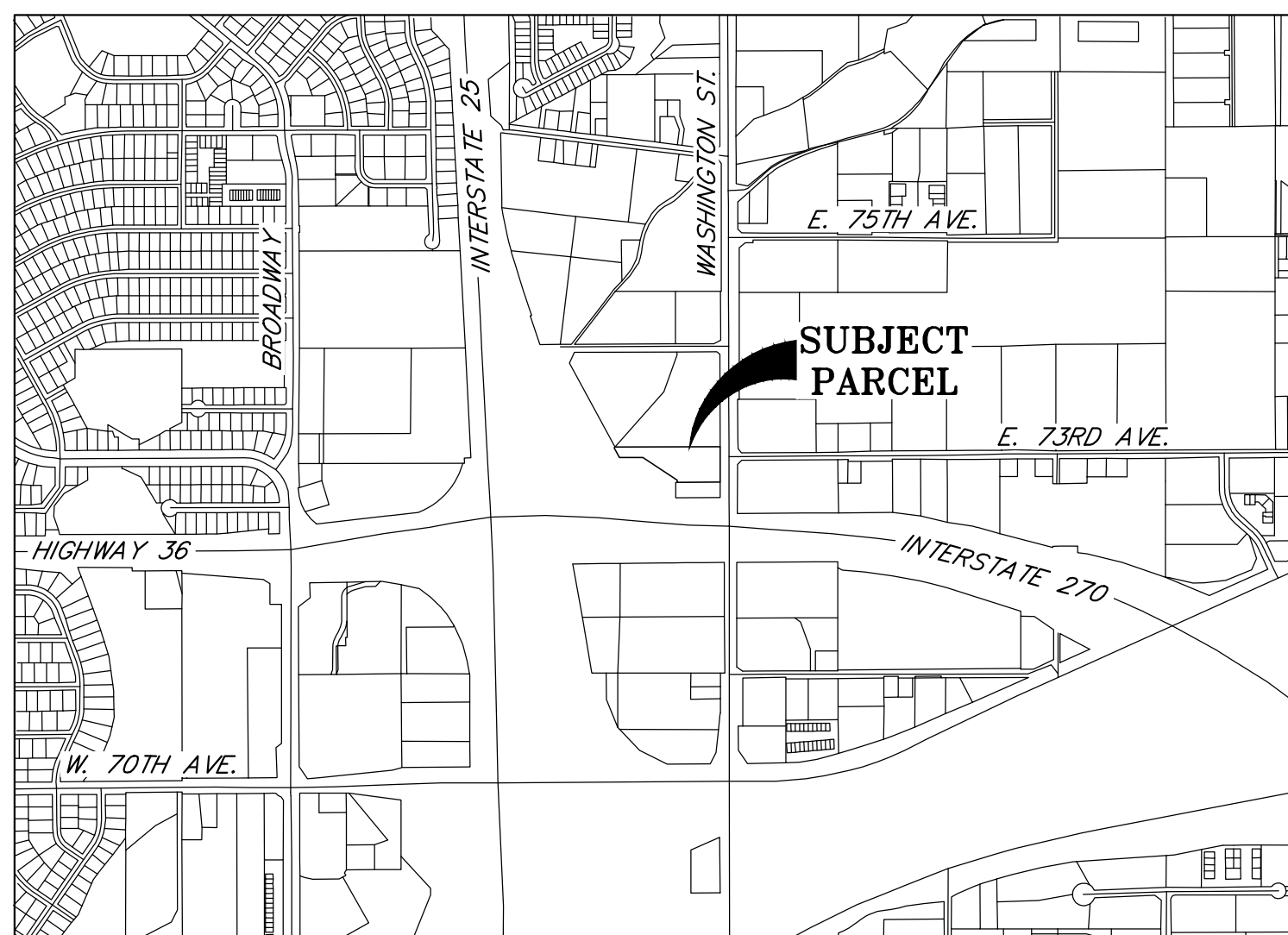
Beginning at the Southwest corner of Lot 1, Amended Boyer Coffee Subdivision, said document recorded in Book F18 at Page 929 under Reception No. C1190981 of the Adams County Records;

Thence South 89°52'32" West along the Westerly extension of the South line of said Lot 1, a distance of 18.24 feet;

Thence North 01°54'50" West a distance of 12.40 feet to a point on the Southwest line of said Lot 1, said point being the Northeasterly line of said Parcel 105, REV 3;

Thence South 56°29'30": East along said Southwest and Northeasterly line, a distance of 22.37 feet to the Point of Beginning.

Basis of Bearings: Bearings are based on the South line of Lot 1, Amended Boyer Coffee Subdivision recorded at Reception No. C1190981 bearing South 89°52'32" West.



VICINITY MAP  
SCALE: 1" = 1,000'

## ALTA TABLE A ITEM NOTES

ALTA Table A items not specifically addressed below are addressed and shown on the map sheets of this survey. The note numbers as listed below directly correspond to the ALTA Table A item number.

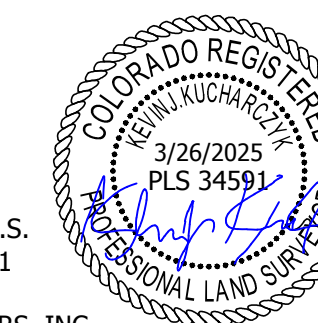
- Address: 7295 N. Washington St. as listed on the Adams County Geographical Information Systems (GIS) map.
- Flood Zone:** The surveyed property lies within Flood Zone "X" (Areas determined to be outside the 0.2% annual chance floodplain.) as shown on a FIR-Mette obtained from the authoritative National Flood Hazard Layer (NFHL) web services provided by the Federal Emergency Management Agency (FEMA) on March 16, 2023. The surveyed property is encompassed by the Flood Insurance Rate Map (FIRM) for Adams County, Colorado and Incorporated Areas:  
Map Number: 08001C0603 H  
Panel: 603 of 1150  
Map Revised: March 5, 2007  
NOTE: This flood zone statement is provided for informational purposes only and shall in no way constitute a basis for a flood certificate. No field work was performed to establish the boundaries of this zone. The information is based solely on the data published by FEMA and NFHL.
- Gross land area:** As surveyed, the surveyed property contains 92,862 square feet or 2.132 acres.
- Vertical relief:** Elevation data was obtained by conventional ground survey methods. Contour interval is 1 foot. Originating benchmark: Set mag nail in asphalt as shown on Sheet 2. Used OPUS processing for coordinate and elevation result on March 9, 2023, having used 13,340 of 14,196 observations (94%) and 68 of 71 fixed ambiguities (96%). (Lies approximately 9.2' North of westerly most corner of concrete foundation.) Elevation = 5149.69'
- Zoning-List requirements:** Per the 2021 ALTA/NSPS Land Title Survey Standard, Table A item 6(a): "If the current zoning classification, setback requirements, height and floor space area restrictions and parking requirements specific to the surveyed property are set forth in a zoning report or letter provided to the surveyor, list the above items on the plat or map and identify the date and source of the report or letter."  
-No zoning report or letter has been provided to surveyor, therefore no zoning classification, setback requirements, height and floor space area restrictions or parking requirements are listed hereon.
- Exterior dimensions of all buildings at ground level** are shown on Sheet 2.
- Substantial features observed in the process of conducting the fieldwork** are shown on sheet 2.
- Clearly identifiable Parking Stalls:** The surveyed property contains 78 regular parking stalls and 2 ADA parking stalls, for a total of 80 parking stalls.
- Underground Utilities as determined by markings by others coordinated by the surveyor pursuant to a private utility locate request:** Underground utility information is shown based upon field-location of markings created by a private utility locate service, provided by Tom Richardson, LLC, and/or utility maps obtained from various utility companies.  
The private locator works in conjunction with Colorado 811 service, but does not locate storm drainage lines, sanitary sewer lines, Comcast and Zayo utilities. Comcast and Zayo do not allow private locators to mark their lines. The 811 ticket# generated by the private locator on March 7, 2023 is A305503287-00A. Utility companies rarely respond with field locates from requests through the 811 service when the project is known to be for a survey, which is designated as a "design" locate request. In this case the utility companies typically only respond by providing maps. Utility maps provided by utility companies are often incomplete and inaccurate, are of a schematic nature and do not provide accurate information of the utility's locations.  
The underground storm and sanitary lines shown are based solely on field inspection of the interior of the structures and provided maps. If any blind-tie exists along any pipe routes between structures they may not shown; R&R has no way of knowing of such a condition and can neither verify nor refute such without additional services from a third party to use camera and locate equipment or excavation.  
Invert / Flow Line elevations, if shown, should be considered as ±0.2' due to random error inherent with the limited access to pipe flow lines from structure openings. If pipe sizes are not shown, the reason is that the pipes could not be directly observed and measured from the access hole above if their openings lie further back beyond the structure walls.  
Lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. R&R Engineers-Surveyors, Inc. does not mark or locate the underground utilities and can only rely on information provided by others. If any other underground utilities exist on this site, or lie in a different location other than what is shown, their location and existence is unknown to surveyor and are not shown.
- Names of adjoining owners according to current tax records:** Adjoining owner names and parcel numbers are shown per the Adams County Geographical Information Systems (GIS) map.
- As specified by the client, distance to nearest intersecting street:** The nearest intersecting street is E. 73rd Avenue which lies directly across Washington St and is in-line with the surveyed property.
- Evidence of recent construction:** There was no evidence of recent earth moving work, building construction, or building additions observed in the process of conducting the fieldwork.
- Proposed changes in street Right-of-Way lines:** For proposed changes in street Right-of-Way lines, R&R Engineers-Surveyors viewed the Adams County Public Works Projects schedule, available for viewing on line at: <https://adccogov.org/public-works-projects>. Washington Street, the Right-of-Way adjoining the surveyed property, does not appear within the project list.  
No evidence of recent street or sidewalk construction or repairs were observed in the process of conducting the fieldwork.

## ALTA CERTIFICATION

To:  
- MHP Acquisitions LLC, a Colorado limited liability company;  
- 7295 Holding Company LLC, a Colorado limited liability company;  
- Fidelity National Title Insurance Company;

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6(a), 7(a), 8, 9, 11(b), 13, 14, 16, and 17 of Table A thereof. The field work was completed on March 13, 2023.

Date of plat or map: March 26, 2025



KEVIN J. KUCHARCZYK, P.L.S.  
COLORADO REG. NO. 34591  
FOR AND ON BEHALF OF  
R&R ENGINEERS-SURVEYORS, INC.

The word "certification" and/or "certify" as shown and used hereon means an expression of professional opinion regarding the facts of the survey and does not constitute a warranty or guarantee, expressed or implied.

## GENERAL NOTES

- Any person who knowingly removes, alters or defaces any public land survey monument or land boundary monument or accessory commits a class two (2) misdemeanor pursuant to state statute 18-4-508, C.R.S.
- NOTICE: Pursuant to Colorado Revised Statutes Title 13, Article 80, Section 105 (C.R.S. 13-80-105) - You must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.
- This survey does not constitute a title search by R&R Engineers-Surveyors to determine ownership or easements of record. Easement research and ownership information were provided by client in the title commitment or title report referenced hereon.
- Basis of Bearings (Record): Bearings are based on the East line of the Southeast Quarter of the Southeast Quarter of Section 34, Township 2 South, Range 68 West of the 6th P.M. having an assumed bearing of North 00°04'31" West, said line being monumented at each end by a found rebar with 3-1/4" aluminum cap (stamping illegible) in a range box.
- Units shown are U.S. Survey Feet.

## BENCHMARK

(NAVD83 Datum)

ORIGINATING BENCHMARK:

Set mag nail in asphalt as shown on Sheet 2. Used OPUS processing for coordinate and elevation result on March 9, 2023, having used 13,340 of 14,196 observations (94%) and 68 of 71 fixed ambiguities (96%). (Lies approximately 9.2' North of westerly most corner of concrete foundation.)

Elevation = 5149.69'

## POSSIBLE ENCROACHMENTS

NOTE 1: Fences exist along the North, South and West lines of the surveyed property that are not coterminous with the boundary lines. Because ownership of the fences is unconfirmed they are not cited below as possible encroachments, but their locations relative to the boundary line are noted on the map sheets.

- The remnants of a concrete lined ditch crosses the Northwesterly most corner of the surveyed property, where it is unknown if an easement exists.
- A portion of roof overhang attached to the building at the South line lies up to 0.7 feet northerly beyond the South line of the surveyed property with no known easement or encroachment agreement.

## INDEXING CERTIFICATE

This survey has been deposited with the Community and Economic Development Department of Adams County, Colorado, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ at \_\_\_\_\_ M., in Book \_\_\_\_\_ of Land Survey Plats at Page \_\_\_\_\_, Reception No. \_\_\_\_\_

By: \_\_\_\_\_

R&R ENGINEERS-SURVEYORS, INC. 1635 W. 13TH AVENUE, SUITE 310 DENVER, COLORADO 80204 303-753-6730 www.rrengineers.com	
REVISIONS	File: MH23023-ALTA
	Orig. Issue Date: 3/26/2025
	Drawn By: MHP
	Checked By: KJK
	Project No. MH23023

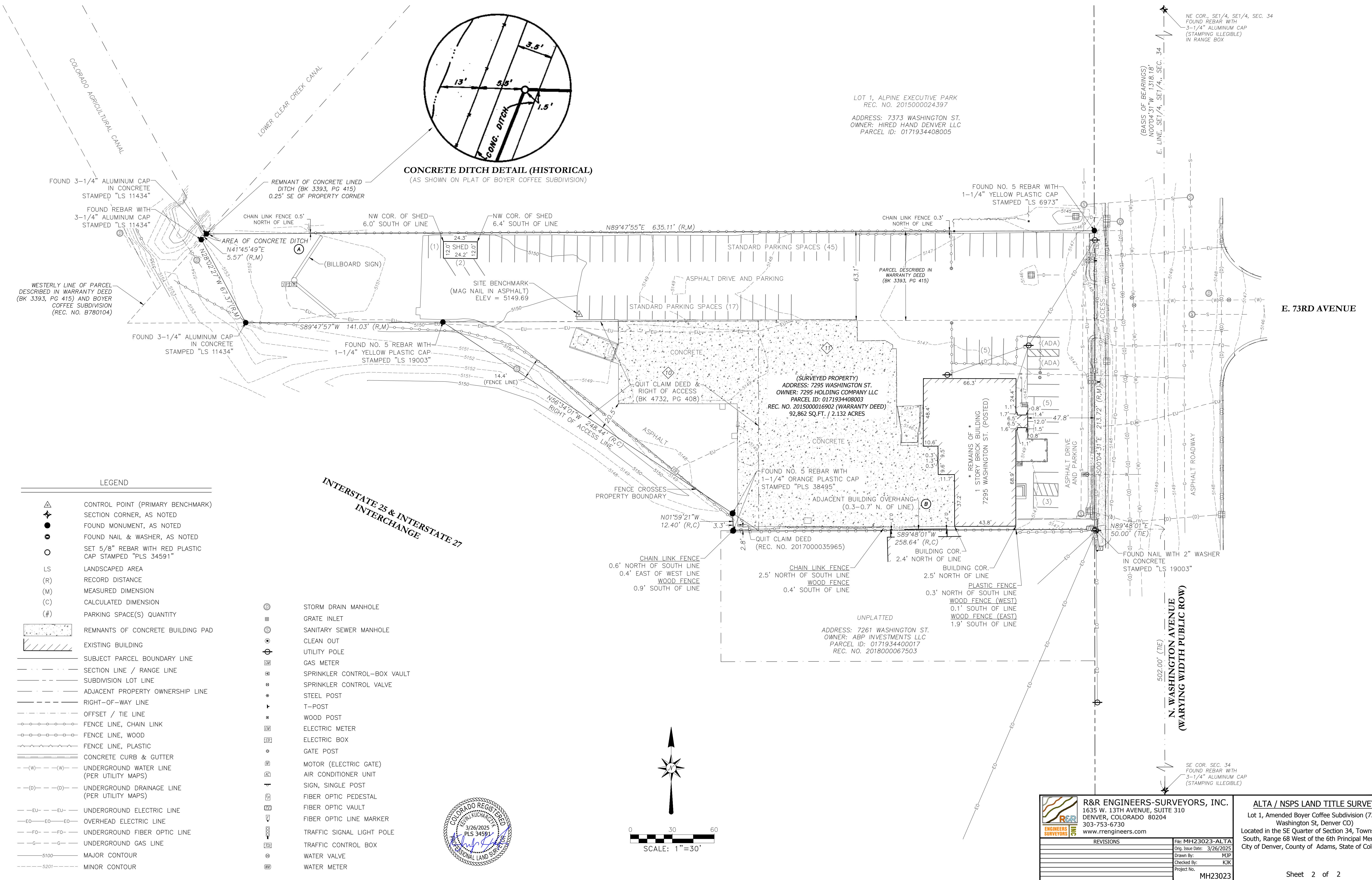
## ALTA / NSPS LAND TITLE SURVEY

Lot 1, Amended Boyer Coffee Subdivision (7295 Washington St, Denver CO)  
Located in the SE Quarter of Section 34, Township 2 South, Range 68 West of the 6th Principal Meridian City of Denver, County of Adams, State of Colorado



# ALTA / NSPS LAND TITLE SURVEY

Lot 1, Amended Boyer Coffee Subdivision (7295 Washington St, Denver CO)  
 Located in the SE Quarter of Section 34, Township 2 South, Range 68 West of the 6th Principal Meridian  
 City of Denver, County of Adams, State of Colorado



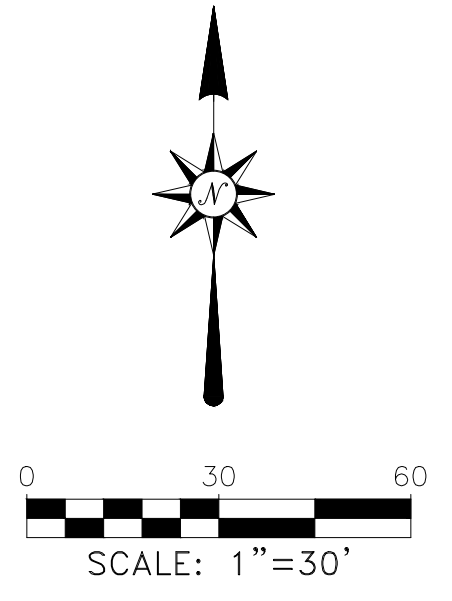
LOT 1, ALPINE EXECUTIVE PARK  
 REC. NO. 2015000024397  
 ADDRESS: 7373 WASHINGTON ST.  
 OWNER: HIRED HAND DENVER LLC  
 PARCEL ID: 0171934408005

**CONCRETE DITCH DETAIL (HISTORICAL)**  
 (AS SHOWN ON PLAT OF BOYER COFFEE SUBDIVISION)

### LEGEND

- ▲ CONTROL POINT (PRIMARY BENCHMARK)
- ◆ SECTION CORNER, AS NOTED
- FOUND MONUMENT, AS NOTED
- FOUND NAIL & WASHER, AS NOTED
- SET 5/8" REBAR WITH RED PLASTIC CAP STAMPED "PLS 34591"
- LS LANDSCAPED AREA
- (R) RECORD DISTANCE
- (M) MEASURED DIMENSION
- (C) CALCULATED DIMENSION
- (#) PARKING SPACE(S) QUANTITY
- ▨ REMNANTS OF CONCRETE BUILDING PAD
- ▩ EXISTING BUILDING
- SUBJECT PARCEL BOUNDARY LINE
- - - SECTION LINE / RANGE LINE
- - - SUBDIVISION LOT LINE
- - - ADJACENT PROPERTY OWNERSHIP LINE
- - - RIGHT-OF-WAY LINE
- - - OFFSET / TIE LINE
- - - FENCE LINE, CHAIN LINK
- - - FENCE LINE, WOOD
- - - FENCE LINE, PLASTIC
- - - CONCRETE CURB & GUTTER
- - (W) - - (W) - - UNDERGROUND WATER LINE (PER UTILITY MAPS)
- - (D) - - (D) - - UNDERGROUND DRAINAGE LINE (PER UTILITY MAPS)
- - EU - - EU - - UNDERGROUND ELECTRIC LINE
- - EO - - EO - - OVERHEAD ELECTRIC LINE
- - FO - - FO - - UNDERGROUND FIBER OPTIC LINE
- - G - - G - - UNDERGROUND GAS LINE
- - 5100 - - MAJOR CONTOUR
- - 5201 - - MINOR CONTOUR

- ⊙ STORM DRAIN MANHOLE
- ⊞ GRATE INLET
- ⊚ SANITARY SEWER MANHOLE
- ⊕ CLEAN OUT
- ⊖ UTILITY POLE
- ⊗ GAS METER
- ⊘ SPRINKLER CONTROL-BOX VAULT
- ⊙ SPRINKLER CONTROL VALVE
- ⊚ STEEL POST
- ⊛ T-POST
- ⊜ WOOD POST
- ⊝ ELECTRIC METER
- ⊞ ELECTRIC BOX
- ⊟ GATE POST
- ⊠ MOTOR (ELECTRIC GATE)
- ⊡ AIR CONDITIONER UNIT
- ⊢ SIGN, SINGLE POST
- ⊣ FIBER OPTIC PEDESTAL
- ⊤ FIBER OPTIC VAULT
- ⊥ FIBER OPTIC LINE MARKER
- ⊦ TRAFFIC SIGNAL LIGHT POLE
- ⊧ TRAFFIC CONTROL BOX
- ⊨ WATER VALVE
- ⊩ WATER METER



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REVISIONS	
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	Drawn By: MJP
	Checked By: KJK
	Project No. MH23023

**ALTA / NSPS LAND TITLE SURVEY**  
 Lot 1, Amended Boyer Coffee Subdivision (7295 Washington St, Denver CO)  
 Located in the SE Quarter of Section 34, Township 2 South, Range 68 West of the 6th Principal Meridian City of Denver, County of Adams, State of Colorado